

1795 LONG BEACH BLVD./ PCH FAMILY APARTMENTS

Assessor Parcel #: 7269-019-044  
Gross Site Area: Appx. 44,236 SF or 1.01 ac.  
Net Site Area (2' alley dedication) (1' LB Blvd dedication) (2' PCH dedication): 43,188.9 SF or 0.99 ac.  
(5' Future Pacific Coast Hwy dedication) : 42,553.8SF or 0.97 ac.  
Current Zoning: Midtown Specific Plan, Transit Node, Subarea 6  
Gen. Plan Land Use:  
Density: 104 du/ac on Net Site Area after & future dedication  
100 du/ac on Gross Site Area

PROJECT:  
Residential: 100% Affordable Family Apts.  
Units: 102 total  
Studio 1 (0.01%) - 466 SF + 37 SF Balcony  
1BR 49 (48.0%) - 600 SF + 37 SF Balcony  
2BR 26 (25.4%) - 800 SF + 74 SF Balcony  
3BR 26 (25.4%) - 1100 SF+ 74 SF Balcony  
Leasing/Off. Lobby &  
Common Area: 4,088 SF (Street) + 285 (Lev 1)=4,373 SF

Retail Space: 3,938 GLA  
PARKING:  
Parking Req'd: Long Beach Midtown Specific Plan  
Studio/1BR 1 per unit = 50  
2BR 1.25 per unit = 32.5  
3BR 1.25 per unit = 32.5  
Guest 1 per 4 units = 25.5  
Total 140.50 spaces  
Retail: 2:1000 (0 required for less than 4000 SF)

California Code Section 65915-65918 for Affordable Housing  
within 0.25 mile of major transit station: 0.5 spaces/unit (no guest).  
Required: 102 units at 0.5 = 51 spaces.

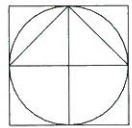
Provided:  
Studio/1BR 0.42 per unit = 21  
2BR 1 per unit = 26  
3BR 1 per unit = 26  
Total: = 73  
Retail 2.22:1000 = 9  
Total: = 82  
Total Provided: 77 + 5 motorcycles = 82

OPEN SPACE:  
Private & Common:  
50 SF/Unit Req'd = 5050 SF  
55.7 SF/Unit Provided = 5683 SF  
Courtyard = 8,167 SF  
Total Provided = 13,850 SF

TOTAL BUILDING SQUARE FOOTAGE: 145,478 SF  
Proposer/ Applicant: AMCAL Multi-Housing, Inc.  
30141 Agoura Road, Suite 100, Agoura Hills, CA 91301  
818.706.0694 x 128 - Jay Ross  
Architect: William Hezmalhalch Architects, Inc. (WHA)  
2850 Redhill Avenue, Suite 200  
Santa Ana, CA 92705  
949.250.0607 - Ron Nestor, AIA  
Civil: United Civil  
11180 Durfee Ave., Suite 220  
South El Monte, CA 91733  
625.575.9999 x 202 - John Luong  
Landscape: MJS Design  
511 30th Street  
Newport Beach, CA 92663  
949.675.9964 - Mark Schattinger

SHEET INDEX  
G.1 Context Aerial Site Plan, Project Team, Sheet Index  
A.1 Street & Basement Level  
A1.1 Street & Basement Level Surveillance Plan  
A.2 Level 1 (Podium) Plan  
A.3 Level 2 & 3 & 4 Plan  
A.4 Roof Plan  
A.5 Typical Unit Plans  
A.6 Sections  
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A.8 Elevations  
A.9 Elevations

L 1.0 Conceptual Landscape Plan  
L 1.1 Plant Palette and Landscape Notes



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# 1795 Long Beach Blvd. Family Apartments

