



ROBERT J. TAVASCI
ARCHITECT
3351 ORANGEWOOD AVE.
LOS ALAMITOS, CA 90720
PH: 562.043.1484



OWNER:

3065 WEATHERING
HEIGHTS, LLC

3605 E. OCEAN BLVD.
LONG BEACH, CA. 90803

PROJECT:

LOT SUBDIVISION

3065 E. OCEAN BLVD.
LONG BEACH, CA. 90803

REVISIONS

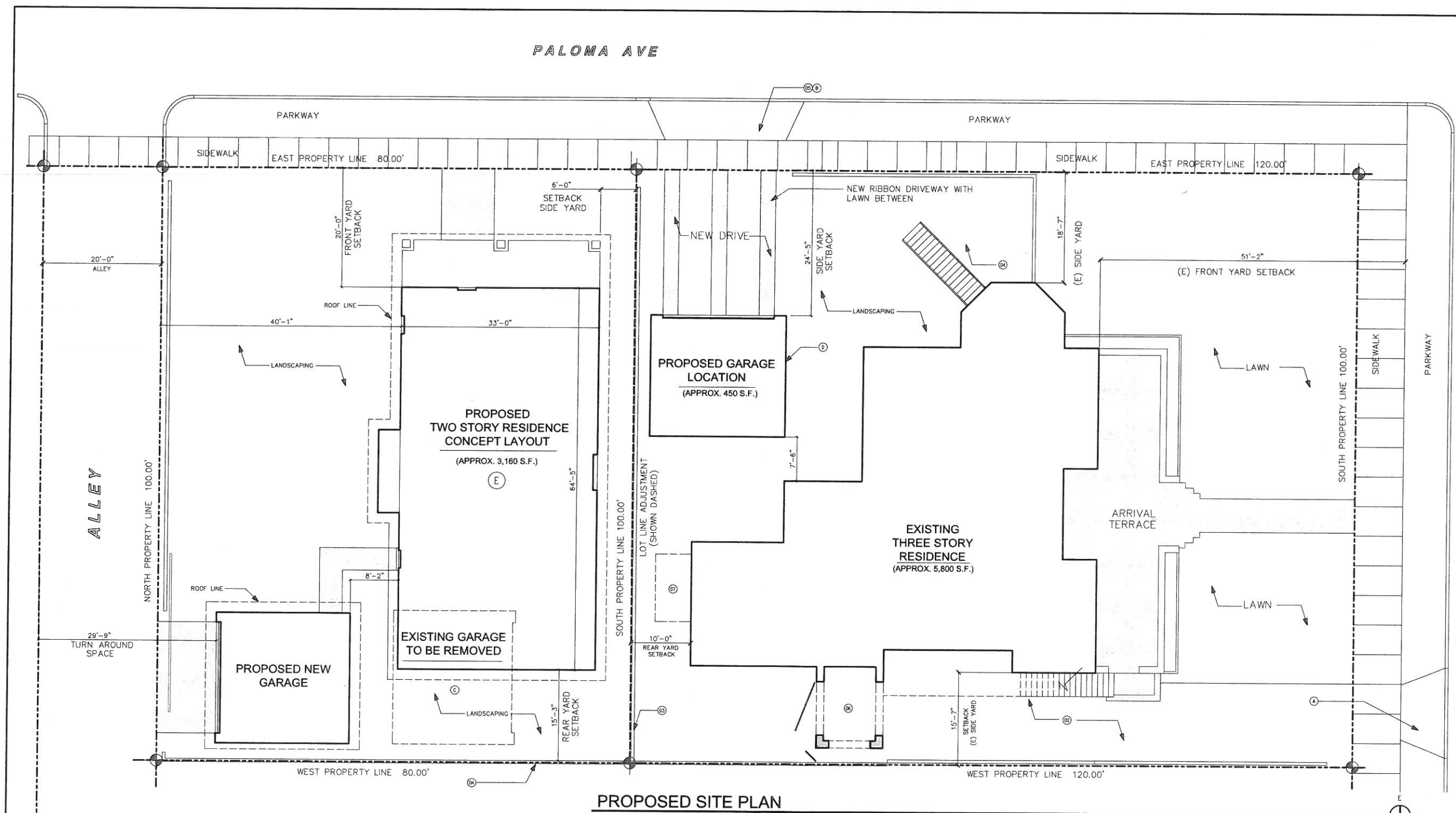
SHEET TITLE:

PROPOSED LOT
SUBDIVISION
SITE PLAN

PROJECT NO. 2044-14
DATE 26 JULY 2016
DRAWN BY: RJT
SCALE: NTS
FILE: 3065 E OCEAN.dwg

SHEET NO.

