



1625 OLYMPIC BOULEVARD
SANTA MONICA, CA 90404
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VISTAS DEL PUERTO

1836 LOCUST AVENUE
LONG BEACH, CALIFORNIA

CLIFFORD BEERS HOUSING
11735 VICTORY BOULEVARD
LOS ANGELES, CALIFORNIA 90017

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SITE PLAN REVIEW PACKAGE

REVISED:
17011
DATE:
09/14/2017
BY: KFA

COVER SHEET

G000





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BY: [Signature]
CHECKED BY: [Signature]

FAR CALCULATIONS

GO20

NOTES

LOT AREA:
27,000 SF
GROSS BUILDABLE AREA:
27,000 SF
GROSS FLOOR AREA:
= 52,363 S.F. (SEE PROPOSED FAR TABLE)
PROPOSED FAR:
= 52,363 SF / 27,000 SF
= 1.95 : 1
< 4 : 1 (MAX ALLOWABLE PER CITY OF LONG
BEACH TABLE 3-3)

PROPOSED FAR AREAS

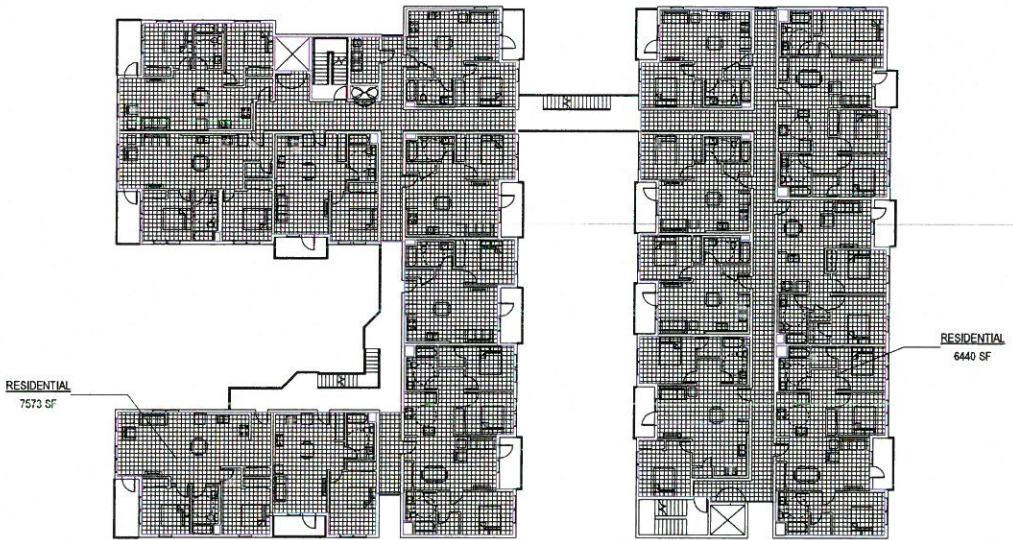
LEVEL	FAR	AREA (SF)
1ST FLOOR	COMMERCIAL	4671
1ST FLOOR	LOBBY	859
1ST FLOOR	RESIDENTIAL	575
2ND FLOOR	RESIDENTIAL	14134
3RD FLOOR	RESIDENTIAL	14013
4TH FLOOR	RESIDENTIAL	12778
5TH FLOOR	RESIDENTIAL	5333
Grand total		52363

SHEET NOTES

MEASUREMENT PER LAMC 12.03:
AREA IN SQUARE FEET CONFINED WITHIN THE
EXTERIOR WALLS OF A BUILDING, BUT NOT
INCLUDING THE AREA OF THE FOLLOWING:
EXTERIOR WALLS, STAIRWAYS, SHAFTS, ROOMS
HOUSING BUILDING EQUIPMENT OR MACHINERY,
PARKING AREAS WITH ASSOCIATED DRIVEWAYS
AND RAMPS, SPACE FOR THE LANDING AND
STORAGE OF HELICOPTERS, AND BASEMENT
STORAGE AREAS.

LEGEND

- COMMERCIAL
- LOBBY
- PARKING
- RESIDENTIAL
- SHAFT (NOT FAR)



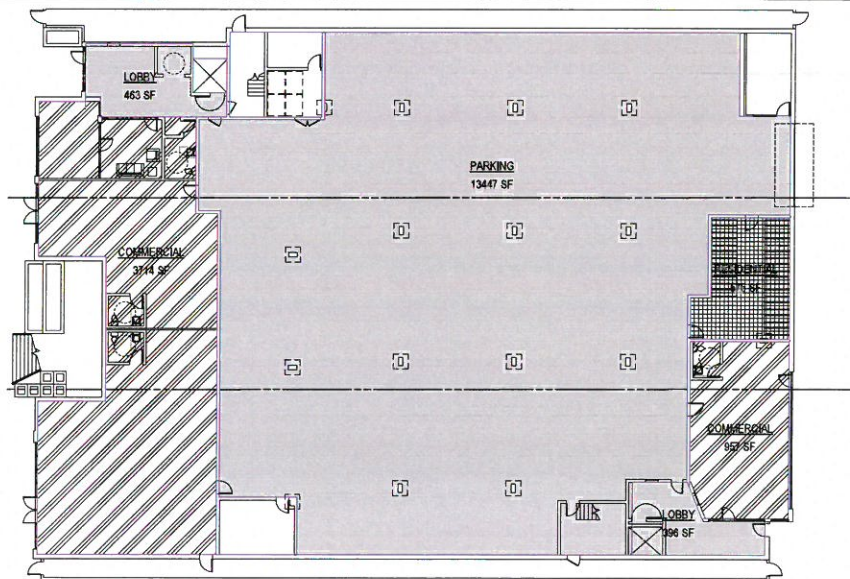
3RD FLOOR FAR PLAN
1/16" = 1'-0"

3



2ND FLOOR FAR PLAN
1/16" = 1'-0"

2



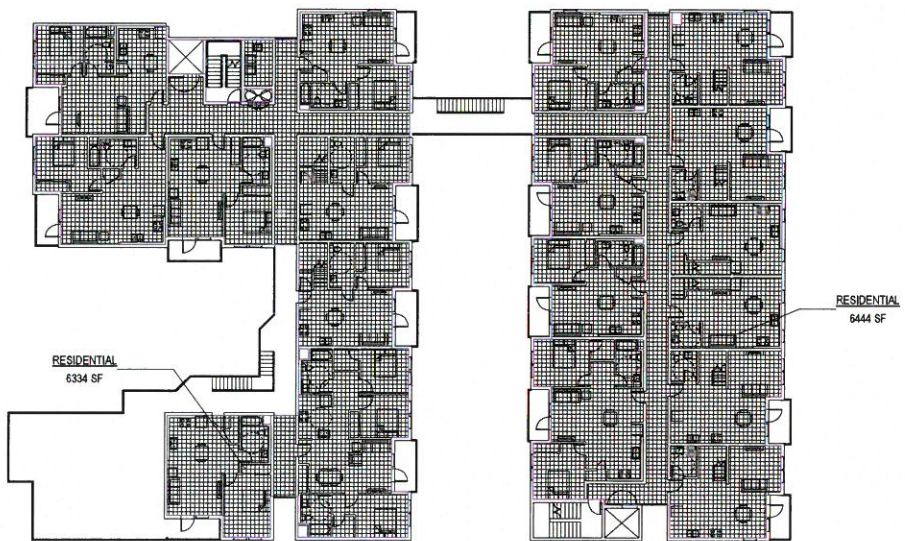
1ST FLOOR FAR PLAN
1/16" = 1'-0"

1



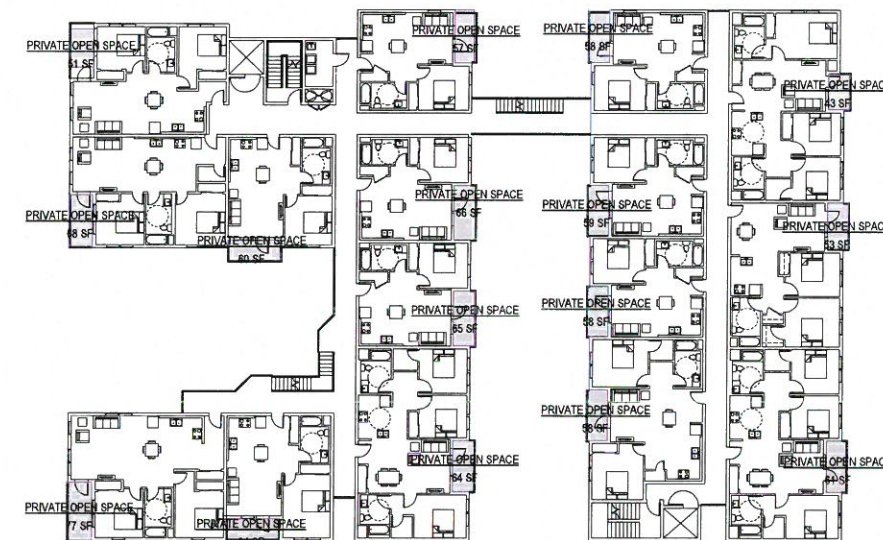
5TH FLOOR FAR PLAN
1/16" = 1'-0"