Long Beach Blvd. at Pacific Coast Highway, Long Beach, California



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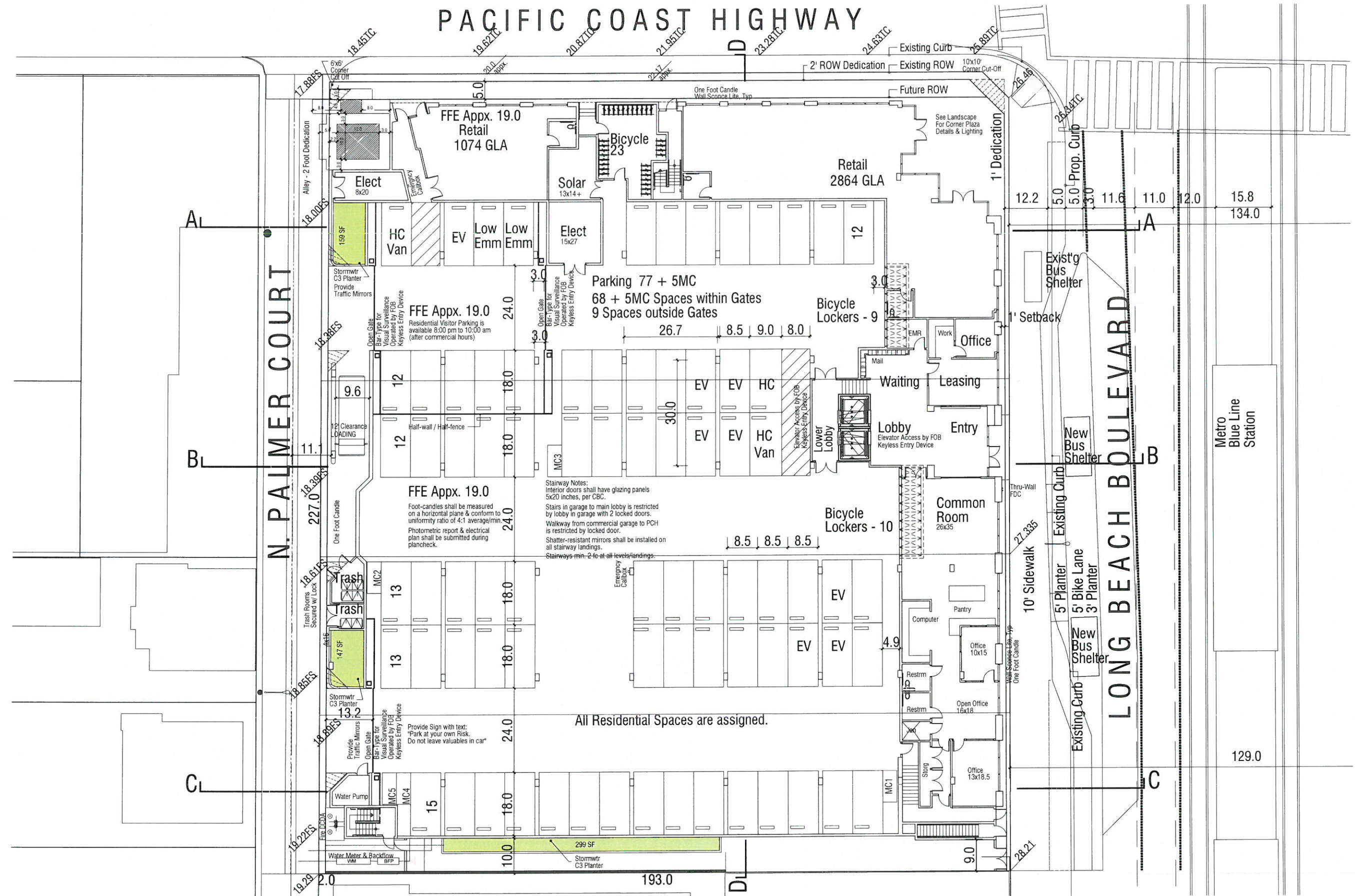
November 15, 2017  
WHA 2016163.00

Context  
G.1  
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Long Beach Blvd.  
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0'20'40'