T-1.0



PROPOSED SITE PLAN

SITE PLAN KEY NOTES

SYM.	DET.	DESCRIPTION
(1)		EXISTING CONCRETE DRIVE APPROACH TO BE REMOVED, FILL IN CURB, GUTTER AND WALK
(2)		EXISTING CONCRETE DRIVE TO BE REMAIN
(3)		NEW 6" HIGH CMU WALL
(4)		EXISTING 6" HIGH CMU WALL
(5)		NEW CURB CUT AND CONC. DRIVE APPROACH
(6)		EXISTING PORTE COCHERE STRUCTURE TO REMAIN
(7)		EXISTING ONE STORY STRUCTURE TO BE REMOVED
(8)		EXISTING ONE STORY GARAGE STRUCTURE TO BE REMOVED
(9)		RELOCATION OF NEW 2 CAR GARAGE

GENERAL NOTES

- REFER TO GENERAL NOTES SHEET FOR ADDITIONAL INFORMATION.
- CITY GRADING ENGINEER SHALL BE CONTACTED PRIOR TO START OF GRADING TO SCHEDULE A PRE-GRADING MEETING.
- REFER TO GRADING PLAN FOR PRECISE GRADING INFORMATION.
- REFER TO SOILS REPORT FOR GRADING REQUIREMENTS.
- IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO HAVE GRADING, COMPACTION, BACK FILLING, FOOTING AND UTILITY INSPECTIONS COMPLETED PRIOR TO BEGINNING NEXT PHASE OF CONSTRUCTION.
- SEPARATE PERMIT REQUIRED FOR EACH BUILDING OR STRUCTURE, I.E. FENCE WALLS, RETAINING WALLS, SWIMMING POOLS, ETC.
- BUILDING ADDRESS NUMBERS TO BE PROVIDED ON THE FRONT OF ALL BUILDINGS AND SHALL BE VISIBLE AND LEGIBLE FROM STREET FRONTING PROPERTY. SAID NUMBERS SHALL CONTRAST WITH THEIR BACKGROUND. FIRE CODE 901.4.4.
- FINISH GRADE WITHIN 10 FEET OF THE NEW STRUCTURE SHALL BE SLOPED A MINIMUM OF 5% AWAY FROM THE BUILDING FOR DRAINAGE PURPOSES.

SCOPE OF WORK (PROPOSED)

- (A) - REMOVE EXISTING CONCRETE DRIVE APPROACH AND FILL IN WITH APPROVED CURB, GUTTER AND WALK AS PER CITY STANDARDS
- (B) - CUT IN NEW CONCRETE DRIVE APPROACH TO CONFORM TO CITY STANDARDS
- (C) - REMOVE EXISTING GARAGE
- (D) - CONSTRUCT NEW GARAGE TO CONFORM TO CITY REGULATIONS AND HISTORICAL DISTRICT STANDARDS
- (E) - PROPOSED NEW LOT FOR (1) UNIT ONLY

PROJECT DATA

CLIENT:

PROJECT ADDRESS

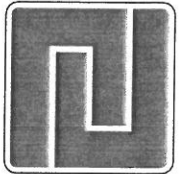
3065 E. OCEAN BLVD.
SEAL BEACH, CA 90740

ZONING INFORMATION

ZONE: R-2L
OCCUPANCY: R
CONSTRUCTION TYPE: TYPE V-B
MAXIMUM HEIGHT: 35 FT. (31 FT. PROVIDED)
MAX. LOT COVERAGE: 40% (33% PROVIDED)
MIN. LOT SIZE: 8,000 SQ.FT. (8,000 SQ.FT. PROVIDED)

SETBACKS:

FRONT: 15'-0" 20'-0" PROVIDED
REAR: 10'-0" REQUIRED 30'-0" PROVIDED
SIDE YARD: 4'-0" REQUIRED 5'-0" PROVIDED



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LONG BEACH, CA 90803

PROJECT:
SUBDIVISION PROJECT
3065 OCEAN BLVD.
LONG BEACH, CA 90803

REVISIONS:

SHEET TITLE:

**EXTERIOR
ELEVATIONS OF
EXISTING RESIDENCE**

PROJECT NO: 2044-14
DATE: 04 APRIL 2017
DRAWN BY: RJT
SCALE: NTS
FILE NAME: 3065 E OCEAN.dwg
SHEET NO:

T-1.1



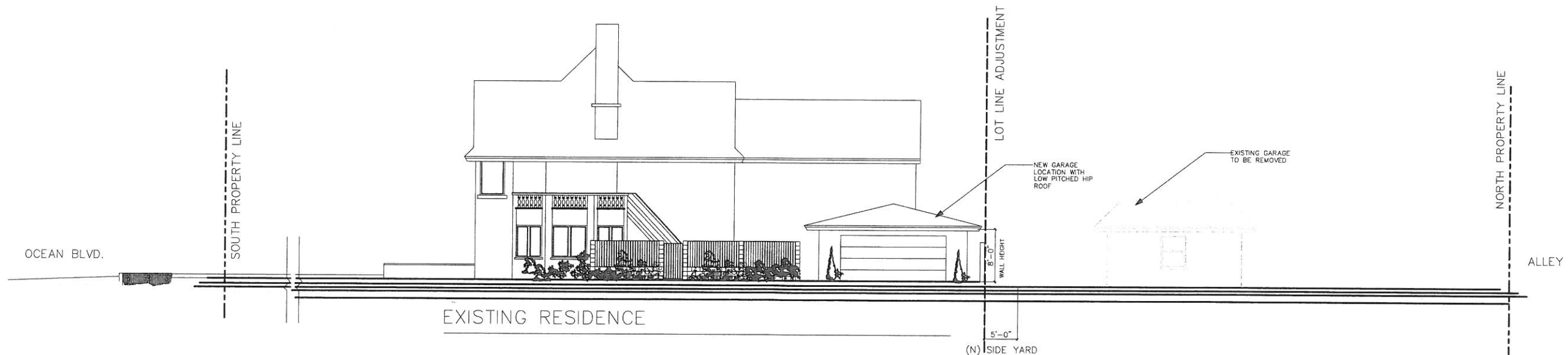
EXISTING SOUTH ELEVATION

(FRONT ON OCEAN BLVD. WITH GARAGE VIEW)
(View of Garage from Street with Stairs and Porte Cochere shown with dashed lines)



EXISTING SOUTH ELEVATION

(FRONT ON OCEAN BLVD. WITH PORTE COCHERE VIEW)
(View of Garage beyond shown with Stairs and Porte Cochere, Garage shown with dashed lines as it is not seen in total from street)



EXISTING EAST ELEVATION

(RIGHT SIDE ON PALOMA STREET WITH EXISTING AND NEW GARAGE)



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REVISIONS:

SHEET TITLE:

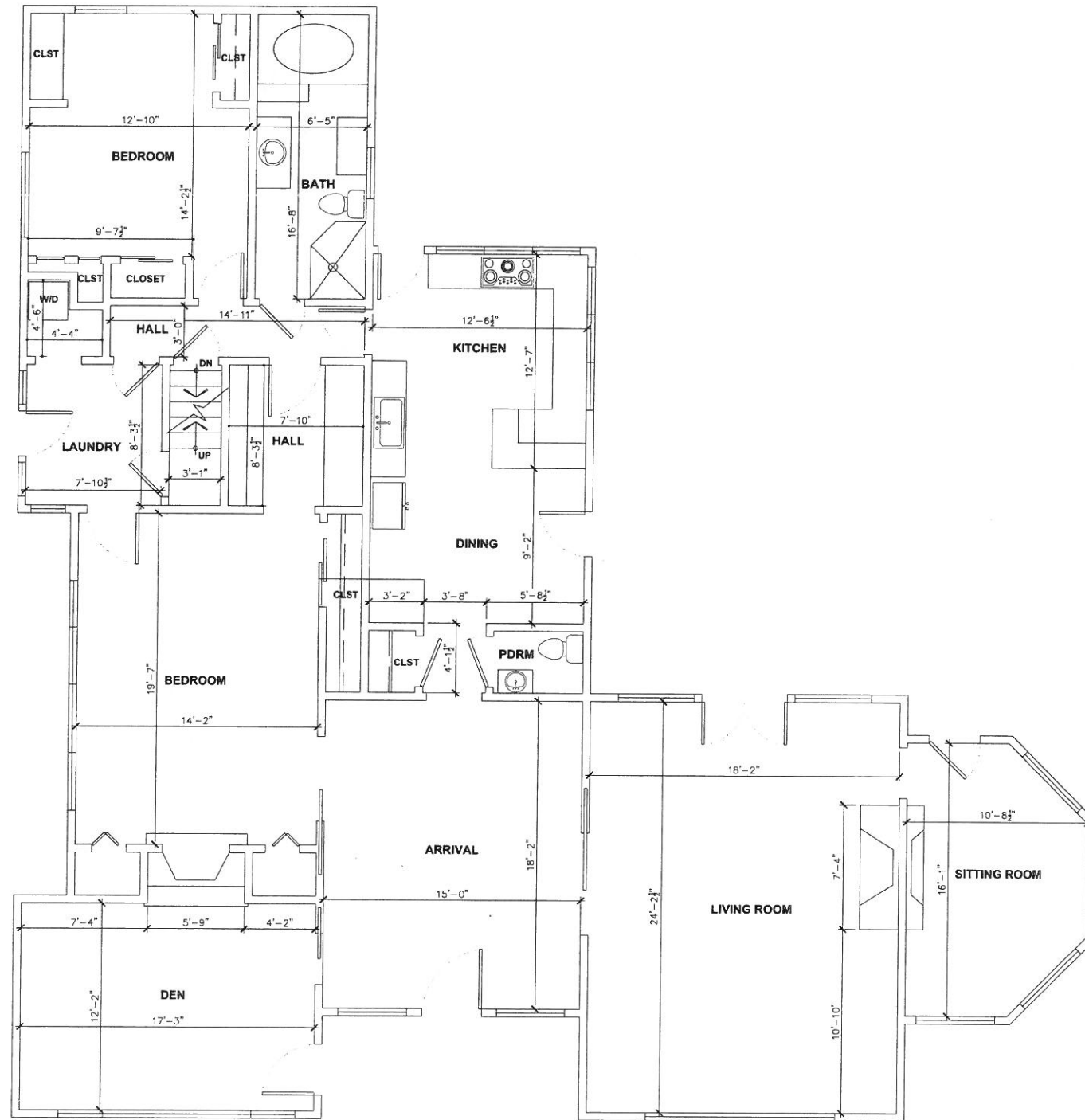
EXTERIOR
ELEVATIONS OF
EXISTING AND
PROPOSED
RESIDENCE

PROJECT NO: 2044-14
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SCALE: NTS
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SHEET NO:

SHEET NO.

T-1.2





ROBERT J. TAVASCI
ARCHITECT
33511 ORANGEWOOD AVE
LOS ALAMITOS, CA
90720

OWNER:
ISRAEL WEINBERG
LONG BEACH, CA.

