

Office of Architectural Design

15231 Alton Parkway, Suite 100
Irvine, CA 92618

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FX 949-341-0922

CONSULTANT

PROFESSIONAL SEALS

CSULB TECHNOLOGY
PARK
PHASE THREE
BUILDING 9

CITY OF LONG BEACH
CALIFORNIA



17777 CENTER COURT DR NORTH
SUITE 100
CERRITOS, CA 90703
PHONE: 909-673-8725
CONTACT: BLAKE KELLEY
BKELLEY@PROLOGIS.COM

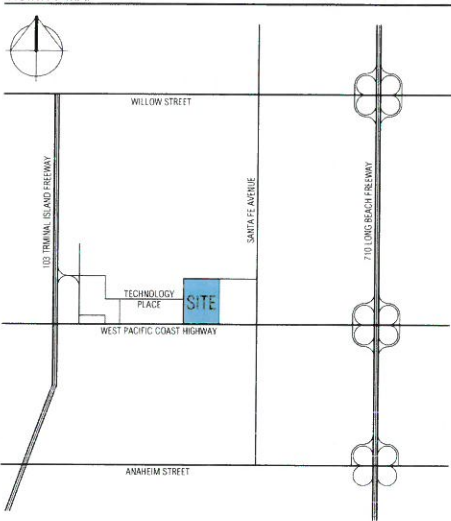
CSULB FOUNDATION
6300 STATE UNIVERSITY DR. SUITE 260
LONG BEACH, CA 90815
562-985-8489
562-985-2308 FAX
MO TIDEMANIS

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SD	10/13/2017	SCHEMATIC DESIGN
MARK	DATE	DESCRIPTION

RCA PROJECT NO: 15167.00
OWNER PROJECT NO: 00000.00
CAD FILE NAME: 15167.00 A1-1-P
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SHEET TITLE
SCHEMATIC SITE PLAN

VICINITY MAP



GENERAL NOTES

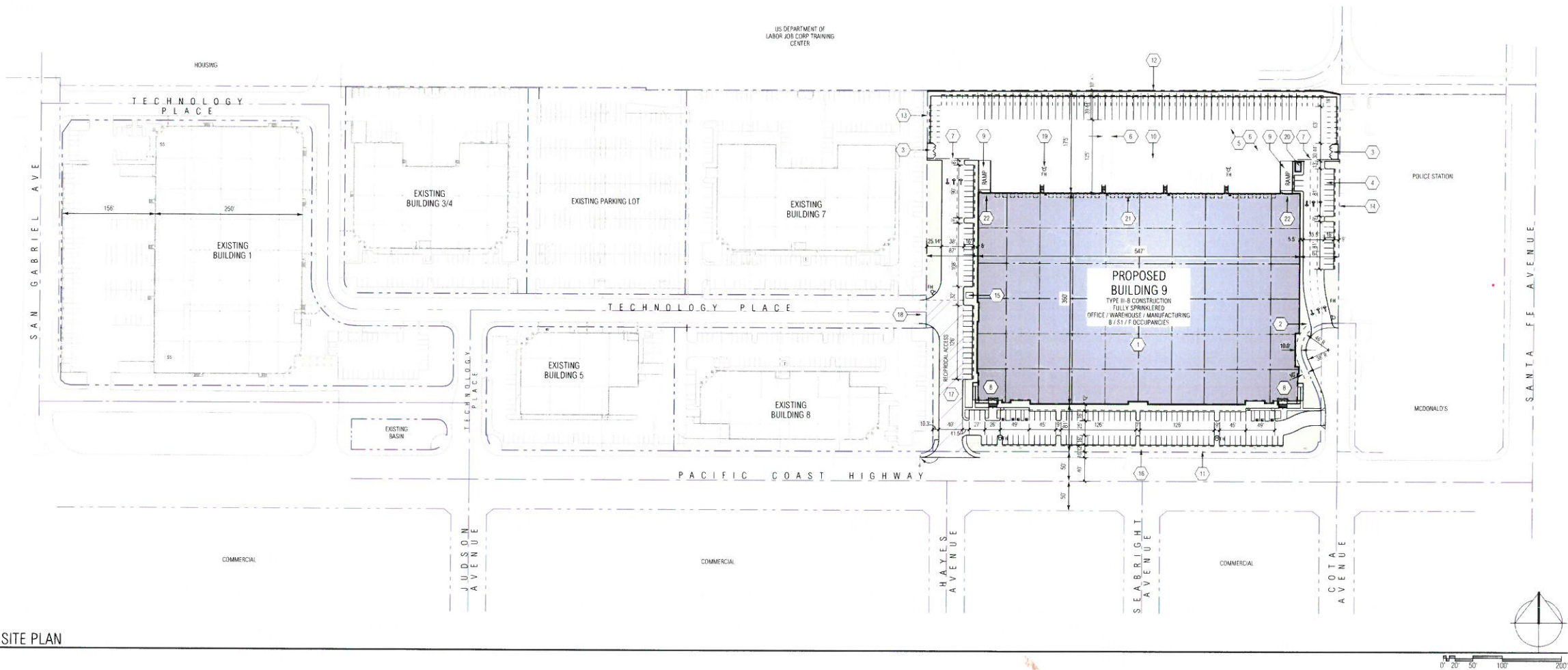
1. THE PROPOSED PROJECT SHALL COMPLY WITH THE PROVISIONS OF THE CITY OF LONG BEACH MUNICIPAL ZONING CODE PLANNED DEVELOPMENT DISTRICT PD-31 CALIFORNIA STATE UNIVERSITY RESEARCH AND TECHNOLOGY CENTER.
2. OFF-STREET PARKING SHALL BE IN ACCORDANCE CHAPTER 21-41 OF THE LONG BEACH ZONING CODE.
3. CIVIL ENGINEERING SHALL BE DESIGNED IN ACCORDANCE WITH BEST STANDARD PRACTICES TO INSURE COMPLIANCE WITH APDES GUIDELINES.
4. A LANDSCAPING PLAN SHALL BE SUBMITTED TO THE PLANNING DEPARTMENT FOR APPROVAL PRIOR TO ISSUANCE OF BUILDING PERMITS AND SHALL BE IMPLEMENTED PRIOR TO OCCUPANCY.
5. THE PROJECT DOES NOT PROPOSE ANY TENANT SIGNAGE AT THIS TIME.
6. THERE ARE NO PROTECTED PLANTS ON SITE.
7. A LIGHT PLAN SHALL BE SUBMITTED SHOWING CONFORMANCE WITH ONE FOOT-CANDLE MINIMUM LEVELS IN PARKING AREAS AND CALGREEN CODE MAXIMUM FOOT-CANDLE LEVELS AT ADJACENT PROPERTY LINES.
8. ALL BUILDINGS SHALL BE ADDRESSED WITH 12" HIGH BUILDING NUMBERS AND ROOF-TOP PAINTED NUMBERS.
9. GRAFFITI RESISTANT PAINT SHALL BE USED ON ALL BUILDINGS AND SITE WALLS TO MIN. 12'-0" ABOVE ADJACENT GRADE.
10. ALL PROPOSED BUILDING AND SITE IMPROVEMENTS SHALL BE DESIGNED IN ACCORDANCE WITH CURRENT FEDERAL, STATE, AND LOCAL ACCESSIBILITY GUIDELINES.
11. CONTAINER STACKING IN THE YARD AREA WILL BE PROHIBITED AND THE APPROVAL CONDITIONS WILL REQUIRE A RECORDED COVENANT BE SIGNED BY THE APPLICANT.