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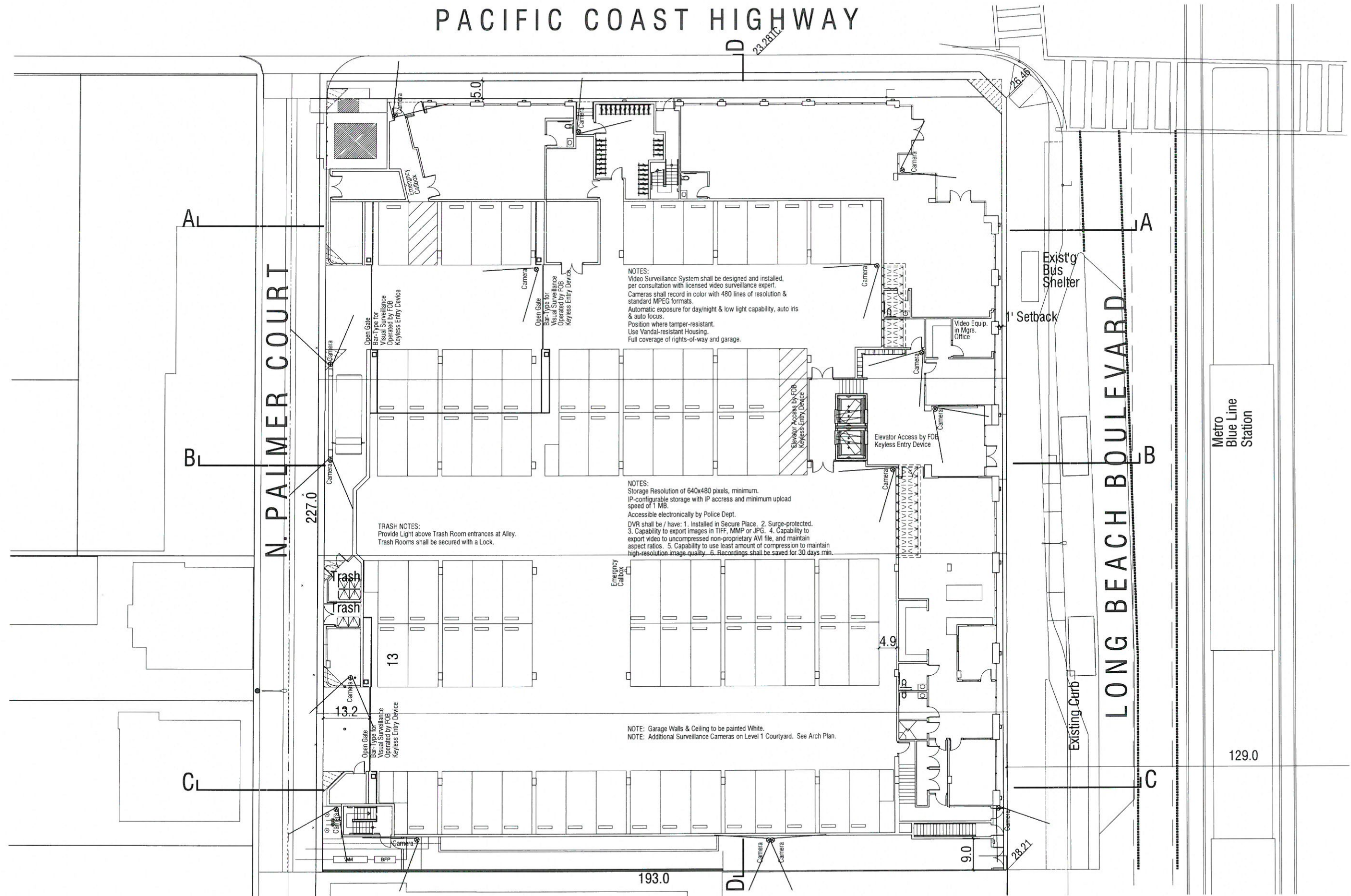
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Long Beach Blvd. at Pacific Coast Highway, Long Beach, California

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October 23, 2017  
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 Street & Bsmnt Lev A.1  
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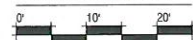
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October 23, 2017  
WHA 2016163.00

Street & Bsmnt Lev  
A.1.1 Surveillance

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Long Beach Blvd.  
Family Apts.  
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**General Notes:**