5



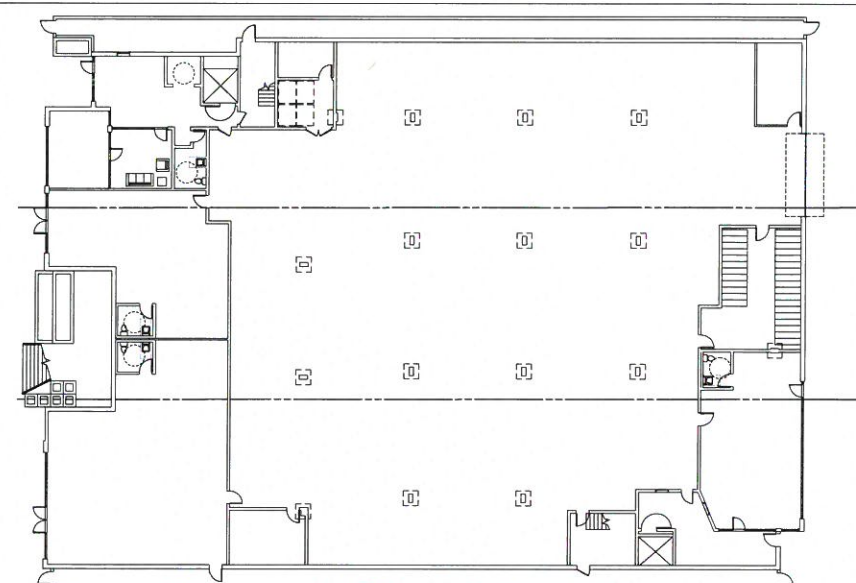
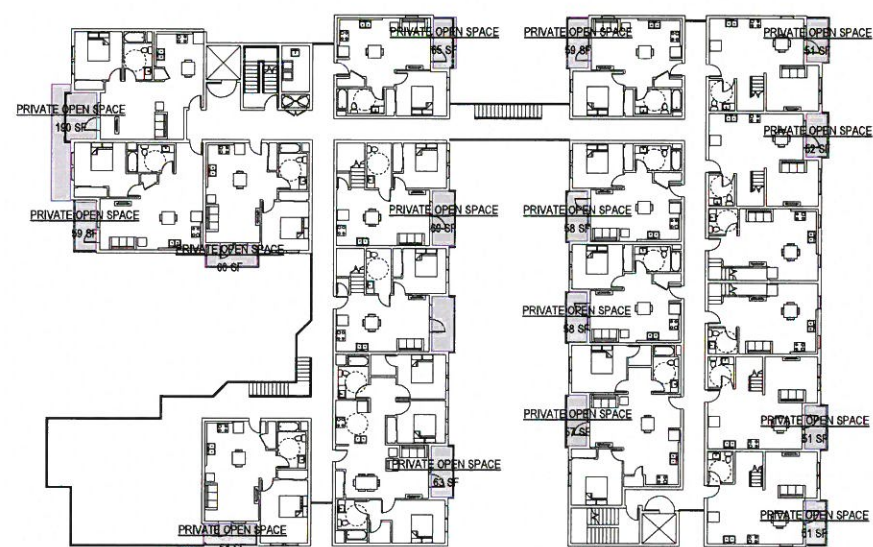
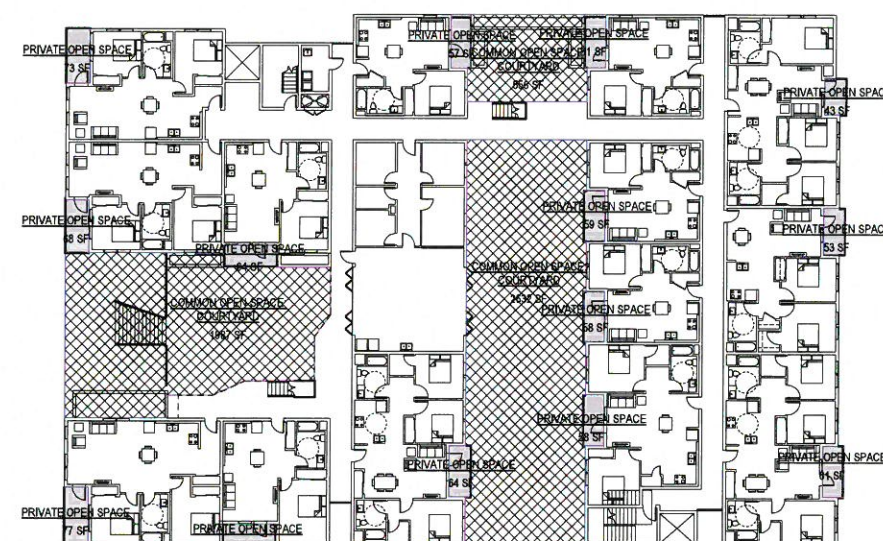
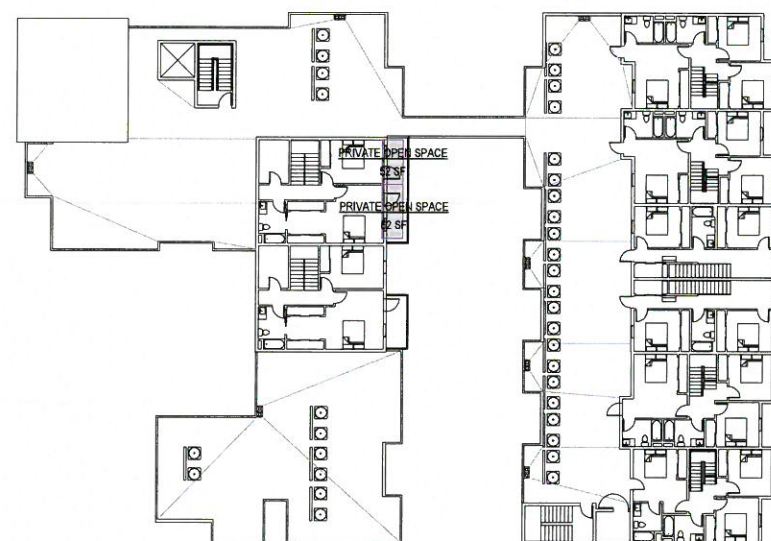
4TH FLOOR FAR PLAN
1/16" = 1'-0"

4










UNIT TYPE	UNIT COUNT	REQ. OPEN SPACE
1 BR	22	1100 SF
2 BR	13	650 SF
3 BR	13	650 SF
Grand total:	48	2400 SF

NAME	QTY	AREA (SF)	Level
COMMON OPEN SPACE: COURTYARD	3	4669	2ND FLOOR
	3	4669	
PRIVATE OPEN SPACE	14	650	2ND FLOOR
PRIVATE OPEN SPACE	16	700	3RD FLOOR
PRIVATE OPEN SPACE	16	800	4TH FLOOR
PRIVATE OPEN SPACE	2	1000	5TH FLOOR
	48	2250	
Grand total	51	6619	



LEGEND

	COMMON OPEN SPACE: COURTYARD
	COMMON OPEN SPACE: EAST COURTYARD
	COMMON OPEN SPACE: GYM
	COMMON OPEN SPACE: REC ROOM
	COMMON OPEN SPACE: ROOF GARDEN
	COMMON OPEN SPACE: WEST COURTYARD
	PRIVATE OPEN SPACE

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SUMMARY

SITE PLAN REVIEW

PACKAGE

JOB NUMBER

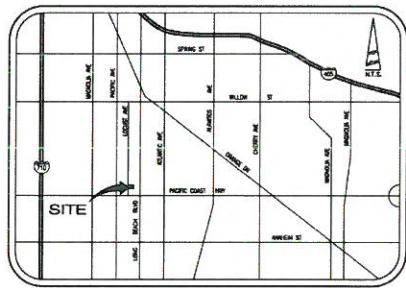
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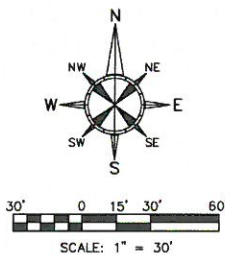
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OPEN SPACE CALCULATIONS