KEYNOTES

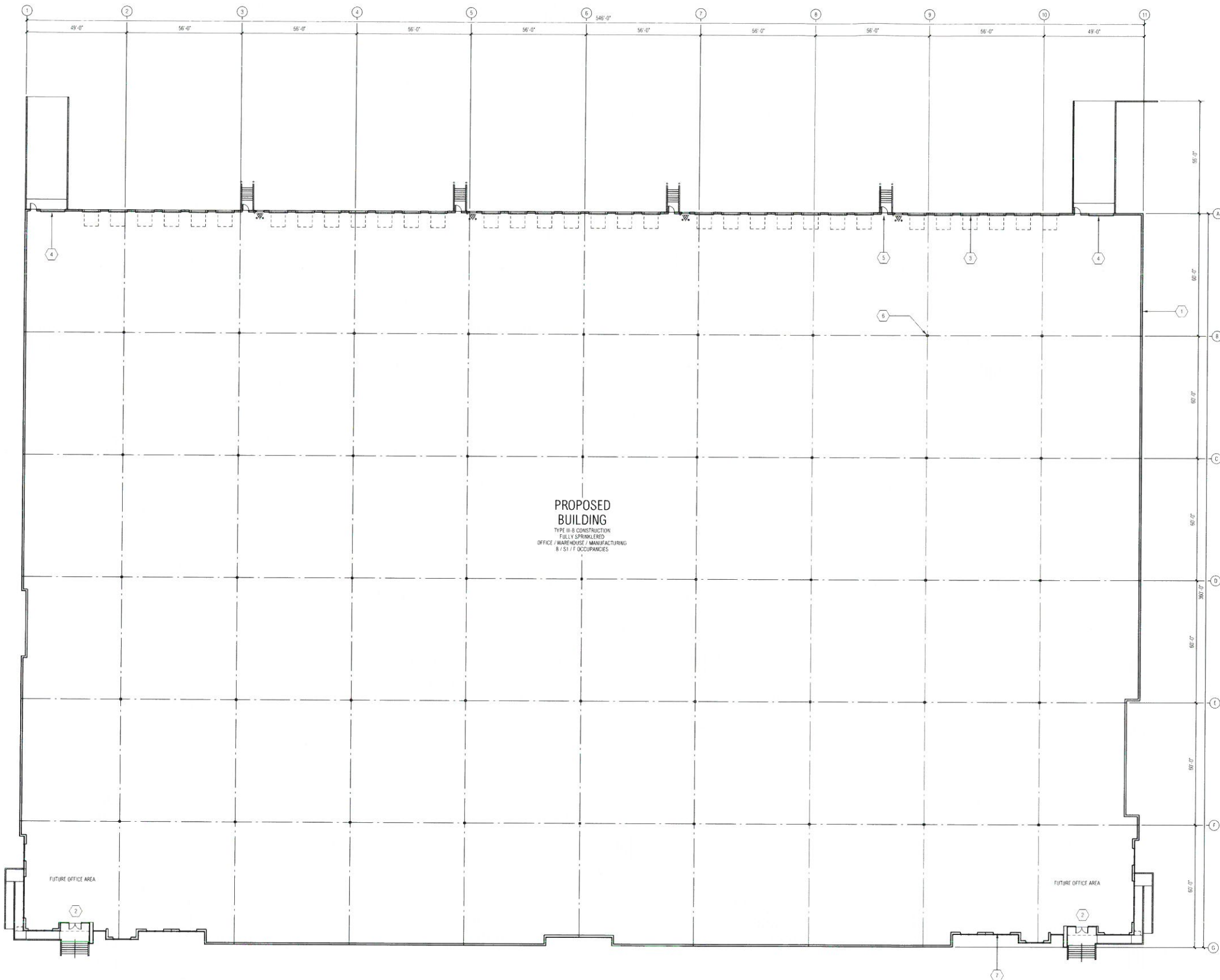
1. PAINTED CONCRETE TILT-UP WAREHOUSE / OFFICE FACILITY. MAXIMUM BUILDING HEIGHT OF 50'.
2. SHADED AREA: PROPOSED IRRIGATED LANDSCAPING PER GUIDELINES WITH MIN 6" CONCRETE CURBS AT ALL INTERIOR PERIMETERS.
3. PAINTED CONCRETE TRASH AND RECYCLE BIN ENCLOSURE MIN. 8'-0" HIGH. ONE BIN IS DEDICATED FOR TRASH, AND ONE BIN FOR RECYCLE PRODUCTS.
4. TYPICAL STANDARD PARKING STALL MIN. 9' X 18' (OR 15' X 2' OVERHANG) - STRIPE PER STANDARDS.
5. EXISTING PRIVATE STREET EASEMENT TO BE VACATED. SEE CIVIL DRAWINGS.
6. EXISTING UTILITY EASEMENT TO BE RELOCATED. SEE CIVIL DRAWINGS.
7. 10'-0" PAINTED CONCRETE SCREEN WALL WITH 8'-0" HIGH STEEL PICKET ROLLING GATE. TRUCK YARD ENTRY GATES WILL HAVE WIND SOLES TO ALLOW FOR FIRE DEPARTMENT ACCESS. TRUCK YARD ENTRY GATES WILL INCORPORATE 70% OPACITY MESH PANELS TO RESTRICT VIEW INTO THE SECURE YARD AREA.
8. ACCESSIBLE BUILDING ENTRY WITH ADJACENT BICYCLE RACKS.
9. CONCRETE PAVED FORK-LIFT RAMP.
10. PAVED TRUCK YARD.
11. REMOVE EXISTING WROUGHT IRON FENCE ALONG PCH FRONTAGE.
12. PROPOSED 14" HIGH CMU WALL ON NORTH PROPERTY LINE TO SCREEN YARD FROM NORTH SIDE NEIGHBORS.
13. PROPOSED 8" HIGH CHAIN LINK FENCE WITH GREEN INFILL SLATS OR MESH ON PARTIAL WEST PROPERTY LINE TO SECURE NEW BUILDING TRUCK YARD.
14. EXISTING CMU WALL ALONG PROPERTY LINE WITH POLICE DEPARTMENT TO REMAIN.
15. PROPOSED TRANSFORMER LOCATION WITH LANDSCAPE SCREENING.
16. NEW CURB CUT PER STANDARDS. SEE CIVIL DRAWINGS FOR REQUIRED STREET AND ROW MODIFICATIONS. PROVIDE STOP SIGNS AT ALL POINTS OF EGRESS ONTO PUBLIC STREETS.
17. CROSS-HATCHED AREA IS NEW RECIPROCAL ACCESS AGREEMENT WITH EXISTING TECHNOLOGY PLACE PRIVATE STREET.
18. MODIFY EXISTING END OF PRIVATE STREET CONDITION. SEE CIVIL DRAWINGS.
19. PROPOSED ON-SITE FIRE HYDRANT.
20. PRE-MANUFACTURED GUARD HOUSE STRUCTURE PAINTED TO MATCH MAIN BUILDING.
21. DOCK-HIGH TRUCK DOOR. SEE ELEVATIONS FOR ADDITIONAL INFO.
22. GRADE LEVEL RAMP DOOR. SEE ELEVATIONS FOR ADDITIONAL INFO.