- A. Site planning
- Bicycle lane along the Long Beach Blvd. frontage (only) is included in civil plan, architecture plan and landscape plan. (The full bike lane from PCH to Anaheim St. is a separate project, and will be designed in future plans).
  - The right-of-way is 12 ft. with the 7-ft. dedication. A planter / landscape area of 6 ft. and a landscape area of 6 ft. is provided. A 10-ft. concrete width can be provided, which would reduce the landscape area to 2 ft.
  - Per discussion with Planning Dept., no changes were done to the layout. The cross-aisle is in the best location because it shortens the driving distances to the farthest parking spaces, and it cannot be too close to the garage entrance, because that would make the turn radius impossible. Also, no extra cross-aisle is provided between the north and center driveways, because the north residential driveway can be accessed by the commercial entry, and the extra aisle would delete 4-6 parking spaces.
  - A half-wall, half-fence barrier will separate the commercial parking and residential parking. A note is added for the residential garage: "All residential spaces are assigned." A note is added to the commercial garage: "Residential visitor parking available 8:00 pm to 10:00 am" (which is after commercial hours).
- B. Architecture
- Height of retail is 15 ft., per the Specific Plan's allowable exemption (which creates a building height of 60 ft.). If the floor height is increased to 18 ft., then the building height will increase to 63 ft. Type 3 construction must be used for buildings that exceed 60 ft. in height, and that would increase the development/construction budget by 10% (~\$2,500,000). This project is affordable and is requesting funds from numerous public agencies to make it financially feasible. The City of Long Beach or County of Long Angeles would have to come up with the additional \$2,500,000 in funding, which is doubtful because municipalities already have limited housing / funding budgets. Additional funding to cover additional construction costs would take that money away from building actual housing units, and reduce the number of affordable units that can be developed in the city.
  - The storefront tower is increased to 3 stories.
  - The roof tower is removed.
  - The art sculpture is removed.
  - The overall size/area of the colored tile art wave is increased to ~60% of the façade (non-window/balcony area), and is extended to the PCH and Long Beach Blvd. facades.
  - The size/area of the colored tile art wave is increased to ~60% of the façade, so it is more visible and prominent. Increasing the color by increasing the size of the art work is better than arbitrarily changing colors of the façade material in the courtyard, which may make it look too garish. The tile colors are not necessarily bold, but they are unique and distinctive (dark blue, light blue, tan, white), and their classic but subtle design will certainly attract the eyes of people.
  - The size of the stucco is reduced in the corner plaza façade area by increasing area covered by the color tiles of the artwork. Stucco is less than 40% of the façade (when including the windows and balconies), which is a reasonable proportion, and other materials like hardboard and steel are used on the facade. The ground floor includes no stucco and has stone veneer for most of the façade along with big glass / window areas. Classic light fixtures also add ambience and interest to the ground floor facade.
- II. Nov. 3 review letter (Police)
- A. Lighting location
- Lights are added to the pedestrian entrance and walkway on the south side, center courtyard, Palmer Court side, PCH side, Long Beach Blvd. side, commercial garage, commercial garage entrance along Palmer Court (see new Lighting Plan).
- B. Exterior lighting
- Note added at all walkways: "1 foot-candle".
  - Wall pack lighting added to each side of building and above lobby, retail and other exterior doors.
  - Lighting added to walls of alcoves on perimeter of building.
  - Lighting added above exterior signage.
  - Note added: "Foot-candles shall be measured on a horizontal plane and conform to uniformity ratio of 4:1 average/minimum."
    - Photometric report and electrical plan shall be submitted during plancheck.
  - Landscape elevations show that flora height will not cover light fixtures.
  - Note added: "Light bulbs shall be LED or metal halide."
  - Detail of light fixtures with hoods added, and note added: "Light fixtures shall be be hooded."
  - Detail of light fixtures added, and note added: "Light fixtures shall be vandal-resistant."
  - Lights added to exterior walls.
  - Note added: "Exterior lights shall have dimmers and/or activated by motion detectors or photocells."
  - Photometric report and electrical plan shall be submitted during plancheck.
- C. Other lighting
- Note added: "Walking surfaces shall be illuminated with minimum 1.25 ft-candles of light."
    - Photometric report and electrical plan shall be submitted during plancheck.
  - Lights added to common area exterior doors. Note added: "1 foot-candle within 5-ft radius of each side of all doors at ground level."