G026



VICINITY MAP

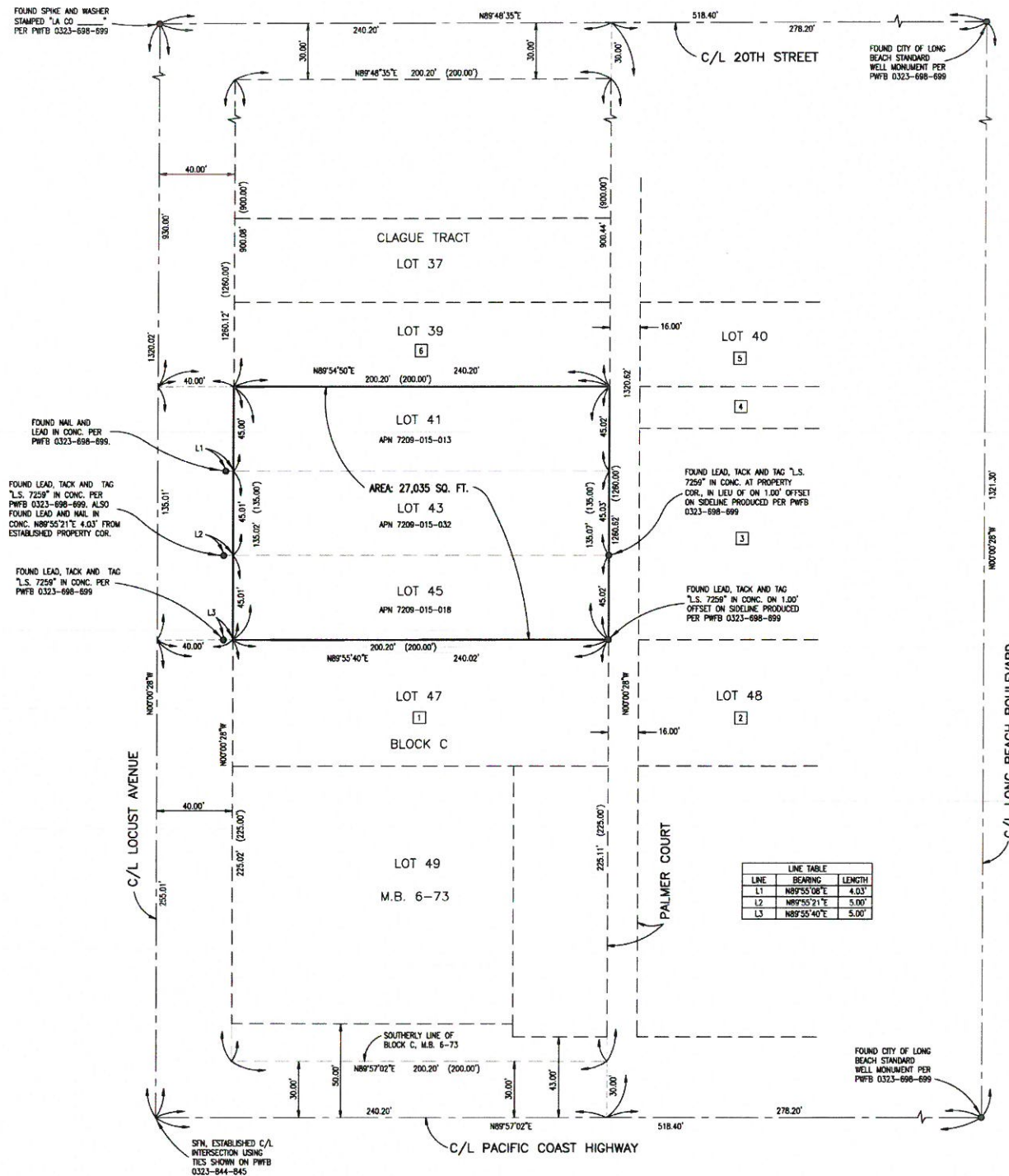


MISCELLANEOUS NOTES

- N1 THE BASIS OF BEARINGS FOR THIS SURVEY IS BASED ON THE CENTERLINE OF LOCUST AVENUE AS SHOWN ON LOS ANGELES COUNTY PUBLIC WORKS FIELD BOOK 0323, PAGE 699, ON FILE IN THE OFFICE OF THE COUNTY SURVEYOR OF THE COUNTY OF LOS ANGELES, BEING HELD AS NORTH 00°00'28" WEST AS SHOWN THEREON.
- N2 THE PROPERTY IS VACANT. THERE ARE NO BUILDINGS LOCATED ON THE PROPERTY.
- N3 THE TABLE BELOW DESCRIBES THE TYPE AND NUMBER OF PARKING STALLS ENTIRELY WITHIN PROPERTY BOUNDARY. STALLS THAT ARE PARTIALLY WITHIN BOUNDARY ARE LISTED UNDER THE HEADING "PARTIAL". PARTIAL STALLS ARE NOT COUNTED IN THE TOTAL.
- | PARKING | | | | |
|---------|----------|--------|---------|-------|
| REGULAR | HANDICAP | GARAGE | PARTIAL | TOTAL |
| 0 | 0 | 0 | 0 | 0 |
- N4 DURING OUR FIELD SITE VISIT, THERE WAS NOT OBSERVABLE EVIDENCE OF EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS WITHIN RECENT MONTHS.
- N5 THERE WAS NOT ANY CHANGES IN STREET RIGHT-OF-WAY LINES EITHER COMPLETED OR PROPOSED, AND AVAILABLE FROM CONTROLLING JURISDICTION OR EVIDENCE OF RECENT STREET OR SIDEWALK CONSTRUCTION REPAIRS.
- N6 DURING OUR FIELD SITE VISIT, THERE WAS NOT OBSERVABLE EVIDENCE OF SITE USE AS A SOLID WASTE DUMP, SUMP, OR SANITARY LANDFILL.
- N7 THE DISTANCE TO THE NEAREST INTERSECTING STREET, PACIFIC COAST HIGHWAY, IS 255.01' FEET AND IS SHOWN HEREON FOR CLARITY.

ADJACENT OWNERSHIP TABLE

PROPERTY NO.	ASSESSOR'S PARCEL NO.	ADDRESS	OWNER
1	7209-015-020	1830 LOCUST AVENUE	TALGUST
2	7209-015-021	1826 N PALMER COURT	A & R 126 INVESTMENT
3	7209-015-027	1841 LONG BEACH BLVD	COMIDA MEXICANA INC
4	7209-015-014	NONE	JAYA T PATEL/THANOR B PATEL
5	7209-015-012	NONE	JAYA T PATEL/THANOR B PATEL
6	7209-015-026	1854 LOCUST AVENUE #D	PATRICIA COCKBURN



TITLE REPORT LEGAL DESCRIPTION

ALL THAT CERTAIN REAL PROPERTY SITUATED IN THE COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, DESCRIBED AS FOLLOWS:

LOTS 41, 43 AND 45 IN BLOCK "C" OF THE CLAGUE TRACT, IN THE CITY OF LONG BEACH, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 6 PAGE 73 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

ASSESSOR'S PARCEL NUMBER: 7209-015-018, 032, 013

THE ABOVE DESCRIBED PROPERTY IS THE SAME LAND DESCRIBED IN COMMONWEALTH LAND TITLE COMPANY PRELIMINARY TITLE REPORT NO. 09191110-919-KRC-KRE, DATED MAY 16, 2016

SURVEY RELATED ITEMS CORRESPONDING TO EXCEPTIONS TO COVERAGE IN TITLE REPORT

[NONE]

FLOOD ZONE

A FIELD SURVEY WAS NOT CONDUCTED TO DETERMINE THE FLOOD ZONE AREAS. ANY FLOOD ZONE LINES DISTINGUISHING BETWEEN FLOOD AREAS ARE GRAPHICALLY PLOTTED FROM FEMA FLOOD INSURANCE RATE MAPS (FIRM). A FLOOD ELEVATION CERTIFICATE MAY BE NEEDED TO DETERMINE OR VERIFY THE LOCATION OF THE FLOOD AREAS. THE SUBJECT PROPERTY'S COMMUNITY DOES PARTICIPATE IN THE PROGRAM. IT IS DETERMINED THAT THE SUBJECT PROPERTY RESIDES IN ZONE "X SHARED" AS DETERMINED BY OR SHOWN BY FIRM COMMUNITY PANEL NO. 06013018047 (CITY OF LONG BEACH) DATED SEPTEMBER 26, 2008 AND IS NOT IN A FLOOD ZONE AREA.

UTILITY NOTE

THE LOCATIONS OF UTILITIES ARE SHOWN HEREON BY OBSERVED EVIDENCE ONLY.

SURVEYOR'S NOTES

- - FOUND MONUMENT AS NOTED HEREON.
- - SEARCHED FOR MONUMENT, FOUND NOTHING, SET NOTHING.
- [] - INDICATES SURVEYOR'S COMMENT.
- () - INDICATES RECORD DISTANCE PER CLAGUE TRACT, M.B. 6-73.

ALTA/NSPS LAND TITLE SURVEY

FOR
1836, 1842 & 1850 LOCUST AVENUE,
LONG BEACH, CA 90806

PARTNER PROJECT NUMBER 17242297

ALTA SURVEY BASED AND RELIED ON COMMONWEALTH LAND TITLE COMPANY PRELIMINARY TITLE REPORT NO. 09191110-919-KRC-KRE, CONTAINING AN EFFECTIVE DATE OF MAY 16, 2016 AND TIME OF 7:30 A.M.

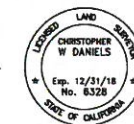
CERTIFICATION

TO CLIFFORD BEERS HOUSING AND COMMONWEALTH LAND TITLE COMPANY:

THIS IS TO CERTIFY THAT THIS MAP OR PLAN AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2016 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 2, 3, 4, 5, 6a, 8, 9, 10a, 13, 14, 16, AND 20 OF TABLE A THEREOF. THE FIELDWORK WAS COMPLETED ON MAY 02, 2017.

DATE OF PLAN OR MAP: MAY 16, 2017

SURVEYOR: CHRISTOPHER W. DANIELS
REGISTRATION NUMBER: 6328
STATE OF REGISTRATION: CALIFORNIA
FIELD DATE OF SURVEY: 05/02/2017
LATEST REVISION DATE: N/A



PARTNER
Engineering and Science, Inc.