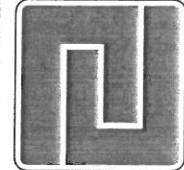
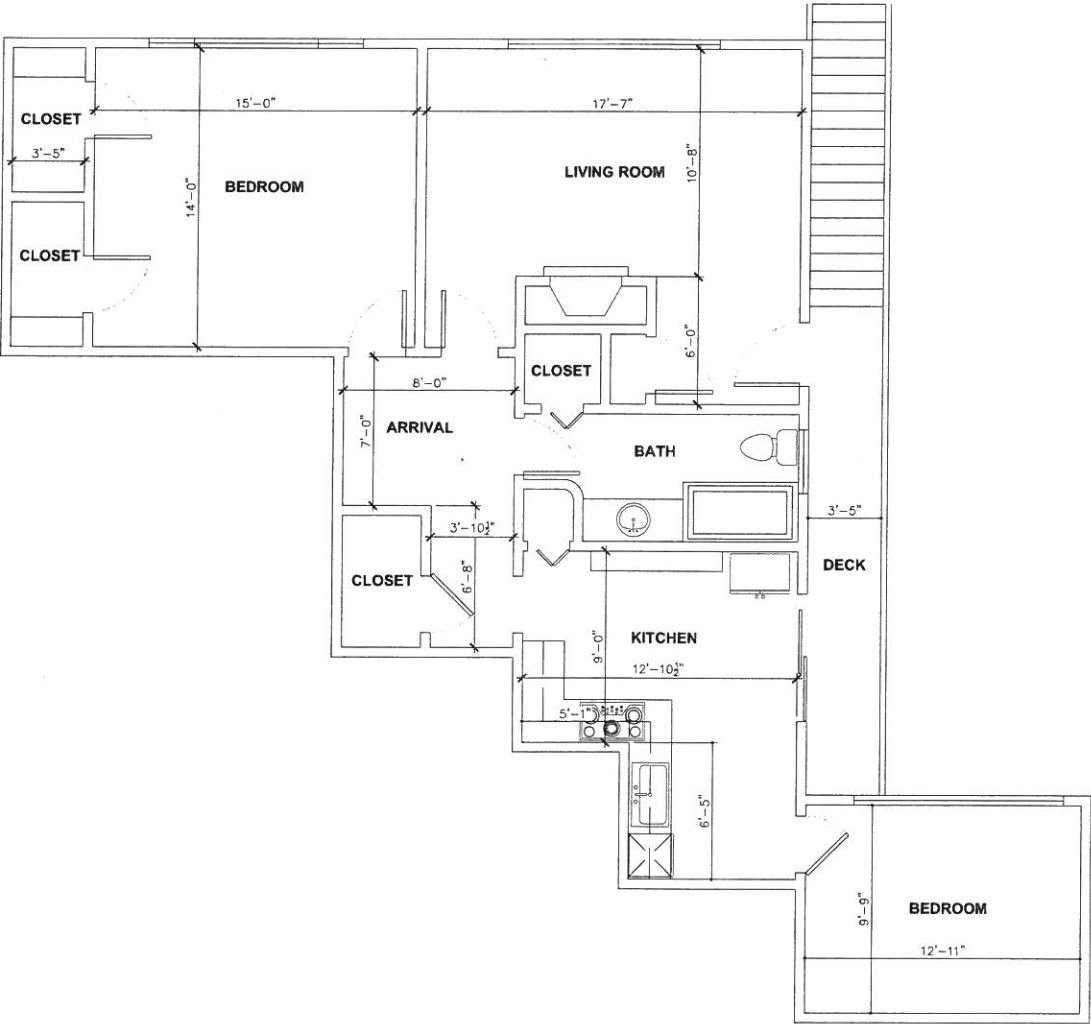
PROJECT:
FLOOR PLANS
3605 OCEAN BLVD
LONG BEACH, CA

REVISIONS:	

SHEET TITLE:
EXISTING FIRST
FLOOR
PLAN

PROJECT NO.: 2045-15
DATE: 04 APRIL 2017
DRAWN BY: RJT
SCALE: AS NOTED
FILE: 3605 OCEAN FLR PLANS-SUBDIVISION
SHEET NO.