  - Recessed areas shown on elevations and site plans with dimensions of 2 ft. minimum depth, 5 ft. minimum height, and 6 ft. maximum width. Note added: "Recessed areas shall have minimum 0.25 foot candles of light at ground level."
    - Photometric report and electrical plan shall be submitted during plancheck.
- D. Video surveillance
- Note added: "Video surveillance system shall be designed and installed, per consultation with licensed video surveillance expert."
  - Note added: "Video surveillance system shall be designed and installed, per consultation with licensed video surveillance expert."
  - Camera locations added:
    - South side pedestrian entrance and walkway.
    - West side, facing Palmer Court.
    - Courtyard.
    - Pedestrian garage entrance on west side.
  - Notes for camera specifications added:
    - Cameras shall record in color with 480 lines of resolution and standard MPEG formats.
    - Automatic exposure for day/night and low light capability, auto iris and auto focus.
    - Positioned where tamper-resistant.
    - Use vandal-resistant housing.
    - Full coverage of rights of way and garage.
    - Storage resolution of 640x480 pixels minimum.
    - IP-configurable storage with IP address and minimum upload speed of 1 MB.
    - Accessible electronically by Police Dept.
  - Notes for video recording equipment added:
    - DVR shall be / have:
      - installed in secure place.
      - surge protected.
    - capability to export images in TIFF, BMP or JPG.
    - capability to export video to uncompressed non-proprietary AVI file, and maintain original aspect ratios.
    - capability to use least amount of compression to maintain high-resolution image quality.
    - Recordings shall be retained for 30 days minimum.
    - Architect plan shows location of video equipment in managers office.
  - Garage
    - Note added: "Garage walls and ceiling shall be painted white."
    - Architect plan shows that no interior walls are solid. Commercial and residential parking are separated by lower half wall and upper half fence.
    - Video camera locations are noted on security/lighting plan.
    - Trash Enclosure:
      - Architect plan show light above trash enclosure entrance via alley.
      - Note added: "Trash enclosure shall be secured with a lock."
      - Note added: "Foot-candles shall be measured on a horizontal plane and conform to uniformity ratio of 4:1 average/minimum."
    - Photometric report and electrical plan shall be submitted during plancheck.
    - Bicycle storage:
      - Lockers are located at the end of 2 drive aisles very near the elevator and stairs to lobby, which will have lots of people walking by (which creates visibility and will deter thieves).
      - Bike room is located with a door that opens to the PCH sidewalk, which will have lots of people walking (which creates visibility and will deter thieves). Its door to the interior garage is kind of hidden.
      - Emergency call box added to garage (where?).
    - Garage gates:
      - Architecture elevation show gate with bars (not solid).
      - Note added: "Garage gate access by FOB keyless entry devices."
    - Photometric report and electrical plan shall be submitted during plancheck.
    - Sign detail added with text: "Park at own risk. Do not leave valuables in car."
    - Parking is 68 cars spaces and 5 motorcycle spaces for 101 units, per State of California code (AB 774, Chau) for locations adjacent to transit stations.
  - Stairways
    - Note added: "Interior doors shall have glazing panels 5x20 in., per UBC."
    - Stairs in garage:
      - Stairway in residential garage to main lobby access is restricted by lobby in garage with 2 locked doors.
    - Stairways:
      - Stairway in residential garage to main lobby is not open/visible because fire code requires concrete separate to be 2-hour fire-rated.
      - The 2 main stairwells are not open/visible because fire code requires concrete separate to be 2-hour fire-rated.
    - Stairway in residential garage exists to garage in lobby, which is glass and provides good visibility. It connects to the main lobby, which is large and open for good visibility, and also next to the managers office.
    - 2 main stairwells:
      - Note added: "Shatter-resistant mirrors shall be installed on all stairwell landings."
      - Architecture plans show mirror placements on stairwell landings at each level.
      - Note added: "Stairwells shall have minimum 2 foot candles of light at all levels/landings"
    - Photometric report and electrical plan shall be submitted during plancheck.
  - Recommendations
    - Note added: "Garage gate access by FOB keyless entry devices."
    - Note added: "Elevator access by FOB keyless entry devices."
    - Detail of decorative south side masonry wall added to architect/landscape plans.
    - Detail of decorative bollards for north and east side added to landscape plan.
    - Note added: "Trash enclosure shall be secured with a lock."
    - Landscape elevations show that flora height will not cover light fixtures.