1761 E. GARRY AVENUE
SANTA ANA, CA 92705
T 949-930-9095
cdaniels@partneresi.com

VISTAS DEL PUERTO

1836 LOCUST AVENUE
LONG BEACH CALIFORNIA

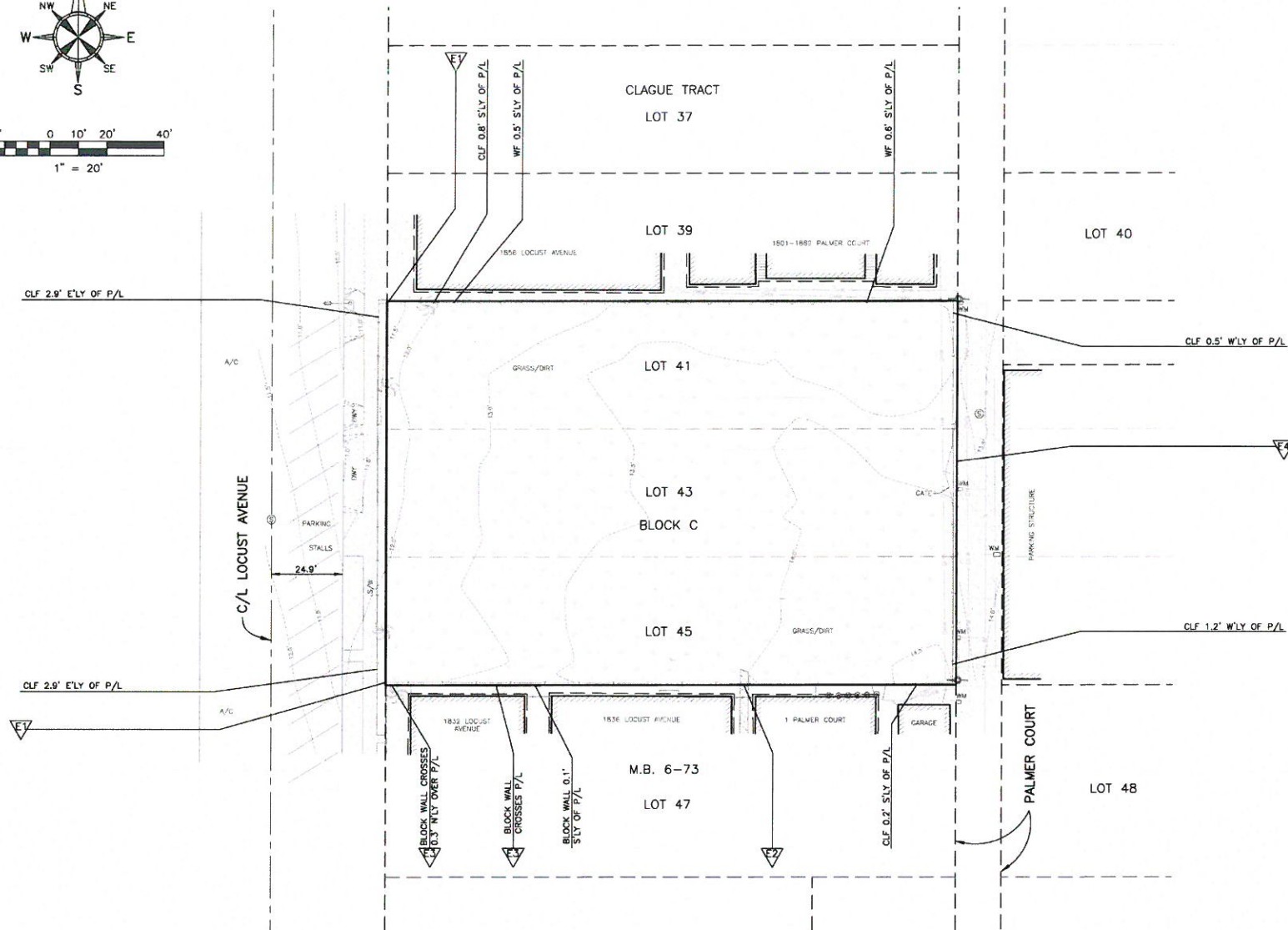
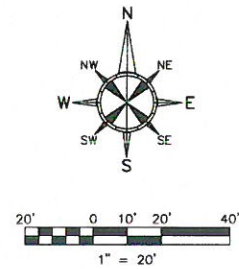
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LOS ANGELES CALIFORNIA 90017

SITE PLAN REVIEW PACKAGE

AS NOTED
17011
DATE: 09/14/2017
BY: [Signature]

DATE: [Blank]
SURVEY

DATE: [Blank]
G080



A/C	ASPHALT
BLDG	BUILDING
BOLL	BOLLARD
CB	CATCH BASIN
CF	CURB FACE
CLF	CHAIN-LINK FENCE
COR	CORNER
CTP	CABLE TV PULLBOX
C/L	CENTERLINE
DWY	DRIVEWAY
EPB	ELECTRICAL PULLBOX
ER	ELECTRICAL RISER
FDC	FIRE DEPARTMENT CONNECTION
GM	GAS METER
HC	HANDICAP PARKING STALL
HT	HEIGHT
UP	LIP OF GUTTER
PIV	POST INDICATOR VALVE
P/L	PROPERTY LINE
RD	ROOF DRAIN
SCO	SEWER CLEANOUT
SDMH	STORM DRAIN MANHOLE
SMH	SEWER MANHOLE
S/W	SIDEWALK
TPB	TELEPHONE PULLBOX
V-GUT	VALLEY GUTTER
WF	WOOD FENCE
WM	WATER METER
WVT	WATER VAULT
	BLOCK/CONCRETE WALL
	CHAINLINK FENCE
	WROUGHT IRON FENCE
	WOOD FENCE
	OVERHEAD WIRE
	UNDERGROUND GAS
	UNDERGROUND WATER
	CONTOUR ELEVATION
	BUILDING PERIMETER
	CONCRETE
	GRASS/LANDSCAPING
	SIGN
	BOLLARD
	POWER POLE
	STREET LIGHT
	SEWER MANHOLE
	PALM TREE

LEGEND

STATEMENT OF POTENTIAL ENCROACHMENTS

- E1 CHAIN-LINK FENCE CROSSES THE WESTERLY PROPERTY LINE. DISTANCES ARE NOTED HEREON.
- E2 UN-ACCESSIBLE CONCRETE PEDESTRIAN SIDEWALK CROSSES THE SOUTHERLY PROPERTY LINE.
- E3 BLOCK WALL CROSSES THE SOUTHERLY PROPERTY LINE. DISTANCES OVER THE PROPERTY LINE ARE SHOWN HEREON.
- E4 OVERHEAD WIRE(S) STRADDLE THE EASTERLY PROPERTY LINE.

BENCHMARK

CITY OF LONG BEACH BENCHMARK #566
 DATUM - NGVD 29
 YEAR - 1985
 ELEVATION - 28.628
 DESCRIBED AS: BRASS DISC FLUSH WITH PAVT STAMPED "CLB
 BM 566 1985 36" E / CURB 1.1' N / CURB. NE COR LONG
 BEACH BLVD AT PACIFIC COAST HWY

ALTA/NSPS LAND TITLE SURVEY
 FOR
 1836, 1842 & 1850 LOCUST AVENUE
 LONG BEACH, CALIFORNIA 90806

PARTNER
 Engineering and Science, Inc.
 1761 GARRY AVENUE
 SANTA ANA, CA 92705
 714-477-8989
 CDANIELS@PARTNERESI.COM

LATEST REVISION DATE: N/A
 DATE OF MAP OR PLAT: 05/16/2017

JN: 17242297

PAGE 2 OF 2

VISTAS DEL PUERTO

1836 LOCUST AVENUE
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SURVEY

G081



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09/14/2017

EXTERIOR
RENDERINGS

G090



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SUBMITTAL

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EXTERIOR RENDERINGS

G091



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NOTES

- 01 PROPERTY LINE
- 02 SETBACK / DEDICATION LINE
- 03 PROPOSED PALMER COURT ALLEY ACCESS
- 04 (E) CONCRETE CURB APPROACH TO BE REMOVED
- 05 (E) 6" CONCRETE CURB TO REMAIN
- 06 (E) UTILITY POLE TO REMAIN
- 07 (E) OVERHEAD LINE TO REMAIN
- 08 (E) ADJACENT BUILDING (NOT A PART)
- 09 (E) WATER METER TO REMAIN
- 10 (N) CONCRETE LANDSCAPE PLANTER
- 11 (N) CONCRETE BENCH
- 12 (E) LOT LINE TO BE REMOVED PER LOT MERGER
- 13 (N) ELECTRICAL TRANSFORMER
- 14 (E) TREE TO BE REMOVED
- 15 (N) CMU SECURITY WALL
- 16 (N) CONCRETE STAIRS TO 2ND FLOOR
- 17 (E) CONCRETE SIDEWALK TO REMAIN
- 18 (E) FENCE & GATE TO BE REMOVED
- 19 (N) CONCRETE COLUMN, TYP.
- 20 (N) TRASH DUMPSTER (CHUTE ABOVE)
- 21 (N) RECYCLE DUMPSTER (CHUTE ABOVE)
- 22 (E) PARKING STRIPING TO REMAIN

PARKING MIX

STANDARD RESIDENTIAL SPACES (PER LAMC)	34 SPACES
EV SPACE (20% OF TOTAL)	4 SPACES
HANDICAP SPACES	2 SPACES
TOTAL PARKING SPACES	40 SPACES

TOTAL BUILDING AREAS

LEVEL	AREA (SF)
1ST FLOOR	21348
2ND FLOOR	13515
3RD FLOOR	13395
4TH FLOOR	11889
5TH FLOOR	5719
Grand total	65866

FAR SCHEDULE

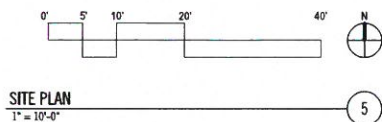
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4TH FLOOR	RESIDENTIAL	12778
5TH FLOOR	RESIDENTIAL	5333
Grand total		52363

SHEET NOTES

- ALL DIMENSIONS ARE TO FOS OR FOM UNO.
- SEE SHEETS 0040-0042 FOR TYPICAL ACCESSIBILITY REQUIREMENTS.
- ALL DIMENSIONS INDICATED AS "CLR" ARE FROM FINISH TO FINISH.
- PROVIDE EXPANSION JOINTS AT ALL POINTS OF CONTACT BETWEEN SLAB AND VERTICAL SURFACES.
- CONTROL JOINTS OR CONSTRUCTION JOINTS SHALL DIVIDE THE SLAB ON GRADE INTO SECTIONS WITH AREAS NOT EXCEEDING 400SF (20' X 20') WITHOUT RE-ENTRANT CORNERS AND LENGTH TO WIDTH RATIO NOT EXCEEDING 1 1/2:1. ADDITIONAL CONTROL OR CONSTRUCTION JOINTS SHALL BE PLACED AT RE-ENTRANT CORNERS.

