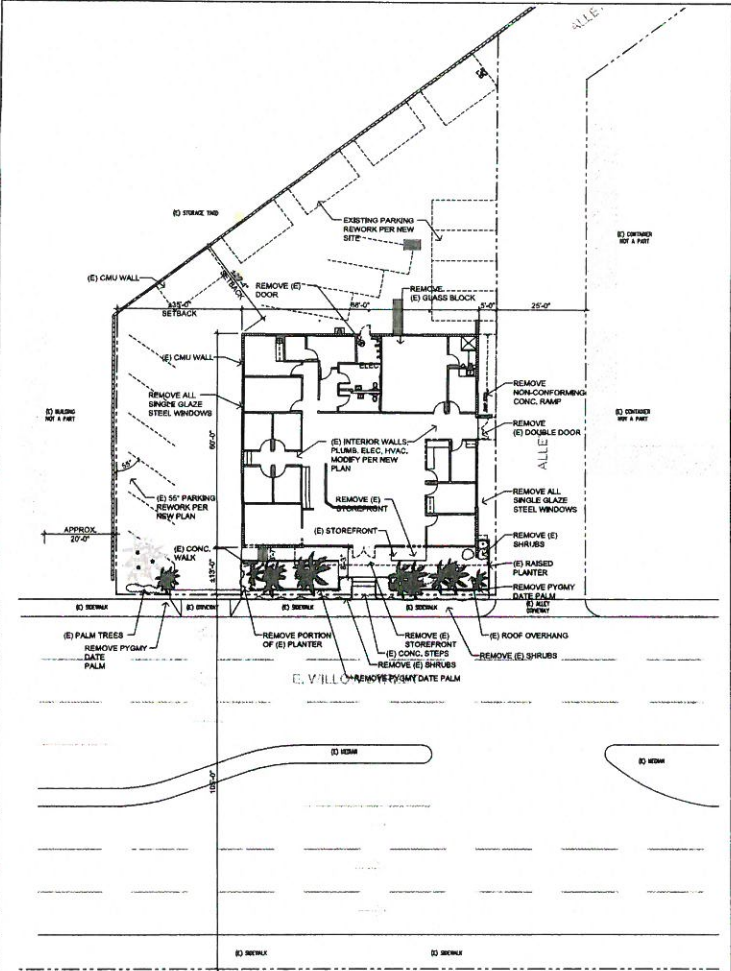
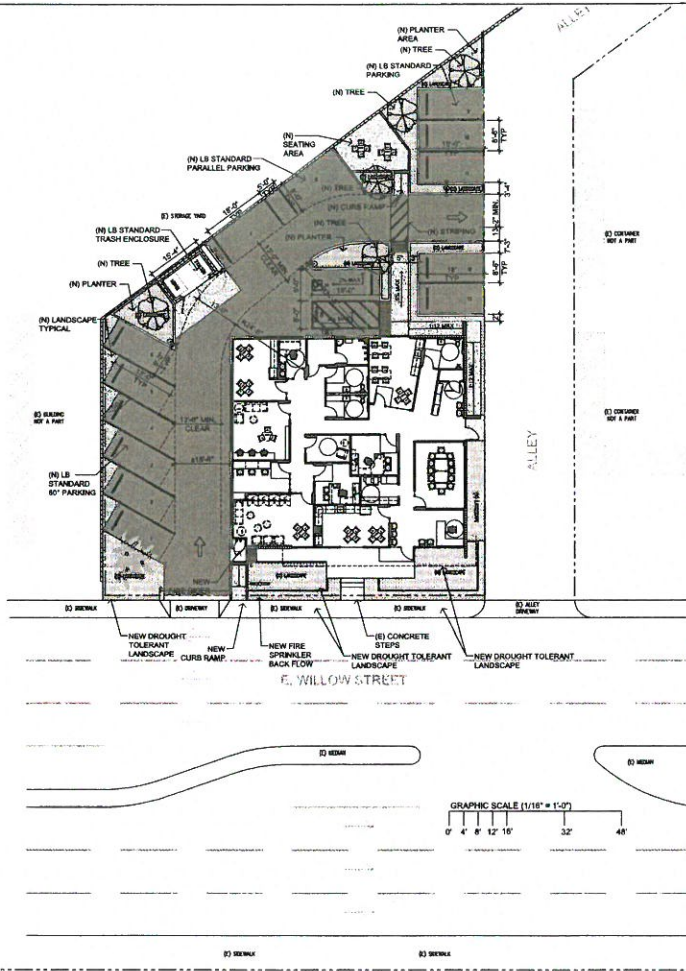