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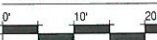
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November 08, 2017

WHA 2016163.00

Level 1 - Podium  
A.2

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Long Beach Blvd.

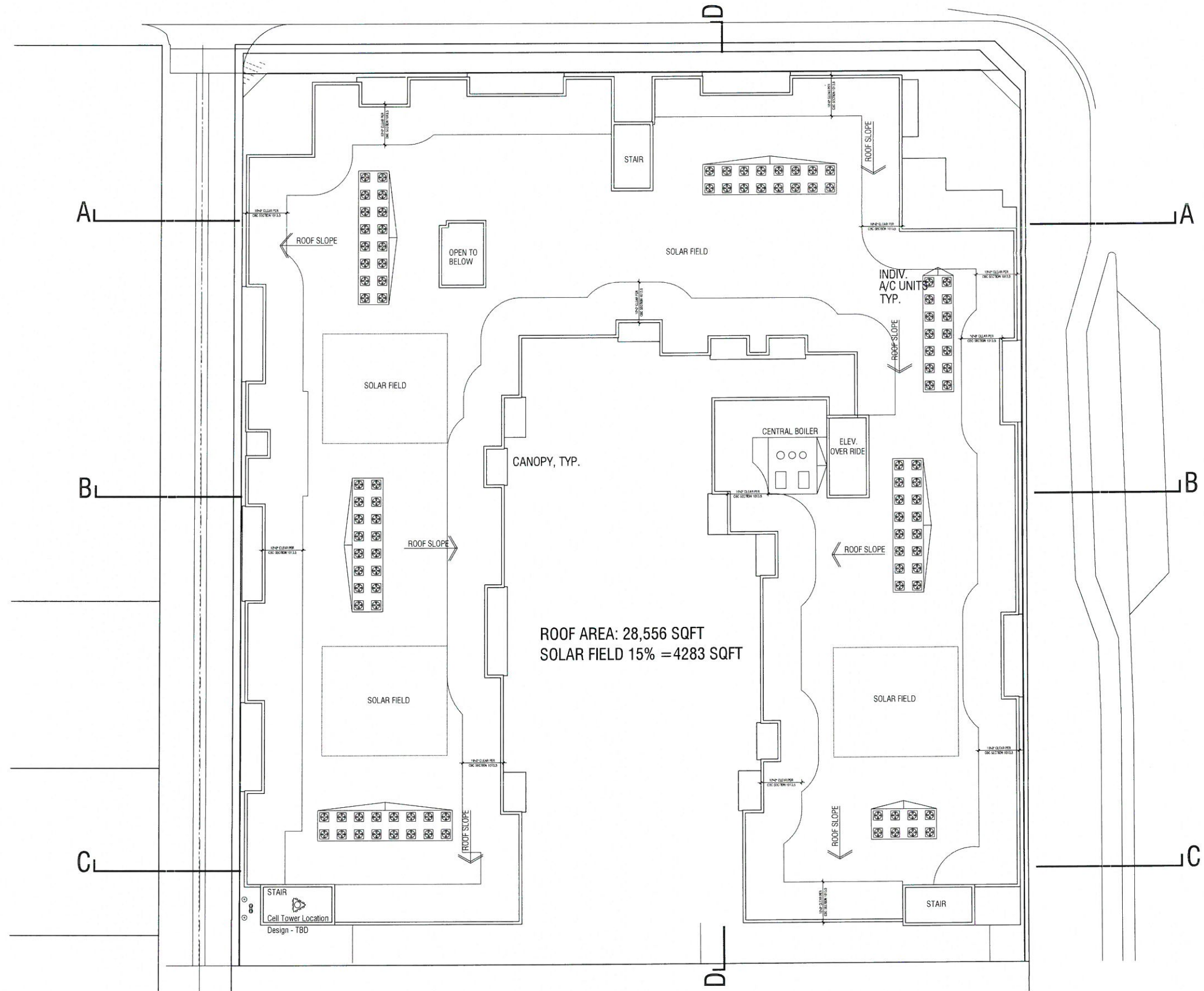
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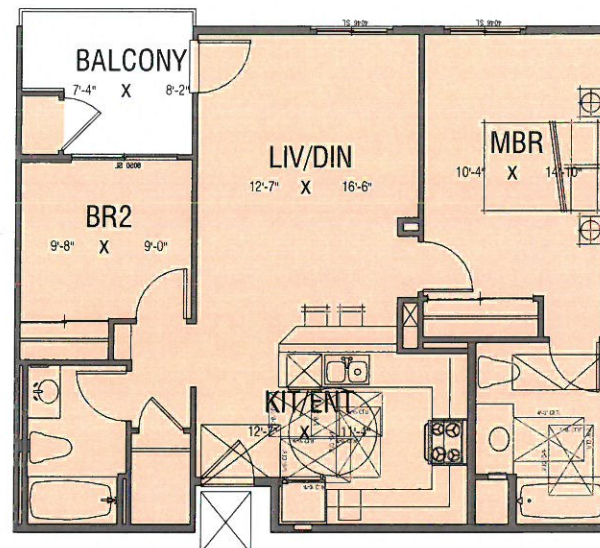
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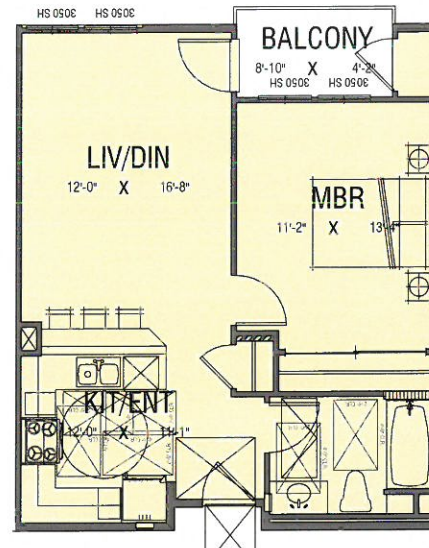
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September 12, 2017	Long Beach Blvd. Family Apts.
WHA 2016163.00	APN: 7269-019-044
<b>Roof Plan A.4</b>	
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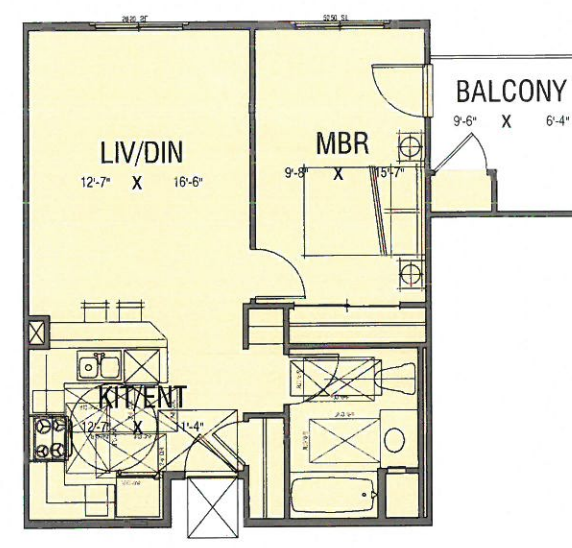