PROJECT DATA: BUILDING 9

SITE AREA:	
GROSS SITE AREA	421,668 SF / 9.68 AC
CUL-DE-SAC DEDICATION	2,776 SF / 0.06 AC
NET SITE AREA	418,892 SF / 9.62 AC
BUILDING AREA:	
FOOTPRINT	194,860 SF
MEZZANINE	10,000 SF
GUARD HOUSE	200 SF
TOTAL	205,060 SF
COVERAGE:	
	48.95 %
PARKING REQUIRED:	
20,000 SF - 10% OFFICE @ 1/1000	20 STALLS
40,000 SF - 20% MANUF @ 2/1000	80 STALLS
145,060 SF - 70% WH @ 1/1000	145 STALLS
TOTAL REQUIRED	245 STALLS
PARKING PROVIDED:	
STANDARD STALLS	159 STALLS
TANDEM STALLS (25% MAX)	0 STALLS
FUTURE STALLS IN TRUCK YARD	86 STALLS
TOTAL STALLS	245 STALLS



MASTER SITE PLAN
SCALE: 1" = 80'-0"



- KEYNOTES** (000)
- 1. PAINTED CONCRETE TILT-UP EXTERIOR WALL STRUCTURE
 - 2. PRIMARY ENTRANCE
 - 3. PAINTED DOCK HIGH METAL TRUCK DOORS
 - 4. PAINTED GRADE LEVEL METAL TRUCK DOORS
 - 5. PAINTED 3' X 7' METAL ACCESS MAN DOORS
 - 6. STRUCTURAL BUILDING COLUMN
 - 7. STOREFRONT GLAZING SET IN CLEAR ANODIZED ALUMINUM 2" X 4 1/4" MIN. OFF-SET GLAZING SYSTEM

RGA

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PROLOGIS

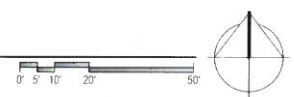
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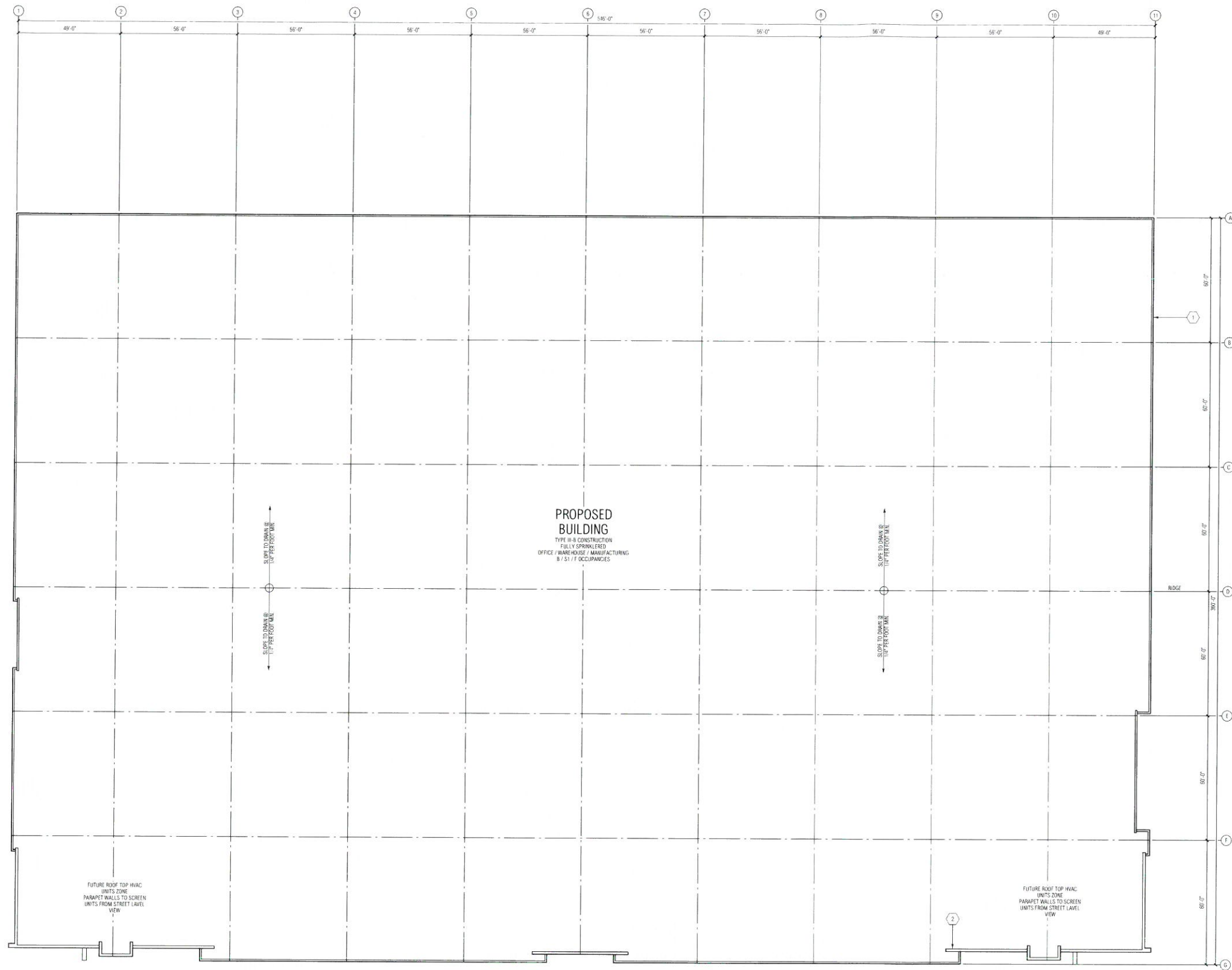
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SCHEMATIC FLOOR PLAN		