EXHIBIT B



1 EXISTING SITE PLAN
Scale: 1/16" = 1'-0"



1 NEW SITE PLAN
Scale: 1/16" = 1'-0"

OCCUPANCY LOAD ANALYSIS (2013 CPC, TABLE A):

OCCUPANCY:	GROUP I
LOAD FACTOR FOR:	200
GROSS BUILDING AREA	3,960 SQ. FT.
EXCLUDE HALLWAYS (PER PER TABLE A, NOTE "I")	- 644 SQ. FT.
EXCLUDE RESTROOMS (PER PER TABLE A, NOTE "I")	- 232 SQ. FT.
TOTAL SQUARE FEET:	3,145 SQ. FT.
OCCUPANTS:	3,145/200 = 15.7 (16) OCCUPANTS
MALE:	16/2 = 8 MALE OCCUPANTS
FEMALE:	16/2 = 8 FEMALE OCCUPANTS

PLUMBING FIXTURE ANALYSIS (2013 CPC, TABLE 422.1):

REQUIRED FIXTURES FOR	FEMALE (1-15):	MALE (1-15):	UNISEX:
WATER CLOSETS:	1 REQUIRED 1 PROVIDED	1 REQUIRED 1 PROVIDED	0 REQUIRED 1 PROVIDED
URINALS:	N/A	N/A	
LAVATORIES:	1 PER 40 REQUIRED 2 PROVIDED	1 PER 40 REQUIRED 2 PROVIDED	0 REQUIRED 1 PROVIDED
SERVICE SINK:	1 REQUIRED 1 PROVIDED		

LEGEND

---	PROPERTY LINE
--- 04	NEW EXTERIOR LIGHT FIXTURES PER ELECTRICAL ENGINEER
---	NEW CONCRETE
---	NEW DROUGHT TOLERANT LANDSCAPE AND DRP IRRIGATION
---	NEW ASPHALT

PROJECT INFORMATION

BUILDING ADDRESS: 3311 E. WILLOW STREET
LONG BEACH, CA 90807

APN: 7212-022-017

SCOPE OF WORK: TENANT IMPROVEMENT, SITE IMPROVEMENTS AND MINOR BUILDING EXTERIOR IMPROVEMENTS TO AN EXISTING OFFICE FOR NEW ADULT DAY CARE FACILITY USE.

SITE IMPROVEMENTS:

- REWORK PARKING (MINOR ASPHALT REPAIRS)
- ADD NEW LANDSCAPE AND TREES
- REPLACE PORTIONS OF (E) LANDSCAPE WITH NEW DROUGHT TOLERANT LANDSCAPE
- REPLACE NON-CONFORMING CONCRETE RAMP
- NEW CURB RAMP TO PUBLIC WAY
- NEW TRASH AND RECYCLE STORAGE
- NEW PARKING LOT LIGHTING AS REQUIRED

BUILDING EXTERIOR IMPROVEMENT

- REPLACE ALL SINGLE PANE WINDOWS WITH NEW DUAL-PANE STOREFRONT SYSTEMS (ONE FOR ONE)
- RELOCATE FRONT ENTRY AND REPLACE DOUBLE DOOR AT SIDE ENTRY WITH NEW STOREFRONT
- NEW ENTRY CANOPY AT SIDE ENTRY
- REPLACE HVAC EQUIPMENT AND PROVIDE NEW ROOFTOP SCREENING
- UPDATED BUILDING PAINT SCHEME