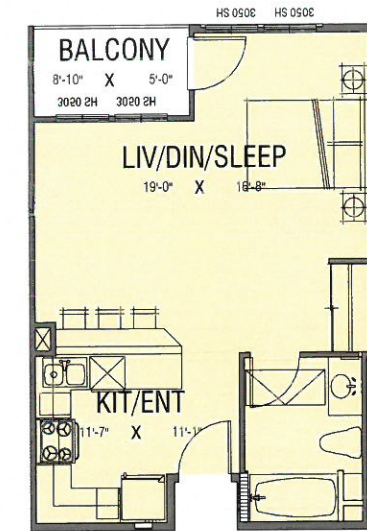
PLAN 2 - 2BR, 2BA - 830 SF



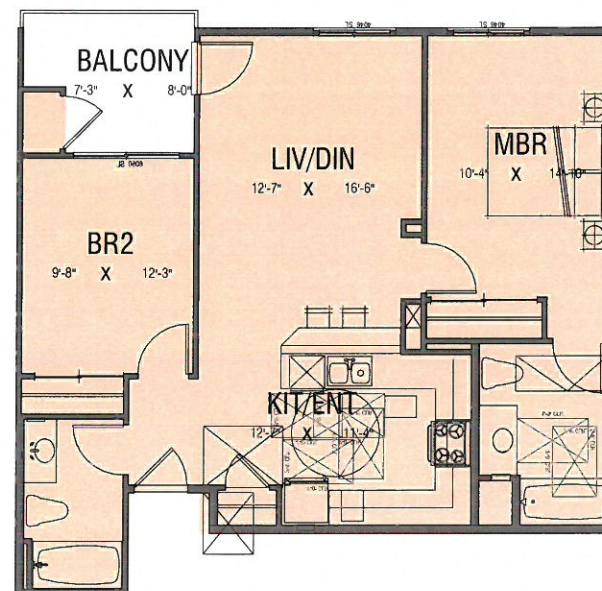
PLAN 1 - 1BR, 1BA - 600 SF



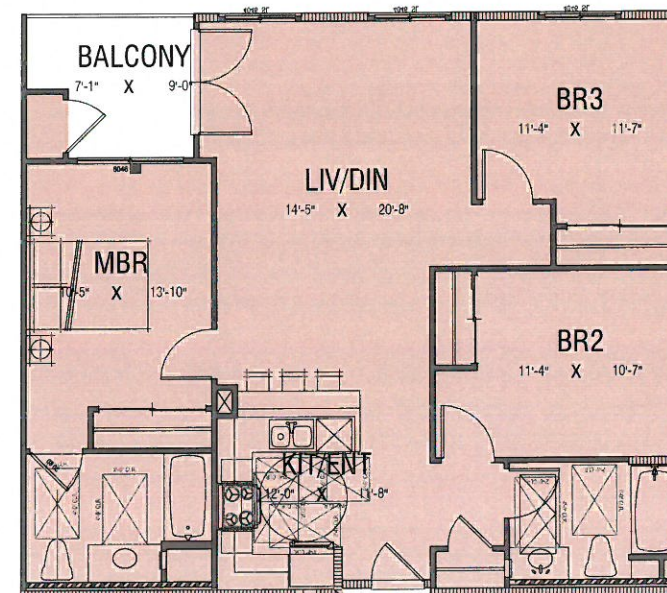
PLAN 1X - 1BR, 1BA - 616 SF



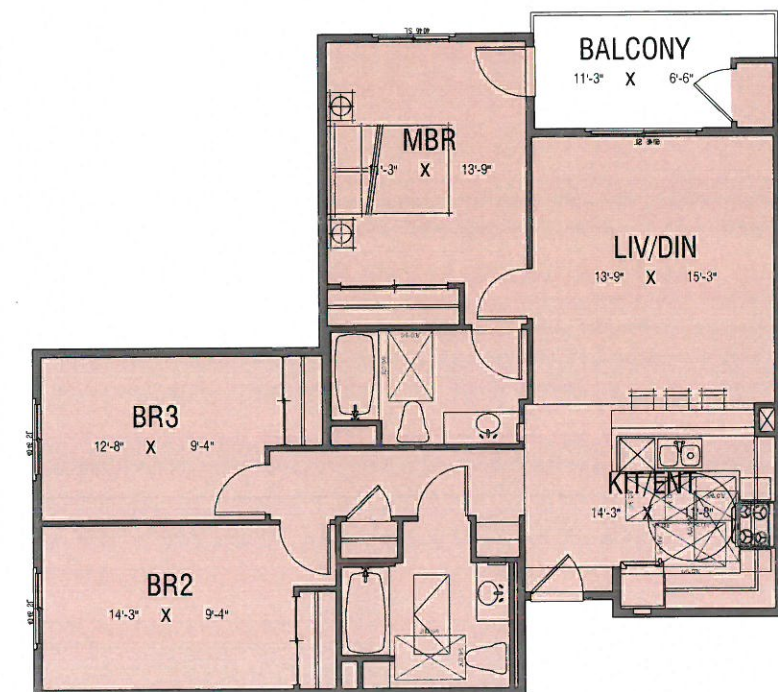
STUDIO - 466 SF



PLAN 2X - 2BR, 2BA - 816 SF



PLAN 3 - 3BR, 2BA - 1100 SF



PLAN 3X - 3BR, 2BA - 1114 SF

All Units will feature Energy Star Appliances - Dishwashers & Refrigerators