LEGEND

- ACCESSIBLE PATH OF TRAVEL
- EXISTING NEIGHBORHOOD BUILDING (NOT A PART)
- PROPOSED BUILDING FOOTPRINT
- INDICATES STRUCTURE TO BE DEMOLISHED
- (N) PROPOSED LANDSCAPE



SITE PLAN
1" = 10'-0"

5

LOCUST AVENUE

PALMER COURT

(N) PROPOSED 4 STORY
AFFORDABLE HOUSING BUILDING

ZONING: PD-29
MIDTOWN SPECIFIC PLAN
TRANSIT NODE HIGH

(E) SINGLE-STORY RESIDENTIAL

(E) SINGLE-STORY RESIDENTIAL

(E) SINGLE-STORY RESIDENTIAL

(E) SINGLE-STORY RESIDENTIAL

(E) SINGLE-STORY RESIDENTIAL

(E) SINGLE-STORY RESIDENTIAL

(E) SINGLE-STORY RESIDENTIAL

(E) SINGLE-STORY RESIDENTIAL

27' - 10 1/2"
C.L. LOCUST AVE.
40' - 0"
TO P.L.

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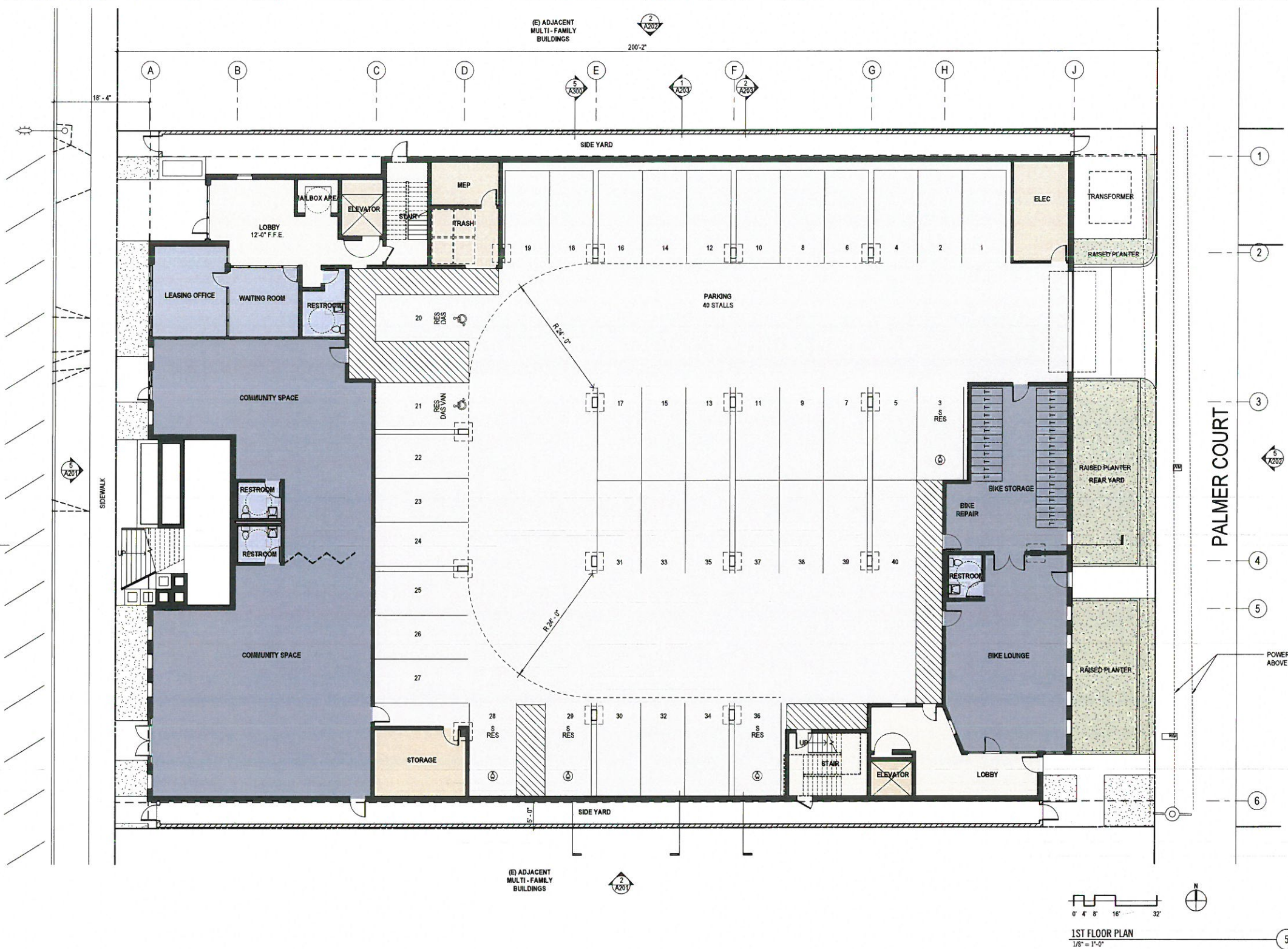
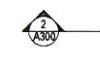
274

275

276

2

LOCUST AVENUE



- NOTES**
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 2. ALL DIMENSIONS INDICATED AS "CLR" ARE FROM FINISH TO FINISH.
 3. ROOMS LABELED AS HAVING A FIRE RATING SHALL HAVE RATED WALLS AND CEILING ASSEMBLIES.
 4. DWELLING UNITS SHALL BE SEPARATED WITH 1-HR FIRE-RESISTIVE CONSTRUCTION AT WALLS & FLOORS.
 5. PROVIDE UNIT & ROOM IDENTIFICATION SIGNAGE.
 6. PROVIDE LEVEL LANDINGS @ EXIT DOORS AND GATES.

VISTAS DEL PUERTO

1836 LOCUST AVENUE
LONG BEACH CALIFORNIA

CLIFFORD BEERS HOUSING
11739 VICTORY BOULEVARD
LOS ANGELES CALIFORNIA 90017

- LEGEND**
- EXISTING NEIGHBORHOOD BUILDINGS (NOT A PART)
 - LANDSCAPE AREA
 - ACCESSIBLE PATH OF TRAVEL
 - INDICATES STRUCTURES TO BE DEMOLISHED

SITE PLAN REVIEW PACKAGE
17011
09/14/2017

FIRST FLOOR PLAN

A110

3'-0" x 5'-6" CASEMENT WINDOW W/
FIXED TRANSOM BELOW, SEE ELEVATIONS
WINDOW TYP. THROUGHOUT

LOCUST AVENUE
A300



0' 4' 8' 16' 32'
2ND FLOOR PLAN
1/8" = 1'-0"