TENANT IMPROVEMENT

- REWORK INTERIOR NON-STRUCTURAL WALL TO ACCOMMODATE NEW PROGRAM
- NEW HVAC DUCTING
- NEW LIGHTING AND ELECTRICAL UPGRADE ELECTRICAL PANEL AS NEEDED

ZONE: L8M

CONSTRUCTION TYPE: TYPE VB 1-HR

OCCUPANCY: I-4

SPRINKLER BUILDING: YES (UNDER SEPARATE PERMIT)

NUMBER OF STORIES: 1 STORY

LOT AREA: 12,547 S.F. (0.288 ACRES)

BUILDING AREA: 3,960 SQ. FT. (LOT COVERAGE = 32%)

SITE COVERAGE:

(E) LANDSCAPE:	510 SQ. FT.
(N) LANDSCAPE:	1,036 SQ. FT.
TOTAL LANDSCAPE:	1,546 SQ. FT. (15%)
(E) CONCRETE:	470 SQ. FT.
(N) CONCRETE & CURBS:	532 SQ. FT.
TOTAL CONCRETE:	1,002 SQ. FT. (11%)
(E) PAVED AREA:	7,112 SQ. FT.
(N) PAVED AREA:	1,873 SQ. FT.
TOTAL PAVED & PARKING AREA:	8,985 SQ. FT. (42%)

PARKING:

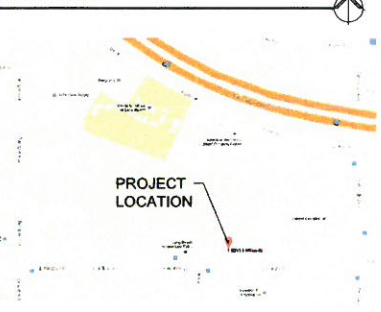
REQUIRED: (1 PER 10 CLIENTS + 2 LOADING)
- 21 CLIENTS/10 + 3(2 LOADING) = 5 SPACES
(1 VAN ACCESS PARKING)

PROVIDED: 80' PARKING (8'X18') = 45
90' PARKING (8'X18') = 45
PARALLEL (8'X18' PLUS 7') = 42
VAN ACCESS PARKING = 1
TOTAL PARKING PROVIDED = 14

OWNER:
SOCIAL VOCATIONAL SERVICES
3555 TORRANCE BLVD.
TORRANCE, CA 90503
(310) 944-3303 ext 121
Contact: Shannon Barabas
email: sbarabas@svsnrc.com

ARCHITECT:
KAMUS + KELLER
31415 ADDURA ROAD, SUITE 118
WESTLAKE VILLAGE, CA 91361
(805) 383-5955
Contact: AARON NICHOLS
email: anichols@kamusa.com

VICINITY MAP



ISSUE DATE

KAMUS + KELLER
Interior Architecture
31415 ADDURA ROAD
WESTLAKE VILLAGE
SUITE 118, CA 91361
P: 805.383.5955
WWW.KAMUSA.COM