FLOOR PLAN

SCALE: 1" = 20'-0"





- KEYNOTES (000)
- 1. PAINTED CONCRETE TILT-UP EXTERIOR WALL STRUCTURE.
 - 2. RETURN WALL PANEL OVER TOP OF ADJACENT PARAPET.

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SHEET TITLE

SCHEMATIC ROOF PLAN

ROOF PLAN
SCALE: 1" = 20'-0"



SHEET

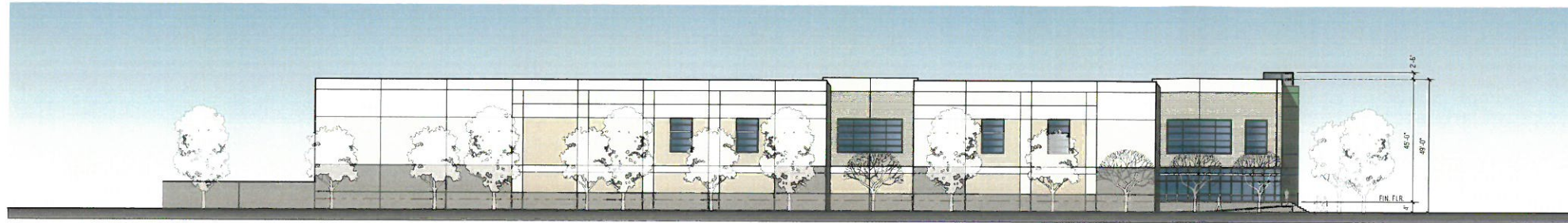
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SHEET TITLE	ELEVATIONS

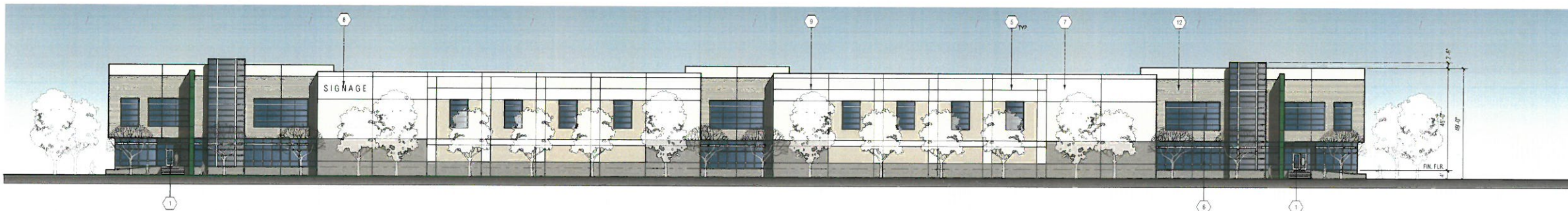
KEYNOTES

1. PRIMARY ENTRANCE.
2. PAINTED 12' WIDE X 15' HIGH LEVEL VERTICAL LIFT TRUCK DOOR.
3. PAINTED 9' WIDE X 10' HIGH VERTICAL LIFT TRUCK DOOR.
4. 3' X 7' PAINTED METAL MAN DOOR.
5. 2' WIDE X 3/4" DEEP HORIZONTAL / VERTICAL REVEAL.
6. BLUE GLASS IN ANODIZED ALUMINUM STOREFRONT FRAME SYSTEM.
7. PAINTED CONCRETE TILT-UP EXTERIOR WALL CONSTRUCTION.
8. PROPOSED FUTURE TENANT SIGNAGE LOCATION (TO BE APPROVED UNDER A SEPARATE PERMIT).
9. INTERNAL DOWNSPOUTS ALONG THE SOUTH STREET FRONTAGE ELEVATION.
10. DOWNSPOUTS ON THE NORTH ELEVATION SHALL BE EXTERNAL AND PAINTED TO MATCH THE BUILDING.
12. FORMLINER HORIZONTAL SCORED CONCRETE WALL PANEL.



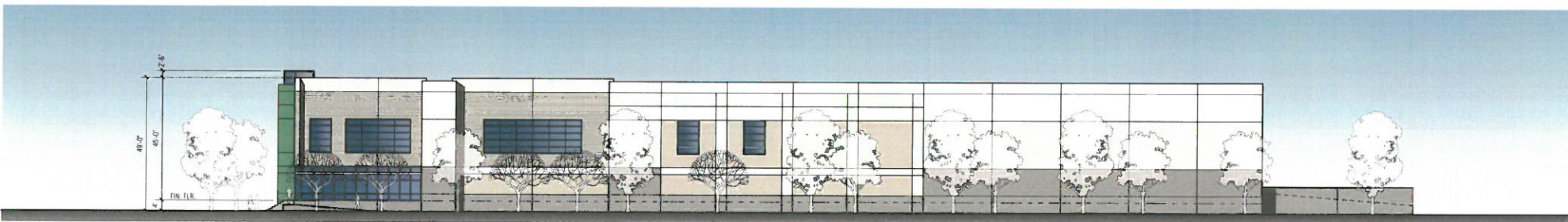
WEST ELEVATION

SCALE: 1" = 20'-0"