- NOTES
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SECOND FLOOR PLAN

A120



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THIRD FLOOR PLAN

DATE:
A130



NOTES

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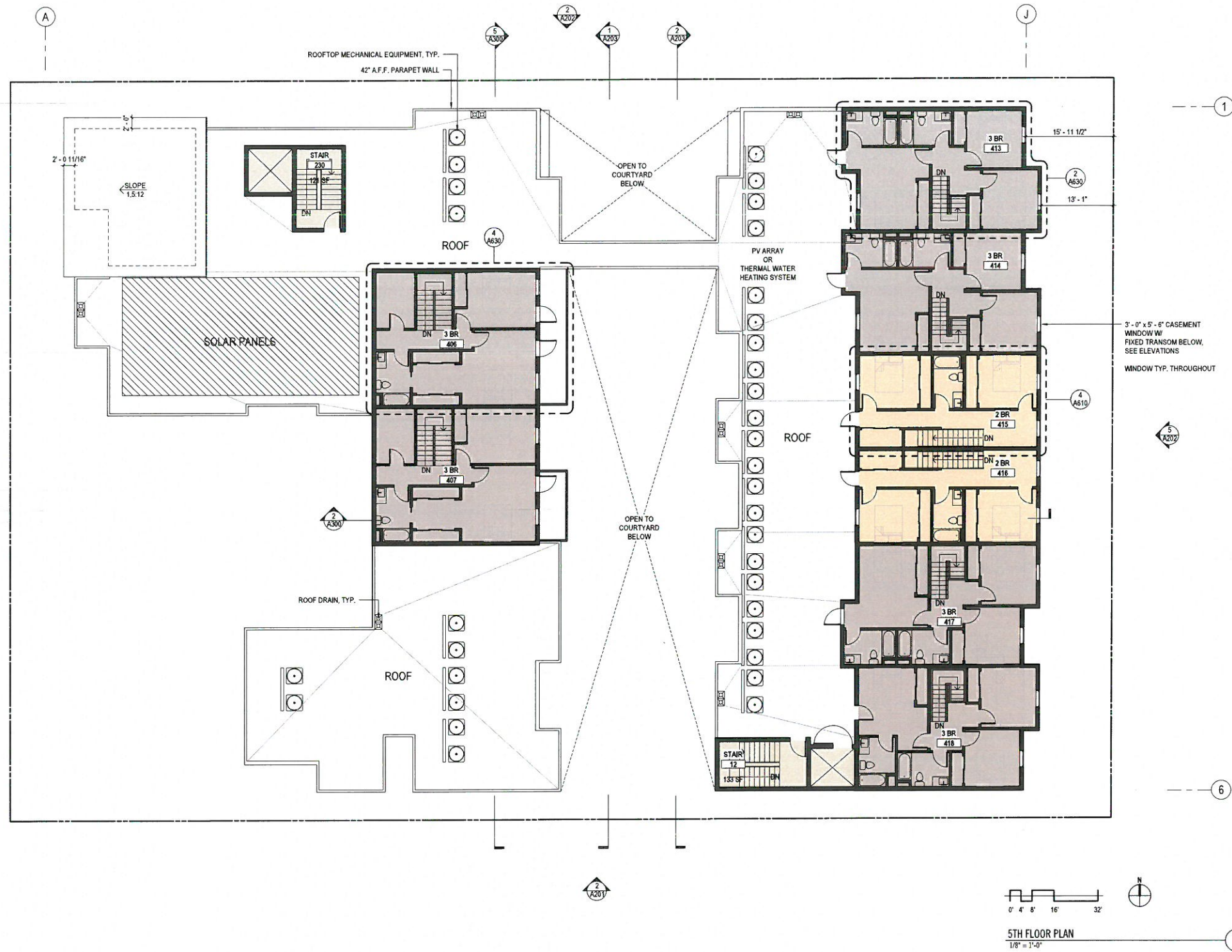
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PACKAGE

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FOURTH FLOOR
PLAN

PROJECT NUMBER
A140



NOTES

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SITE PLAN REVIEW
PACKAGE

REV: 17011

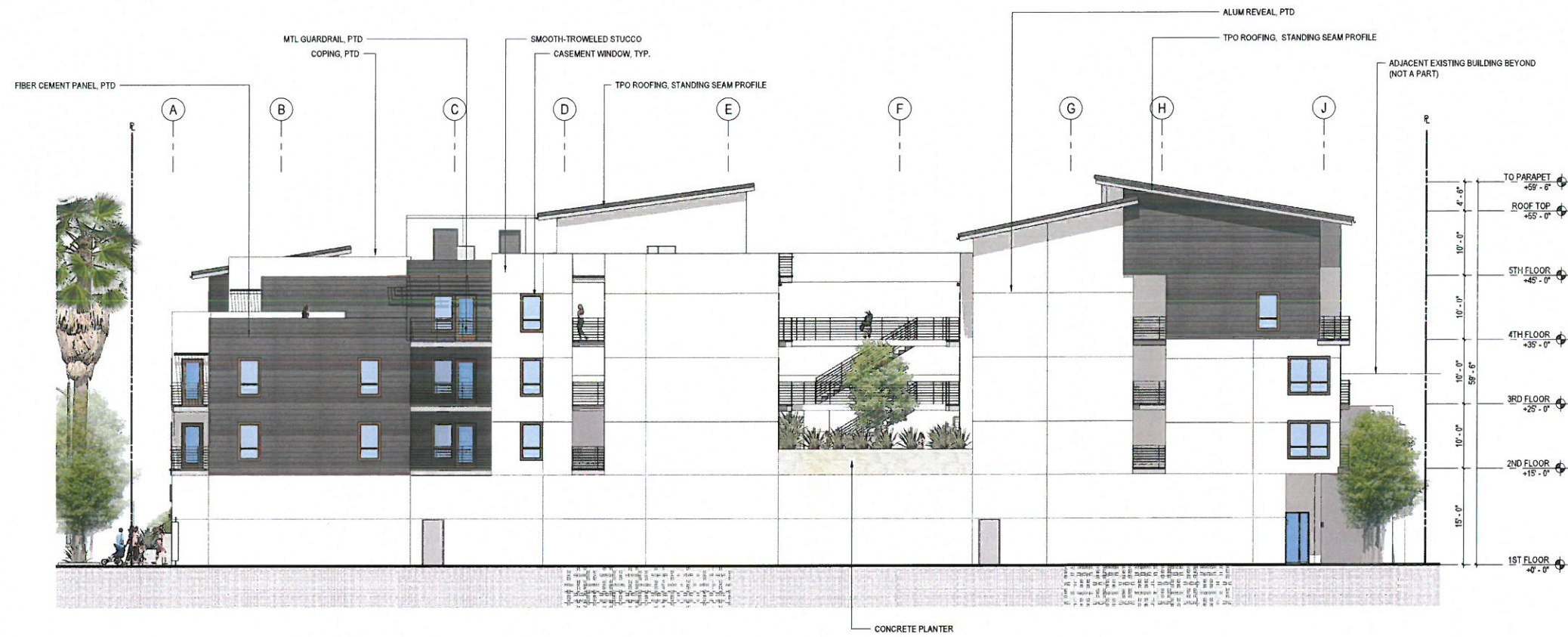
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FIFTH FLOOR PLAN

SHEET NUMBER

A150



SOUTH ELEVATION
1/8" = 1'-0"

2



WEST ELEVATION
1/8" = 1'-0"

5

NOTES

1. SEE COLOR & MATERIALS SELECTIONS FOR FURTHER INFORMATION.



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BY: KFA

ELEVATIONS

DATE: 09/14/2017
BY: KFA
A201



NORTH ELEVATION
1/8" = 1'-0"

2



EAST ELEVATION
1/8" = 1'-0"

5

NOTES

1. SEE COLOR & MATERIALS SELECTIONS FOR FURTHER INFORMATION.



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ELEVATIONS

SHEET NUMBER
A202
TOTAL SHEETS: 20



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VISTAS DEL PUERTO

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WEST ELEVATION SIGN EXHIBIT (NORTH)
1/4" = 1'-0"

1

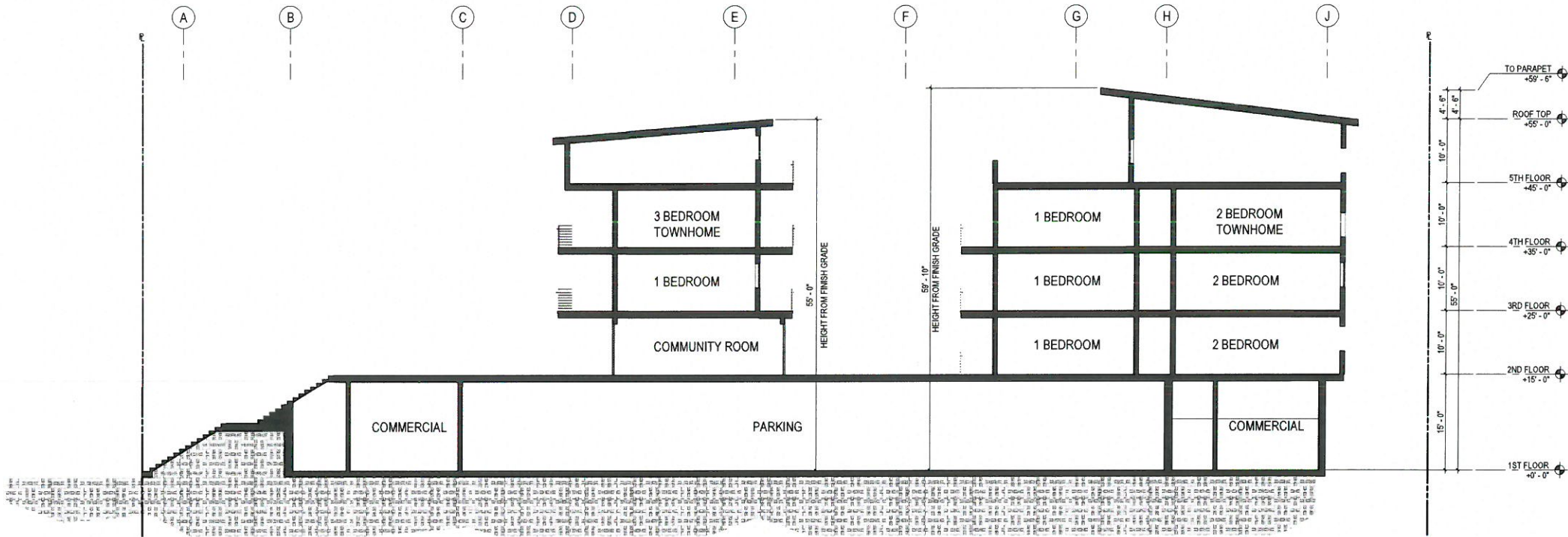
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SUBMITTAL
SITE PLAN REVIEW
PACKAGE