PRE-APPLICATION
3311 E. WILLOW STREET
LONG BEACH, CA 90807

PROJECT NO.
16.0398

DRAWN/REVIEWED
AN

DATE/ISSUE
6/15/2016

SHEET TITLE
SITE PLAN

SHEET NO.
SP-1.0



SHEET NO.
FP-1.0



A1 SOUTH- @ WILLOW STREET
NTS



B1 EAST- @ ALLEY
NTS



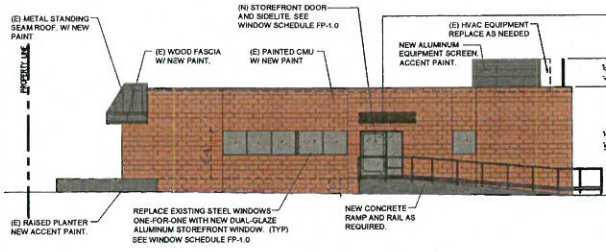
C1 NORTH- @ REAR
NTS



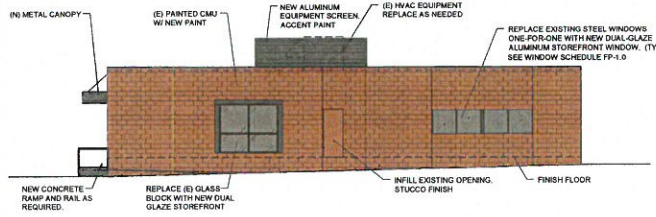
D1 WEST- @ ANGLED PARKING
NTS



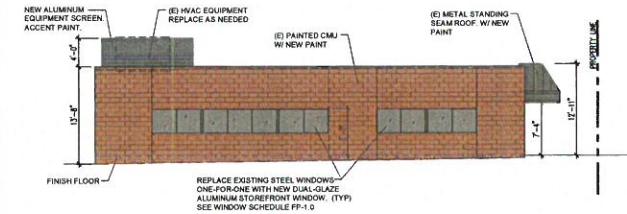
A SOUTH ELEVATION (E. WILLOW STREET)
Scale : 1/8" = 1'-0"



B EAST ELEVATION (ALLEY)
Scale : 1/8" = 1'-0"



C NORTH ELEVATION (REAR)
Scale : 1/8" = 1'-0"



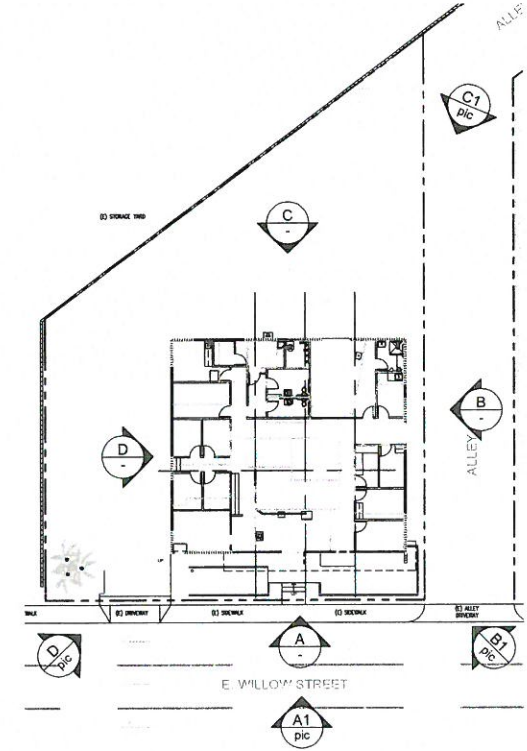
D WEST ELEVATION (60 DEG PARKING)
Scale : 1/8" = 1'-0"

LEGEND

PAINT	DUNN EDWARDS - DET456 SANTA FE SUNSET / EGGSHELL
PAINT	DUNN EDWARDS - DE8370 CHARCOAL SMUDGE / EGGSHELL



NOTE:
NEW STOREFRONT FRAME FINISH SHALL
MATCH EXISTING BLACK FINISH.



KEY PLAN
Scale : 1/16" = 1'-0"