SOUTH ELEVATION - PACIFIC COAST HIGHWAY

SCALE: 1" = 20'-0"

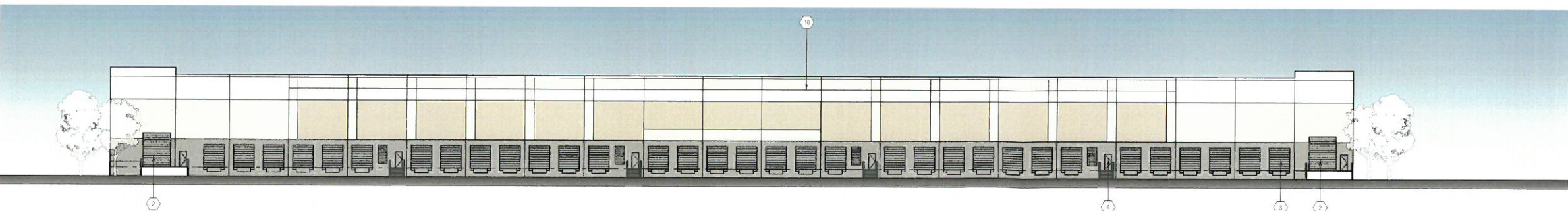


EAST ELEVATION

SCALE: 1" = 20'-0"

FINISH SCHEDULE

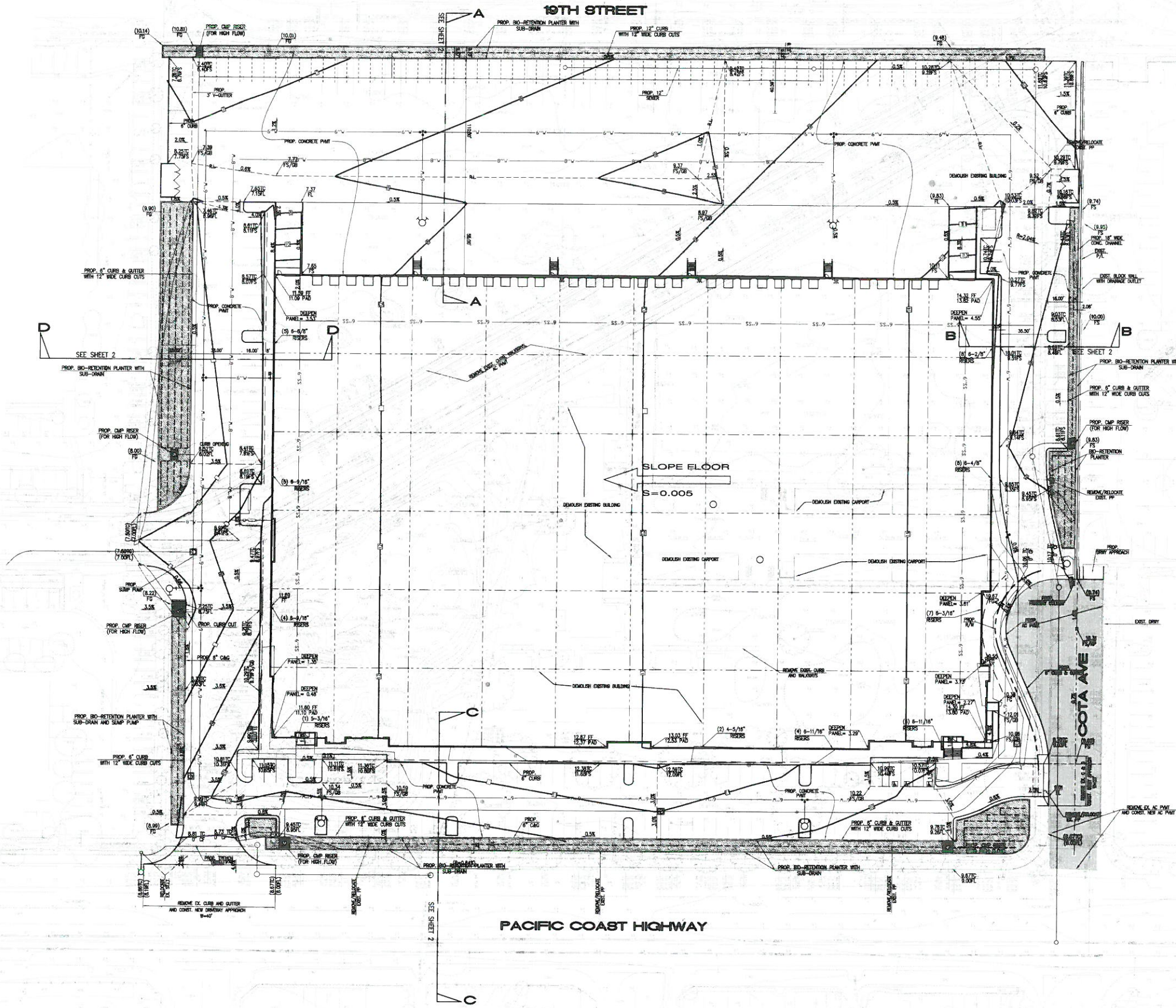
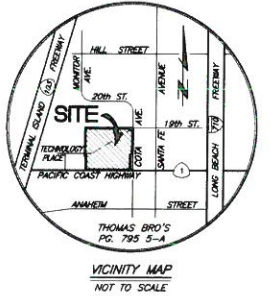
1. FIELD COLOR - PLD-9 PURE WHITE
2. ACCENT COLOR - PLD-6 SABLE
3. ACCENT COLOR - PLD-10 FIRST STAR
4. BASE ACCENT COLOR - PLD-7 LIQUORICE TINT
5. ACCENT COLOR - PLD-5 NEW DARK GREEN
6. GLAZING - SEE KEYNOTE 6 - PPG VISTACOLOR PACIFICA REFLECTIVE #2
7. GLAZING - SEE KEYNOTE 6 - PPG SOLARCOLOR PACIFICA REFLECTIVE #2



NORTH ELEVATION

SCALE: 1" = 20'-0"





LEGAL DESCRIPTION

THE LAND REFERRED TO BELOW IS SITUATED IN THE CITY OF LONG BEACH, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AND IS DESCRIBED AS FOLLOWS:

PARCEL 1:

LOTS A, B, 14, 15, 16, 23, 24, 25, 26 AND 27 OF TRACT NO. 52467, IN THE CITY OF LONG BEACH, AS PER MAP RECORDED IN BOOK 1248, PAGES 39 TO 44 INCLUSIVE OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY AND AS AMENDED BY CERTIFICATE OF CORRECTION RECORDED MAY 24, 2001, AS INSTRUMENT NO. 01-904702 AND SEPTEMBER 01, 2005, AS INSTRUMENT NO. 05-2121679, BOTH OF OFFICIAL RECORDS.