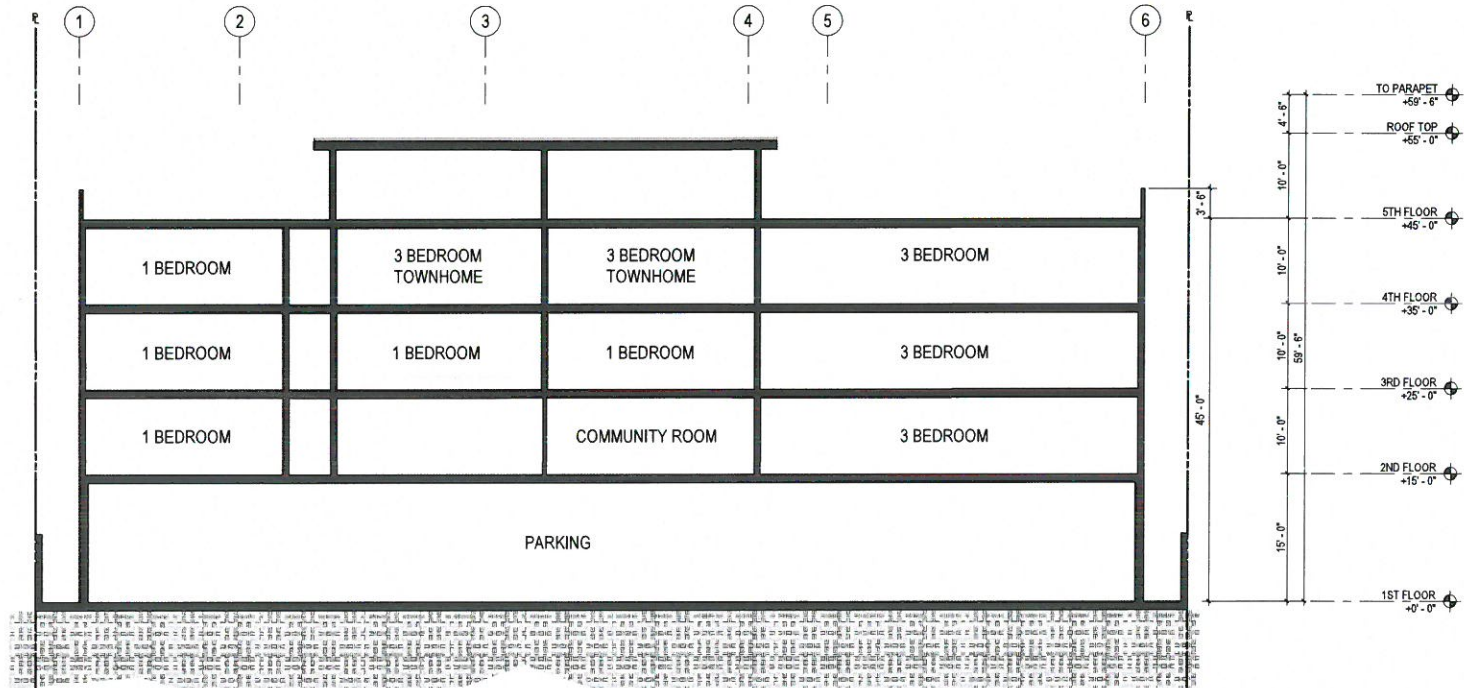
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SHEET NO. 1
SIGN EXHIBIT

SHEET NUMBER
A203
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LONGITUDINAL SECTION
1/8" = 1'-0" 2



TRANSVERSE SECTION
1/8" = 1'-0" 5

NOTES



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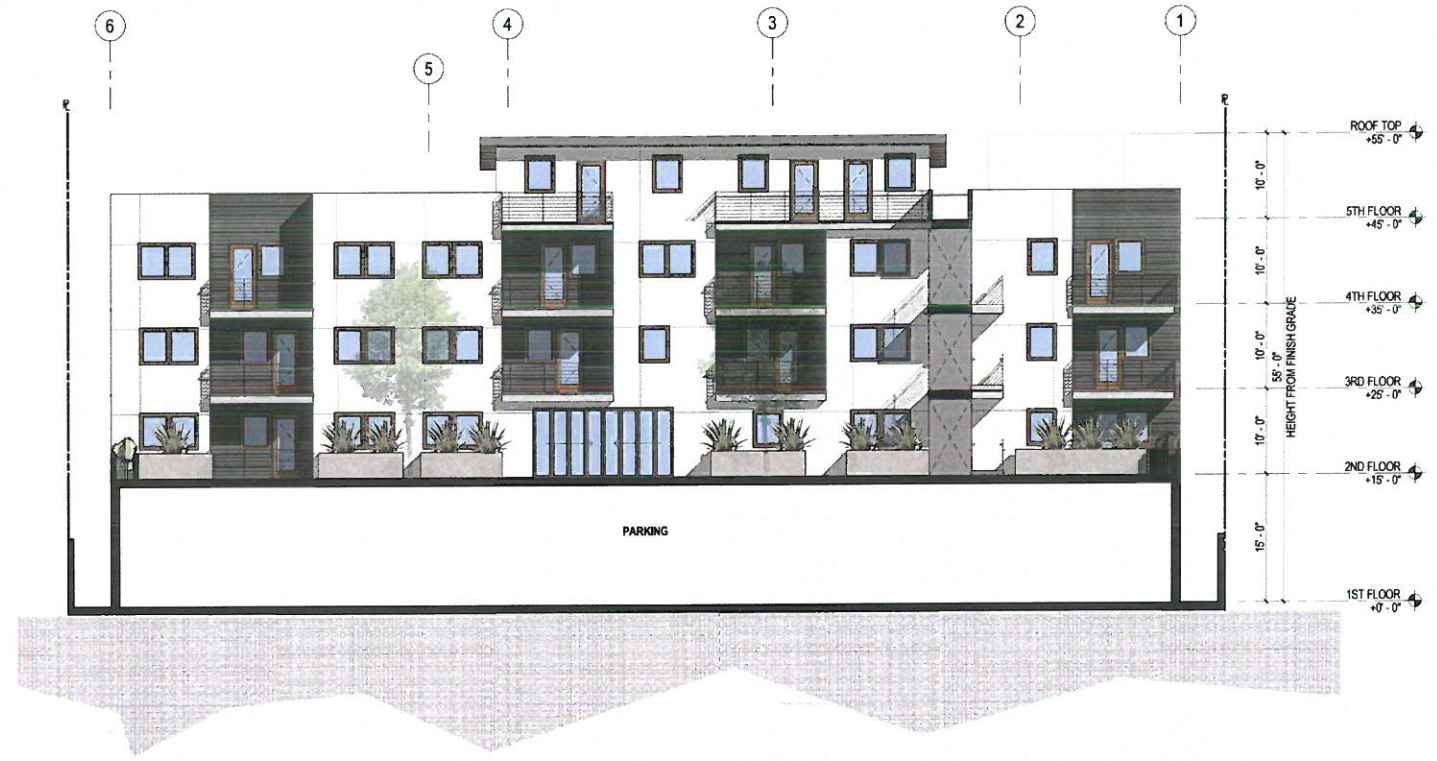
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DATE: 09/14/2017
PROJECT: 17011
SHEET: 09/14/2017

BUILDING SECTIONS

A300



COURTYARD SECTION WEST
1/8" = 1'-0"

1



COURTYARD SECTION EAST
1/8" = 1'-0"

2

NOTES



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BUILDING SECTIONS

PROJECT NUMBER
A301

VISTAS DEL PUERTO

1842 LOCUST AVENUE
LONG BEACH, CA
90806

CLIFFORD BEERS HOUSING
1200 VILSHIRE BLVD
#520
LOS ANGELES
CALIFORNIA 90017



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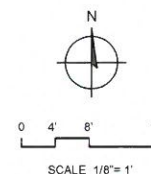
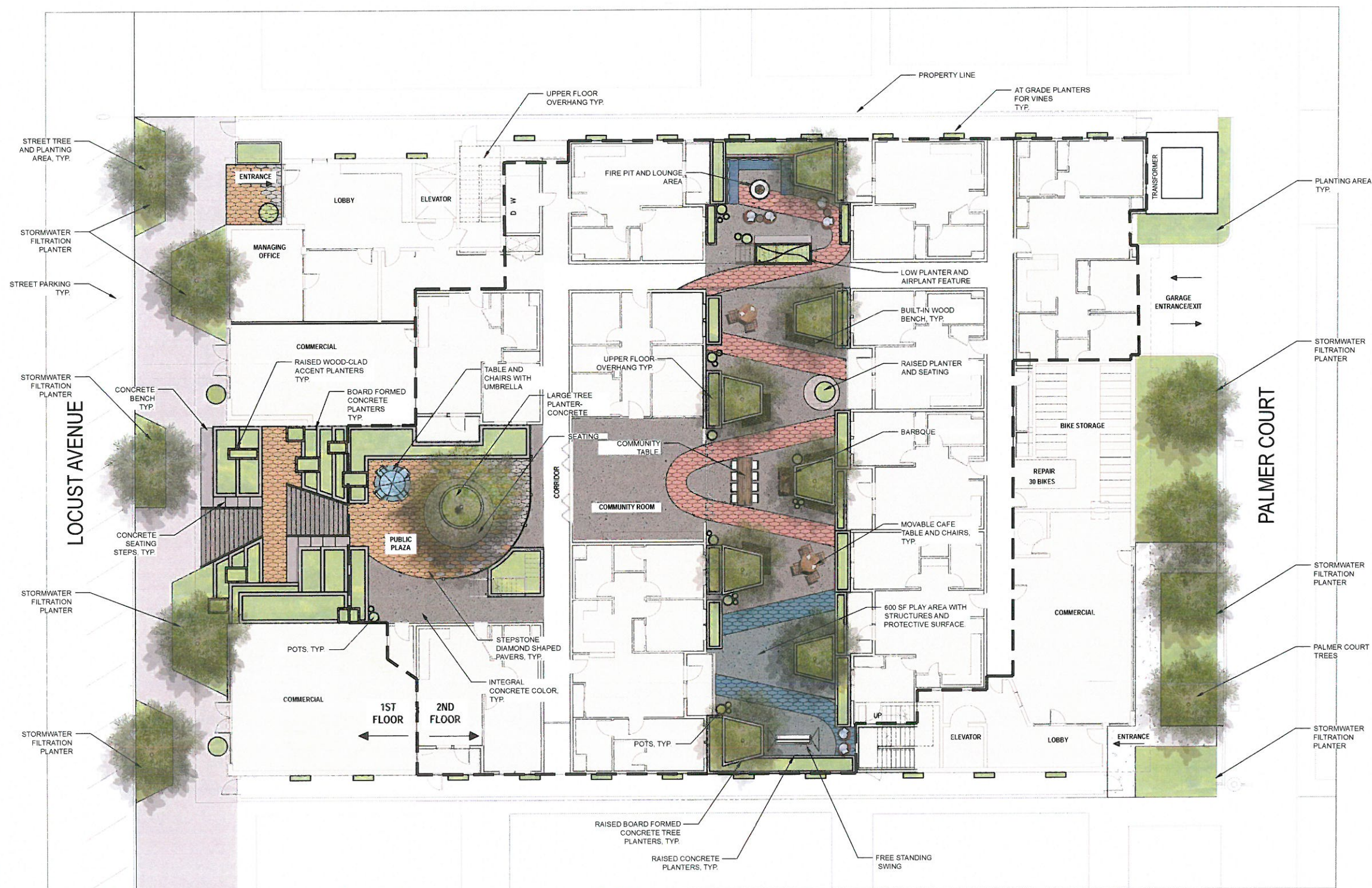
JOB NUMBER:
17011