ISSUE DATE

KAMUS + KELLER
ARCHITECTS
3311 E. WILLOW STREET
SUITE 118, CA 90807
P. 909.583.9393
WWW.KKAA.COM



PRE-APPLICATION
3311 E. WILLOW STREET
LONG BEACH, CA 90807

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PROJECT NO.
16.0398

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AN

DATE/ISSUE
8/16/2016

SHEET TITLE
ELEVATIONS

SHEET NO.
EL-1.0



KOELREUTERIA PANICULATA
GOLDEN RAIN TREE



SENECIO SERPENS
BLUE CHALKSTICKS



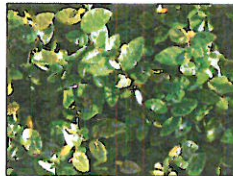
FESTUCA IDAHOENSIS 'SISKYOU BLUE'
SISKYOU BLUE FESCUE



ACACIA COGNATA 'COUSIN ITT'
RIVER WATTLE



ANIGOZANTHOS 'BUSH RANGER'
'BUSH RANGER' KANGAROO PAW



FICUS REPENS
CREEPING FIG



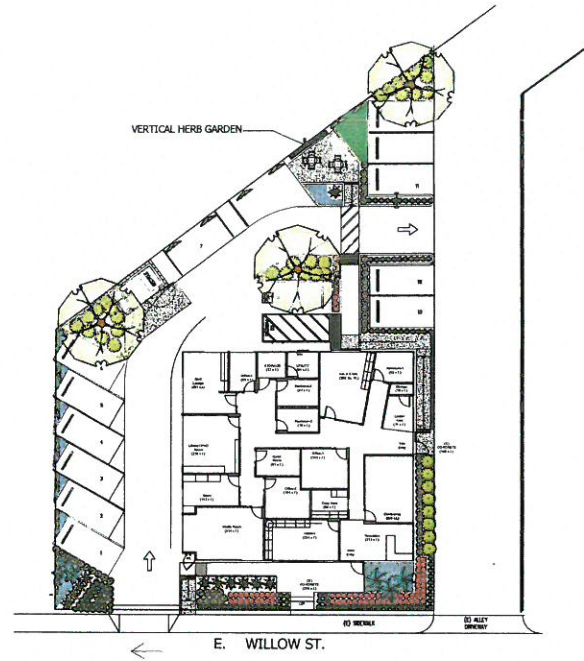
MELINIS NERVIGLUMIS
RUBY GRASS



MYRSINE AFRICANA
AFRICAN BOXWOOD



PHORMIUM T. 'YELLOW WAVE'
NEW ZEALAND FLAX



PLANT SCHEDULE

TREES	BOTANICAL NAME / COMMON NAME	CONT.	QTY.	
	ARECASTRUM ROMANOFFIANUM / QUEEN PALM	8" TO 10" BTH	3	
	ARECASTRUM ROMANOFFIANUM / QUEEN PALM	EXISTING TO REMAIN	3	
	KOELREUTERIA PANICULATA / GOLDEN RAIN TREE	24" BOX	3	
SHRUBS	BOTANICAL NAME / COMMON NAME	SIZE	QTY.	
	ACACIA COGNATA 'COUSIN ITT' / RIVER WATTLE	5 GAL	36	
	ANIGOZANTHOS X 'BUSH RANGER' / BIG RED KANGAROO PAW	5 GAL	76	
	FESTUCA IDAHOENSIS 'SISKYOU BLUE' / SISKYOU BLUE FESCUE	1 GAL	23	
	FICUS REPENS / CREEPING FIG	5 GAL	18	
	MELINIS NERVIGLUMIS / RUBY GRASS	1 GAL	117	
	MYRSINE AFRICANA / AFRICAN BOXWOOD	5 GAL	51	
	PHORMIUM TENAX 'YELLOW WAVE' / NEW ZEALAND FLAX	5 GAL	11	
GROUND COVERS	BOTANICAL NAME / COMMON NAME	CONT.	SPACING	QTY.
	SENECIO SERPENS / BLUE CHALKSTICKS	1 GAL	18" o.c.	146
	VEGETABLE GARDEN	SQ. FT.	12" o.c.	99



LANDMARK DESIGN

Landscape Architecture
1014 S. WESTLAKE BLVD. SUITE 14
WESTLAKE VILLAGE, CA 91361
Ph 818.532.1778
LICENSE NUMBER 2962
WWW.LANDMARKDESIGN.COM

ISSUE DATE

KAMUS + KELLER
Interiors Architecture
3145 ACQUA ROAD
WESTLAKE VILLAGE, CA 91361
P. 805.583.9393
WWW.KKAA.COM

PRE-APPLICATION
3311 E. WILLOW STREET
LONG BEACH, CA 90807

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PROJECT NO.
18-0358

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AN

DATE/ISSUE
6/16/2016

SHEET TITLE
LANDSCAPE
CONCEPT
PLAN

SHEET NO.
L-0