EXCEPT THEREFROM THEREFORE THE FOLLOWING:

THAT PORTION OF SAID LOT 14 LYING WESTERLY OF A LINE, AND THE NORTHERLY AND SOUTHERLY PROLONGATION OF SAID LINE, THAT IS PARALLEL WITH AND DISTANT 103.88 FEET WESTERLY, MEASURED AT RIGHT ANGLES, FROM THE EASTERLY LINE OF SAID LOT 14;

ALSO EXCEPT THEREFROM THAT PORTION OF SAID LOT A LYING WESTERLY OF THE SOUTHERLY PROLONGATION OF A LINE PARALLEL WITH AND DISTANT 103.88 FEET WESTERLY, MEASURED AT RIGHT ANGLES, FROM THE SOUTHERLY PROLONGATION OF THE EASTERLY LINE OF SAID LOT 14;

ALSO EXCEPT THEREFROM THAT PORTION OF SAID LOT 23 LYING WESTERLY OF A LINE, AND THE SOUTHERLY PROLONGATION OF SAID LINE, THAT IS PARALLEL WITH AND DISTANT 57.43 FEET WESTERLY, MEASURED AT RIGHT ANGLES, FROM THE EASTERLY LINE OF SAID LOT 23.

NOTE: THE ABOVE DESCRIPTION IS FOR IDENTIFICATION PURPOSES ONLY AND HAS BEEN PROVIDED FOR THE ACCOMMODATION OF THIS REPORT. SAID DESCRIPTION IS NOT INSURABLE PURSUANT TO THE SUBDIVISION MAP ACT OF THE STATE OF CALIFORNIA AND SHOULD NOT BE RELIED UPON TO CONVEY OR ENCUMBER SAID LAND.

PARCEL 2:

NON-EXCLUSIVE EASEMENTS FOR INGRESS AND EGRESS AS PROVIDED IN THAT CERTAIN DECLARATION OF COVENANTS, CONDITIONS AND RESTRICTIONS AND RESERVATION OF EASEMENTS FOR CSULB TECHNOLOGY PARK, RECORDED SEPTEMBER 05, 2002, AS INSTRUMENT NO. 02-2086006, OF OFFICIAL RECORDS.

ASSESSOR'S PARCEL NUMBER

APN: 7402-025-902-907.909

BASIS OF BEARINGS

THE BASIS OF BEARINGS USED FOR THIS SURVEY IS THE CENTERLINE OF PACIFIC COAST HIGHWAY SHOWN AS BEARING N89°54'11"W ON TRACT NO. 52467, BOOK 1248, PAGES 39 THRU 44, INCLUSIVE, OF MAPS IN THE OFFICE OF THE COUNTY RECORDER OF LOS ANGELES.

LAND AREA

421,790 S.F. / 9.68 ACRES

ZONE

THE CITY OF LONG BEACH DATED 03/09/06 ZONING DISTRICT MAP DESIGNATES THE SITE IN THE PLANNED DEVELOPMENT DISTRICT: "PD-31 CSULB TECH CENTER/L.B. VETS"

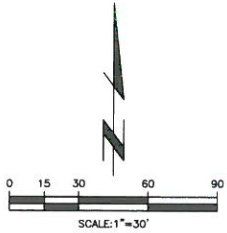
DEVELOPER:

PROLOGIS LOCAL PARTNER TO GLOBAL TRADE TM
17777 CENTER COURT DRIVE N., SUITE 100
CERRITOS, CA 90703

EARTHWORK ANALYSIS:

MATERIAL AVAILABLE:	MATERIAL REQUIRED:
TOTAL EXCAVATION (INCLUDING SITE AND UTILITY SPACES)	FILL
OVER EXCAVATION	SITE STRIPPING (0.200)
APPROXIMATE IMPORT	SUBSIDENCE (0.107)
	SITE & OVER EXCAVATION SHORTRAGE (100)
	TOTAL FILL

NOTE: EARTHWORK FIGURES SHOWN ARE APPROXIMATE. FIGURES AND ARE TO BE USED BY BUILDING DEPARTMENT ONLY. CONTRACTOR SHALL CALCULATE HIS OWN EARTHWORK QUANTITIES AND DO A COMPLETE JOB.



BENCHMARK

CITY OF LONG BEACH #1858
HAYES AVE @ PACIFIC COAST HWY
BRASS DISC FLUSH WITH PAVT
STAMPED "CLB BM 1858, 1988"
1.0' W/ CURB 30.0' S/ CURB
NGVD 1985 EL. 7.855

PREPARED FOR:
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3546 CONCORD STREET, SUITE 100
OAKLAND, CA 94612
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FAX: (510) 873-8703

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CIVIL ENGINEERING & LAND SURVEYING
13434 PINESTONE BOULEVARD
LA BREA, CALIFORNIA 90038
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CITY OF LONG BEACH