DATE:
09/14/2017

REVISIONS:

SHEET TITLE:
**CONCEPTUAL
LANDSCAPE
PLAN
1ST AND 2ND
FLOOR**

SHEET NUMBER:
L1.10



VISTAS DEL PUERTO

1842 LOCUST AVENUE
LONG BEACH, CA
90806

CLIFFORD BEERS HOUSING
1200 WILSHIRE BLVD
#520
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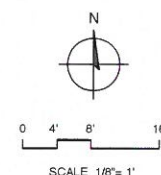
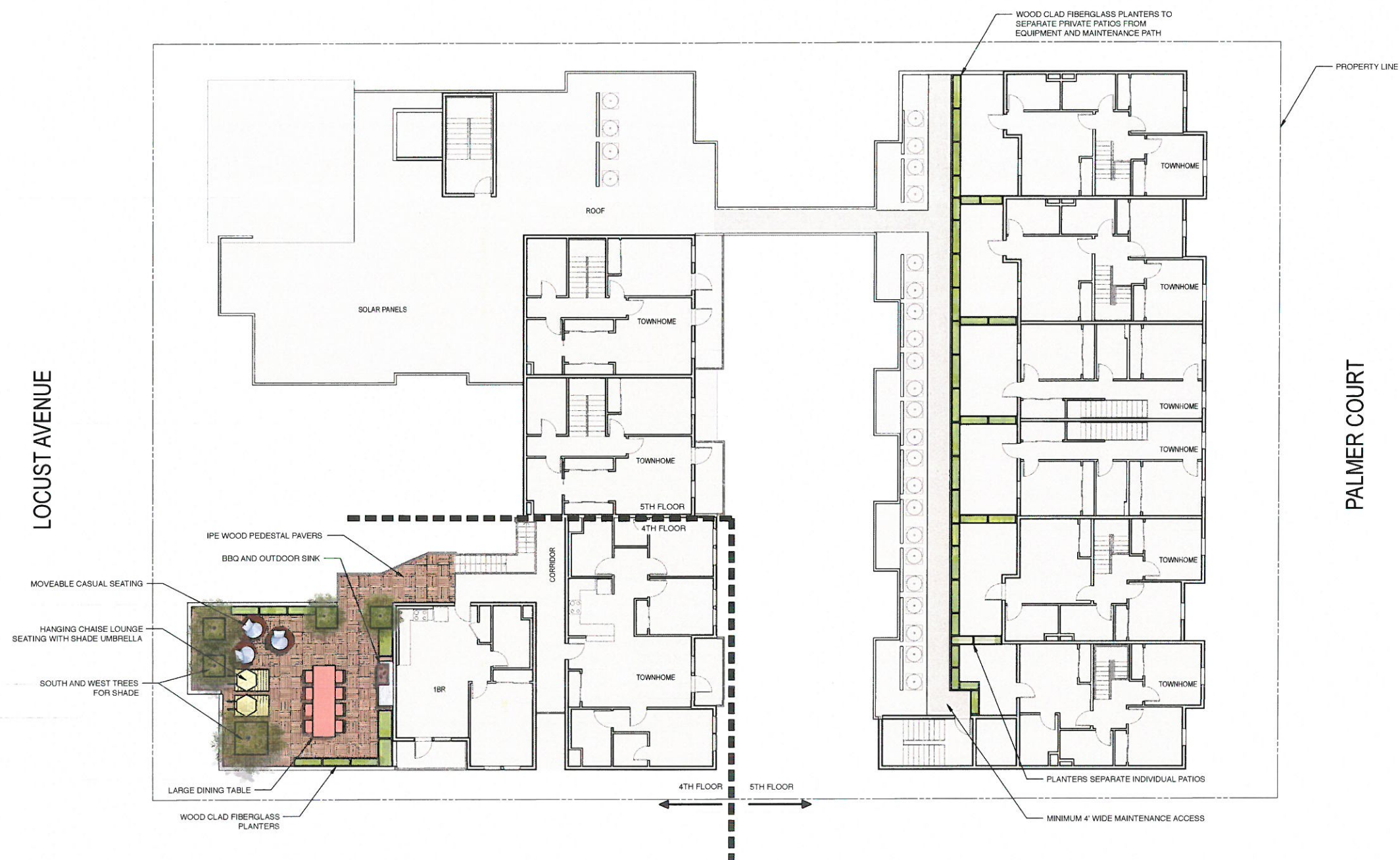
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17011
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SHEET TITLE:
**CONCEPTUAL
LANDSCAPE
PLAN
4TH AND 5TH
FLOORS**

SHEET NUMBER:
L1.40



PLANTS

TREES



Acacia podalyrifolia
Pearl Acacia
12-20' h x 15-20' w
Sun



Dracaena draco
Dragon Tree
15-25' h x w
Sun or shade

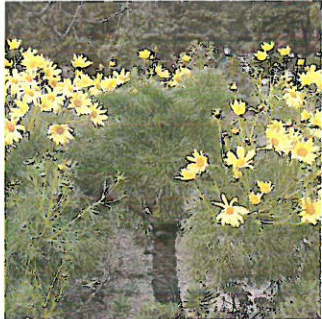


Melaleuca nesophila
Pink Melaleuca
15-20' h x 8-12' w
Sun

LARGE PLANTS



Agave 'Blue Flame'
Blue Flame Agave
3-5' h x w
Partial to Full Sun



Coreopsis gigantea
Giant Coreopsis
3-5' h x w
Sun



Echium candicans
Pride of Madeira
4-6' h x w
Sun



Lavatera matiflora
Tree Mallow
4-6' h x w
Sun

SMALL PLANTS



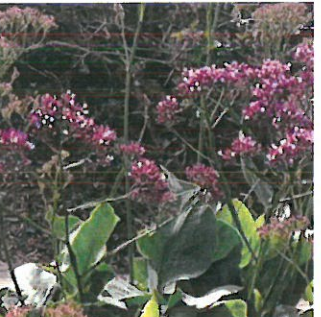
Rhodocoma capensis
Giant Cape Restio
4-6' h x 2-4' w
Partial to Full Sun



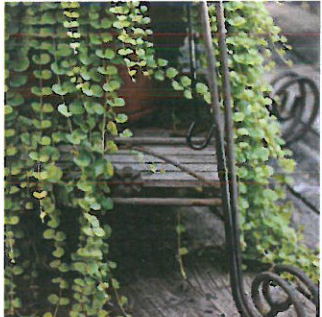
Artemisia schmidiana 'Silver Mound'
Silver Mound Artemisia
6-12' h x 12-18' w
Sun



Juncus patens
California Gray Rush
1-2' h x w
Sun or shade



Limonium perezii
Sea Lavender
18" h x 2' w
Sun



Muehlenbeckia complexa
Wire Vine
Groundcover to 30'
Sun or shade



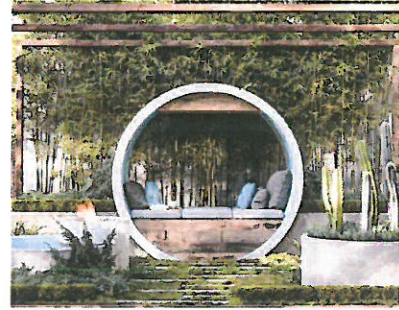
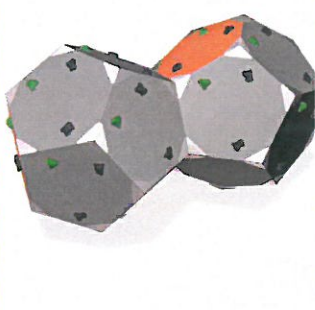
EPIPHYTE WALL

FURNISHINGS

DINE



PLAY



LOUNGE



MATERIALS

PAVERS



PLANTERS