A-1.0



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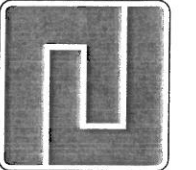
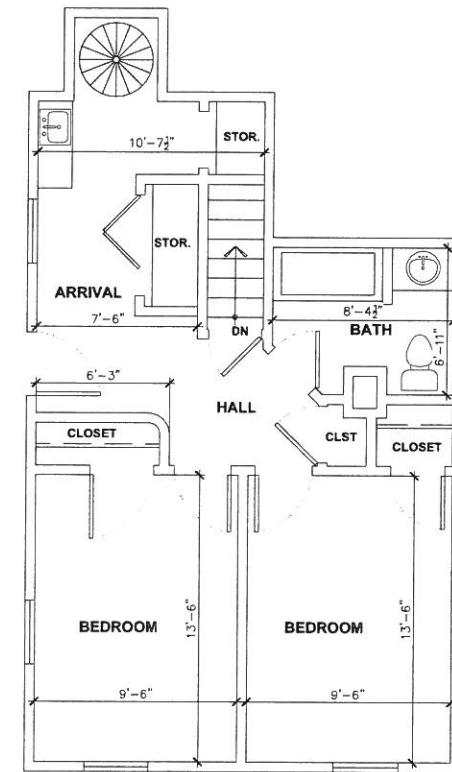
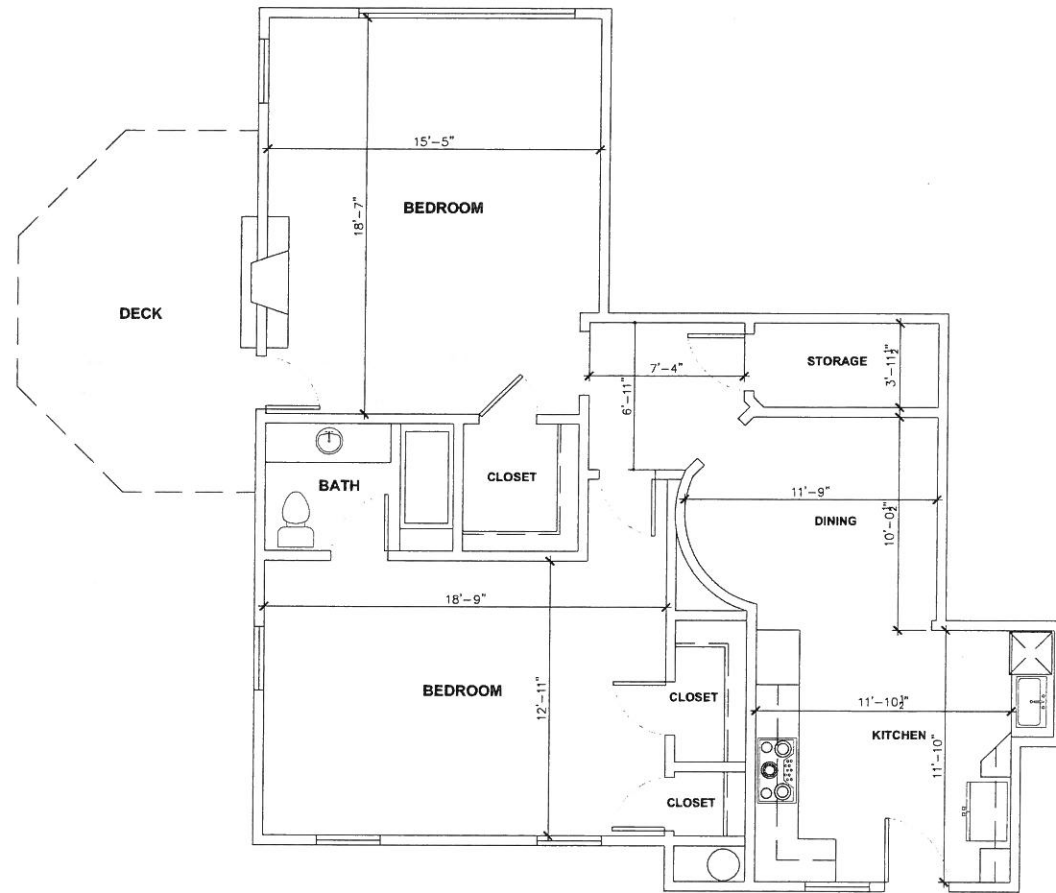
PROJECT:
FLOOR PLANS
3605 OCEAN BLVD
LONG BEACH, CA

REVISIONS:

SHEET TITLE:
EXISTING SECOND
FLOOR
PLAN

PROJECT NO: 2045-15
DATE: 04 APRIL 2017
DRAWN BY: RJT
SCALE: AS NOTED
FILE: 3605 OCEAN FLR PLANS-SUBDIVISION
SHEET NO.