CONCEPTUAL GRADING PLAN

CSULB TECHNOLOGY PARK III

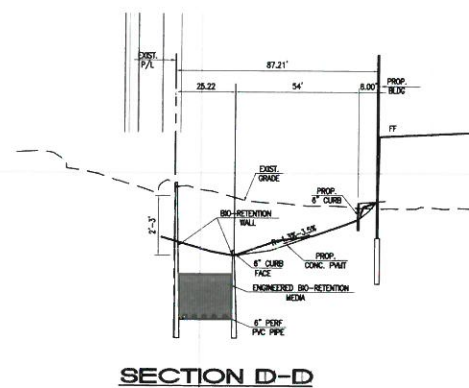
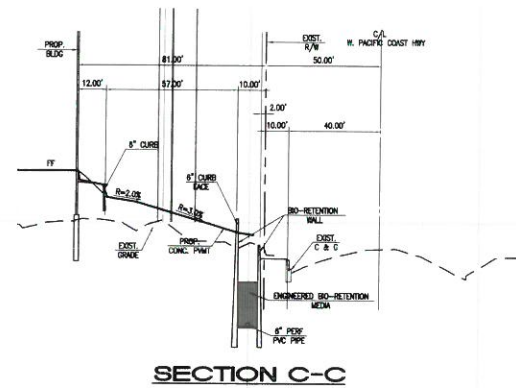
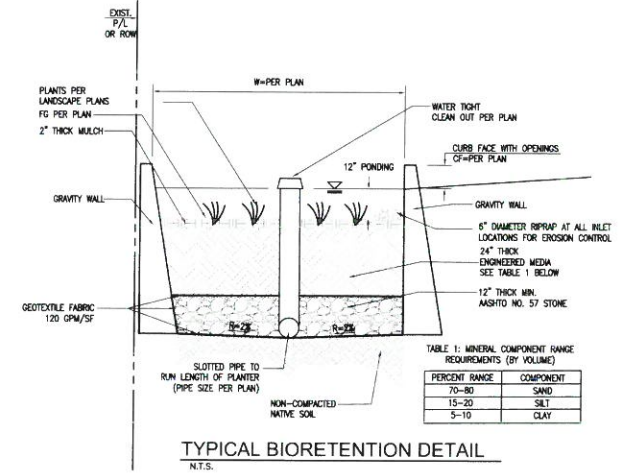
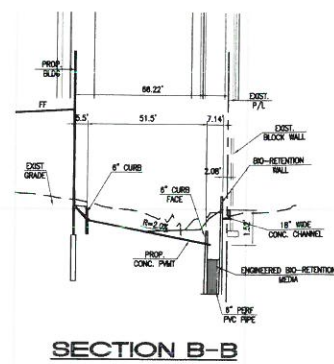
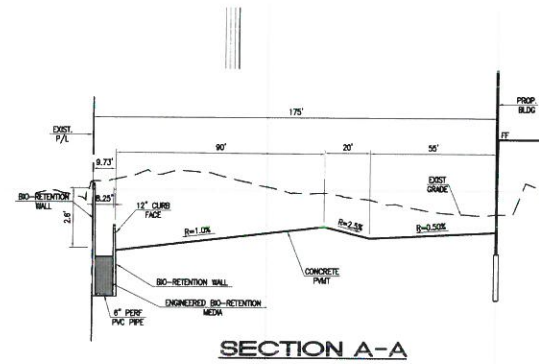
1924 TECHNOLOGY PLACE

Designed by _____

Date _____

Sheet **1** of **4**

Sheets



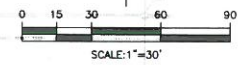
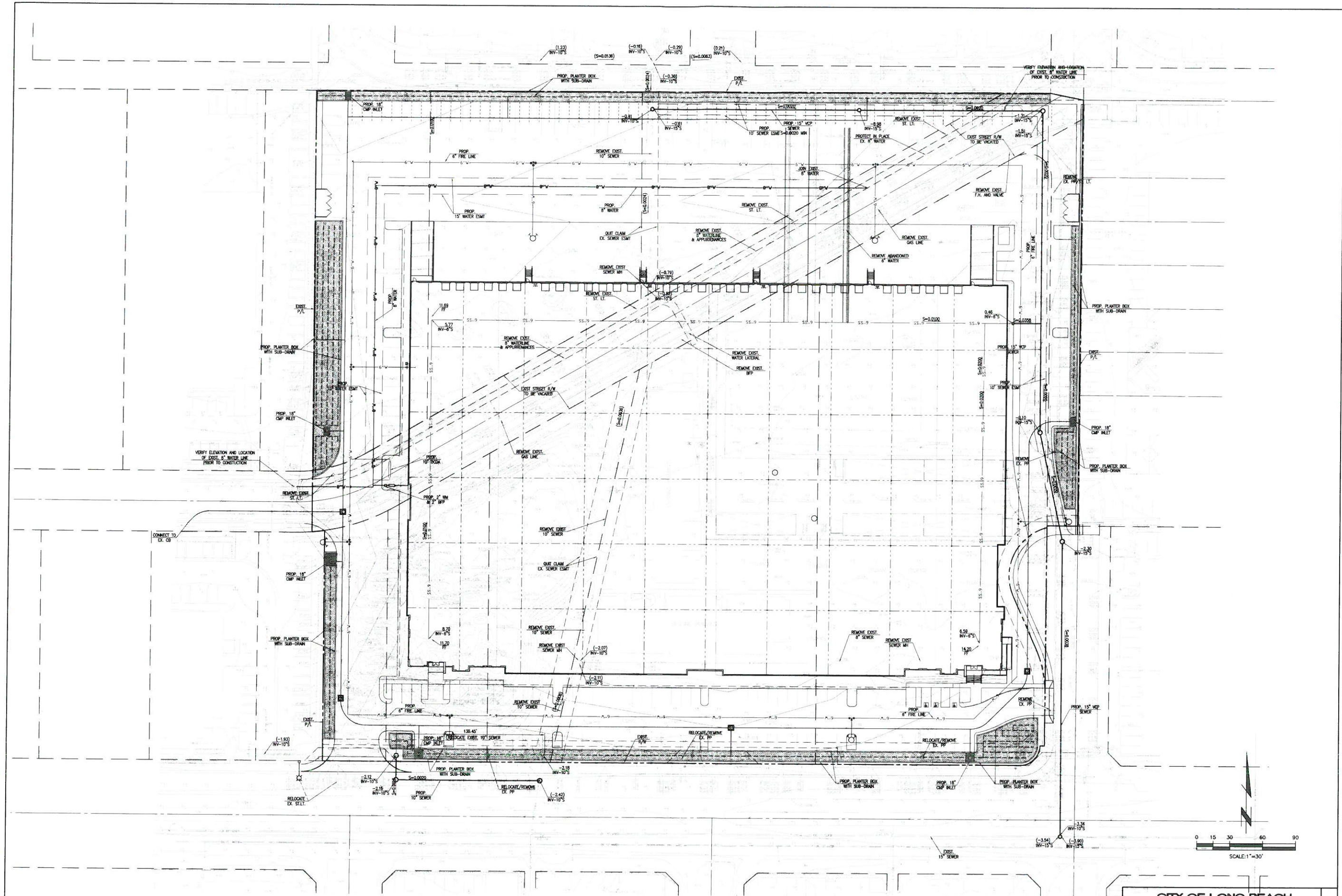
BENCHMARK
CITY OF LONG BEACH #1658
HAYES AVE @ PACIFIC COAST HWY
BRASS DISC FLUSH WITH PVMT
STAMPED "CLB BM 1658, 1989"
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NGVD 1985 EL. 7.855