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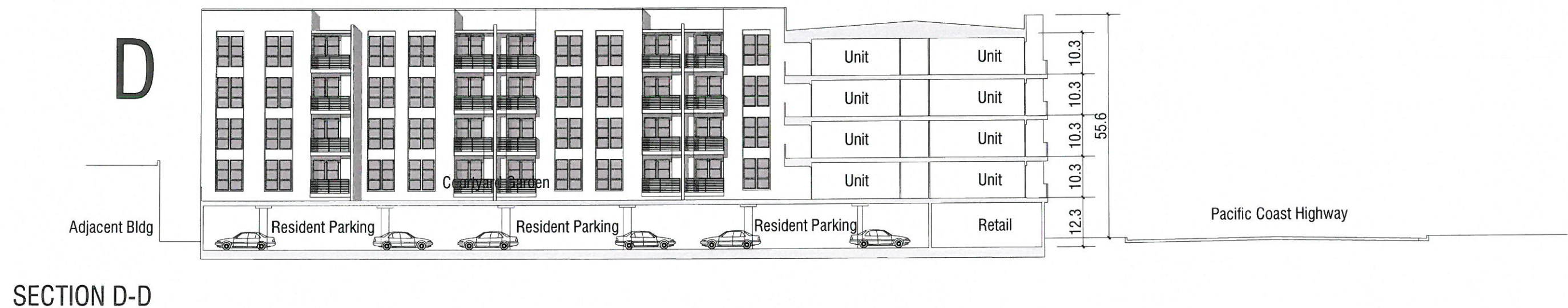
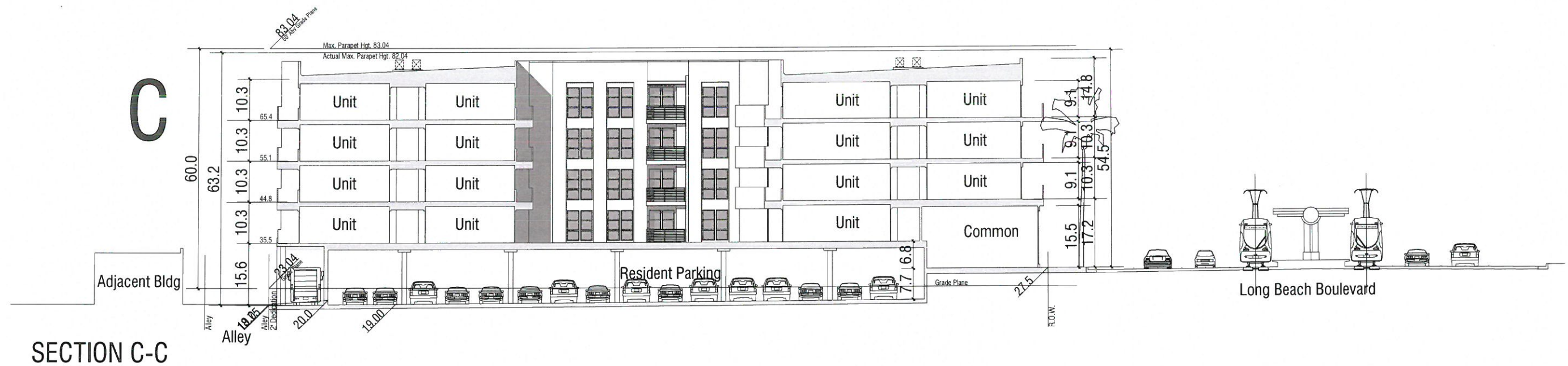
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Unit Plans  
A.5  
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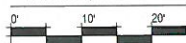
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## Sections

### A.7

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