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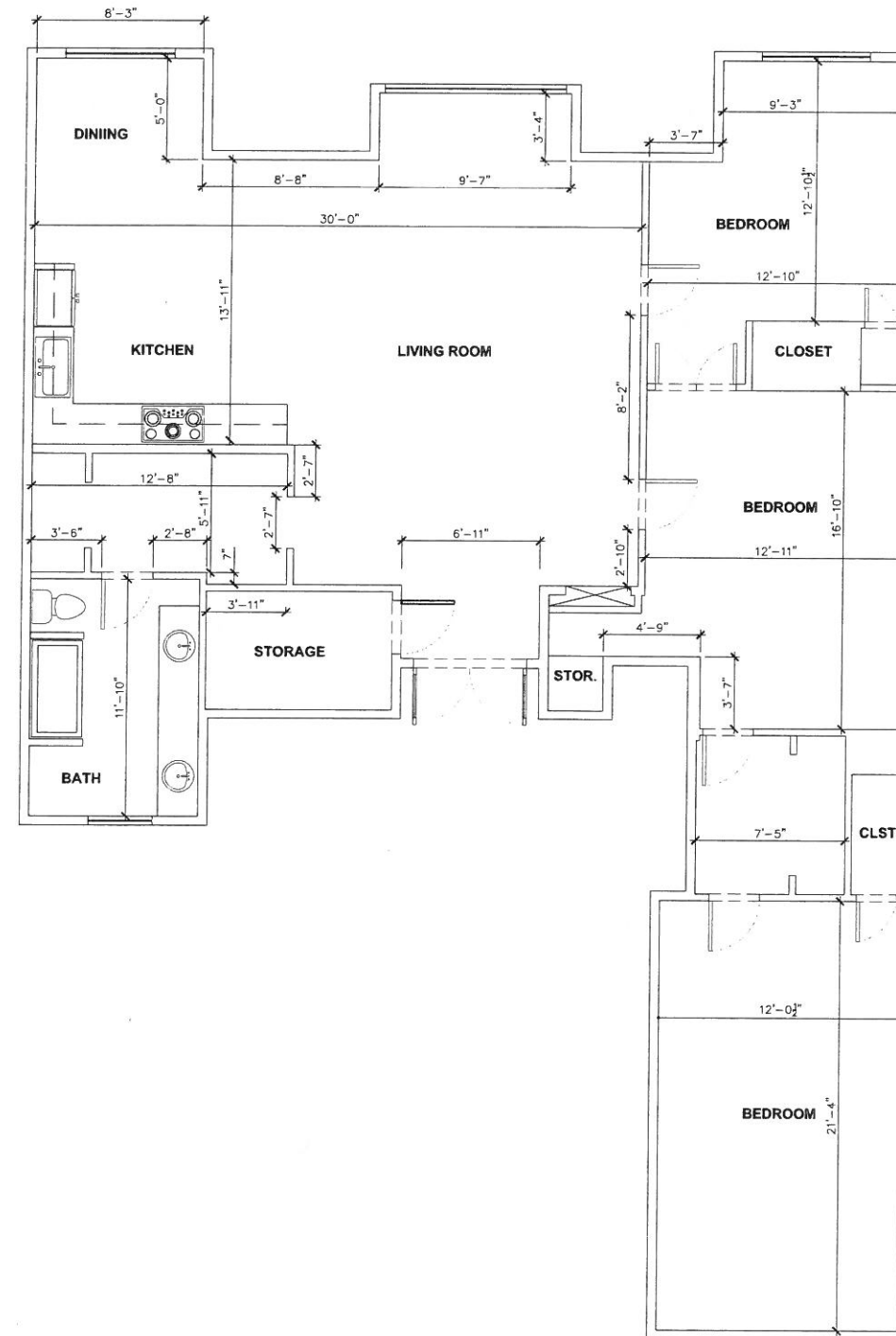
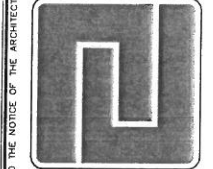
PROJECT:
FLOOR PLANS
3605 OCEAN BLVD
LONG BEACH, CA

REVISIONS:	

SHEET TITLE:
EXISTING SECOND
FLOOR
PLAN

PROJECT NO: 2045-15
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PROJECT:

FLOOR PLANS

3605 OCEAN BLVD
LONG BEACH, CA

REVISIONS:

SHEET TITLE:
**EXISTING THIRD
FLOOR
PLAN**

PROJECT NO: 2045-15
DATE: 04 APRIL 2017
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SCALE: AS NOTED
FILE: 3605 OCEAN FLA PLANS-SUBDIVISION

SHEET NO.

A-1.2

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