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CITY OF LONG BEACH
SECTIONS
CSULB TECHNOLOGY PARK III
1924 TECHNOLOGY PLACE
Designed by _____
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Sheet **2** of **4** Sheets
Last Updated: 8/14/17
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JUN 3572



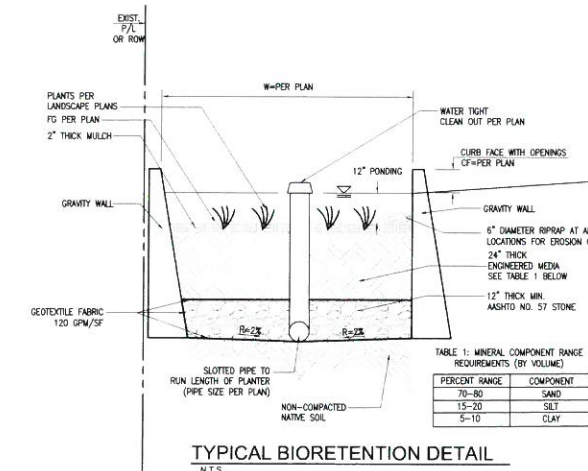
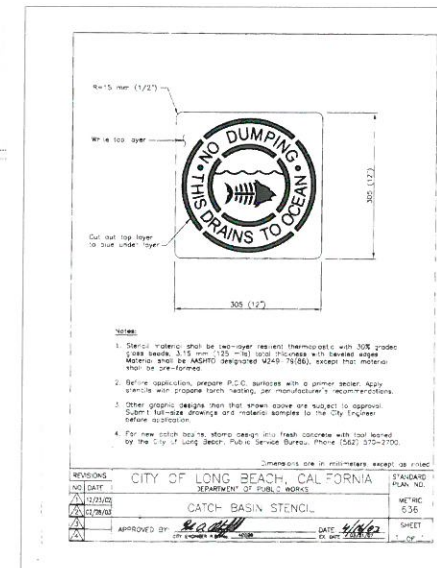
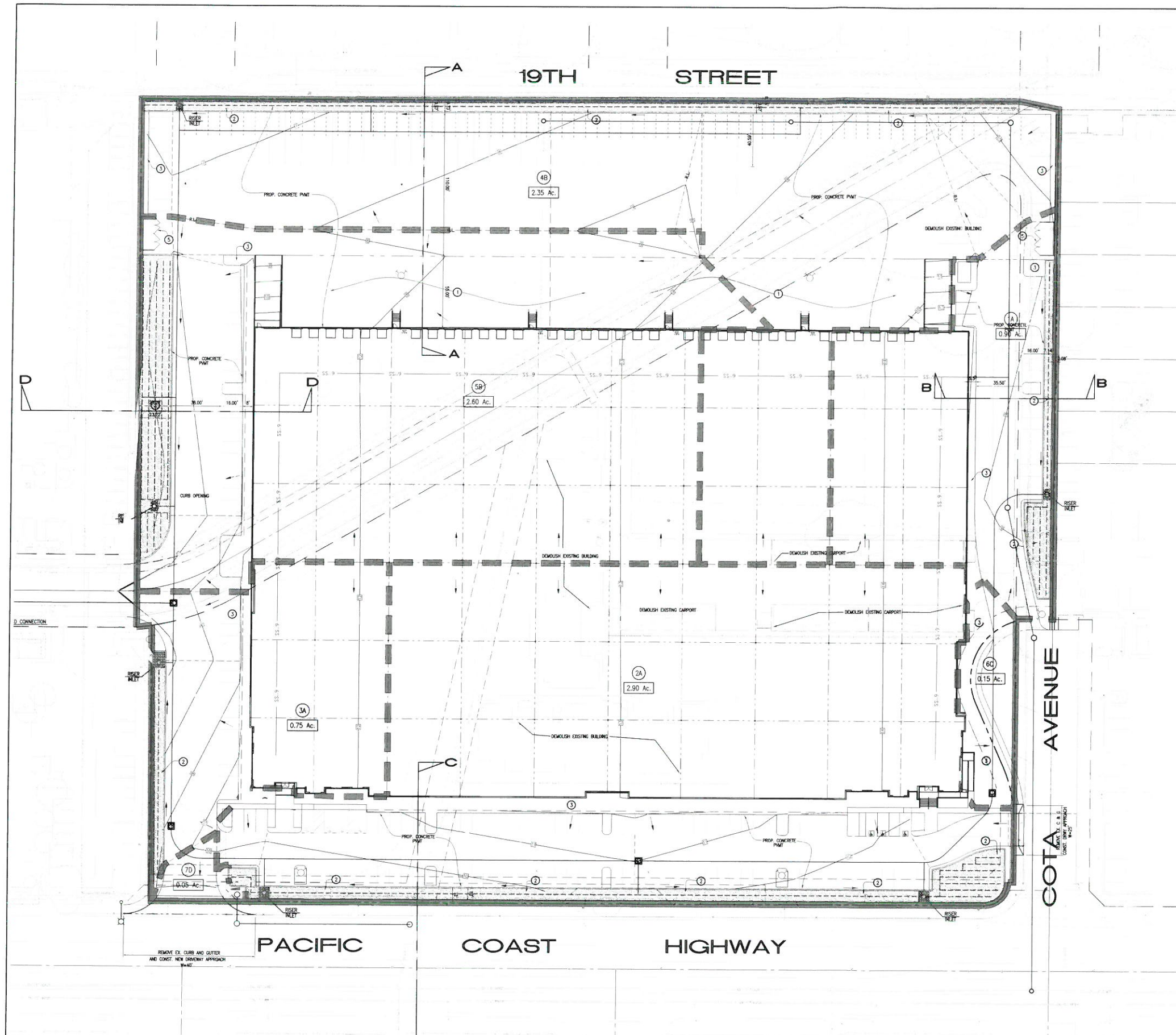
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CITY OF LONG BEACH	
CONCEPTUAL STORM DRAIN AND	
UTILITY PLAN	
CSULB TECHNOLOGY PARK III	
1924 TECHNOLOGY PLACE	
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CITY OF LONG BEACH
PRELIMINARY
LOW IMPACT DEVELOPMENT PLAN
CSULB TECHNOLOGY PARK III
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Sheet **4** of **4** Sheets

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