

Wilton Street Historic District Design Guidelines

WILTON STREET



Wilton Street Historic District Design Guidelines

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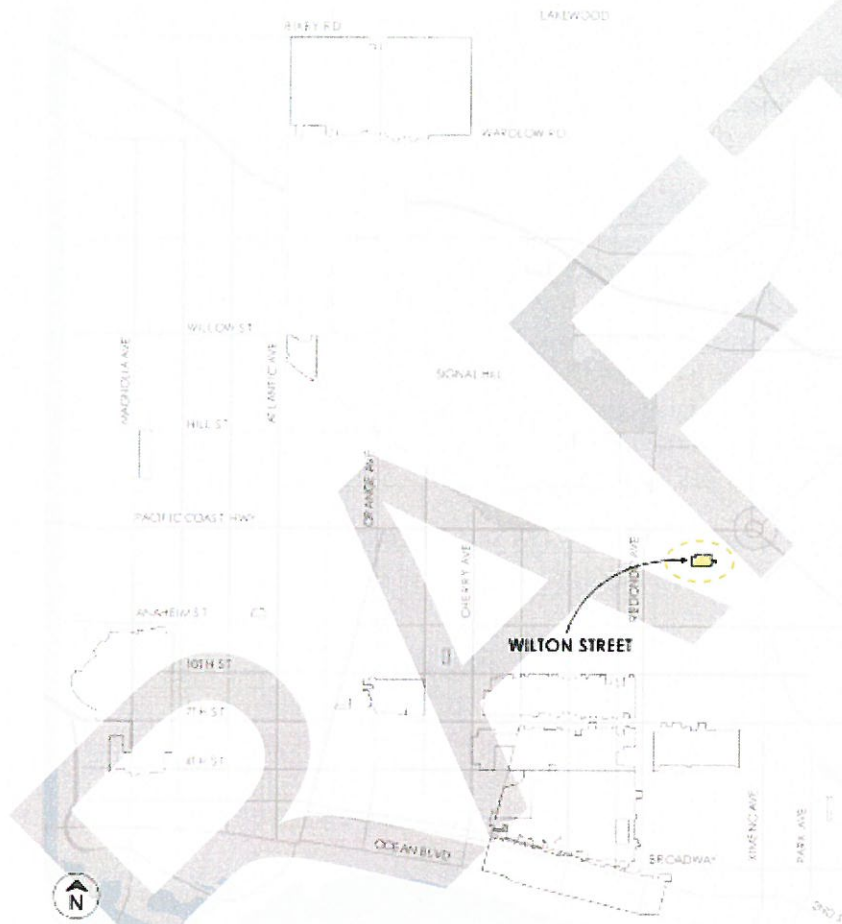
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This section of the Long Beach Historic District Design Guidelines is part of a larger document created as a planning tool for the City's historic districts. The guidelines are intended to provide recommendations, inspiration, and advice as part of an instructive framework that will help guide sensitive changes to historic properties and encourage rehabilitation. By their nature, design guidelines are flexible. As such, outcomes may depend on the resource, the surrounding district, and the goals of the proposed project.

Any changes to the exterior of the property must be given prior approval by Historic Preservation staff through a Certificate of Appropriateness, and all projects may be subject to other City requirements not listed within these guidelines.

For additional information, please refer to the other chapters of this document:

- Chapter 1: Introduction
- Chapter 2: Guidelines for Maintenance and Repair
- Chapter 3: Design Guidelines by Historic District
- Chapter 4: Architectural Style Guides
- Chapter 5: Additional Resources



District Significance

The Wilton Street Historic District was established in 1995. The residential district is significant for its association with the early development of Long Beach. It is an intact representation of single-family working-class homes from a period of tremendous economic growth in Long Beach. As employment opportunities expanded, so did the demand for affordable housing. The houses are similar in scale and are Spanish Colonial Revival in style; while modest, the homes are all individualized. The neighborhood was developed by the Hauser Real Estate & Building Company, and constructed by F.E. Teeple.

- Established by ordinance on August 1, 1995 (Ord. No. C-7346)
- 25 Contributing Properties, 1 Non-Contributing Properties
- Period of Significance: 1924



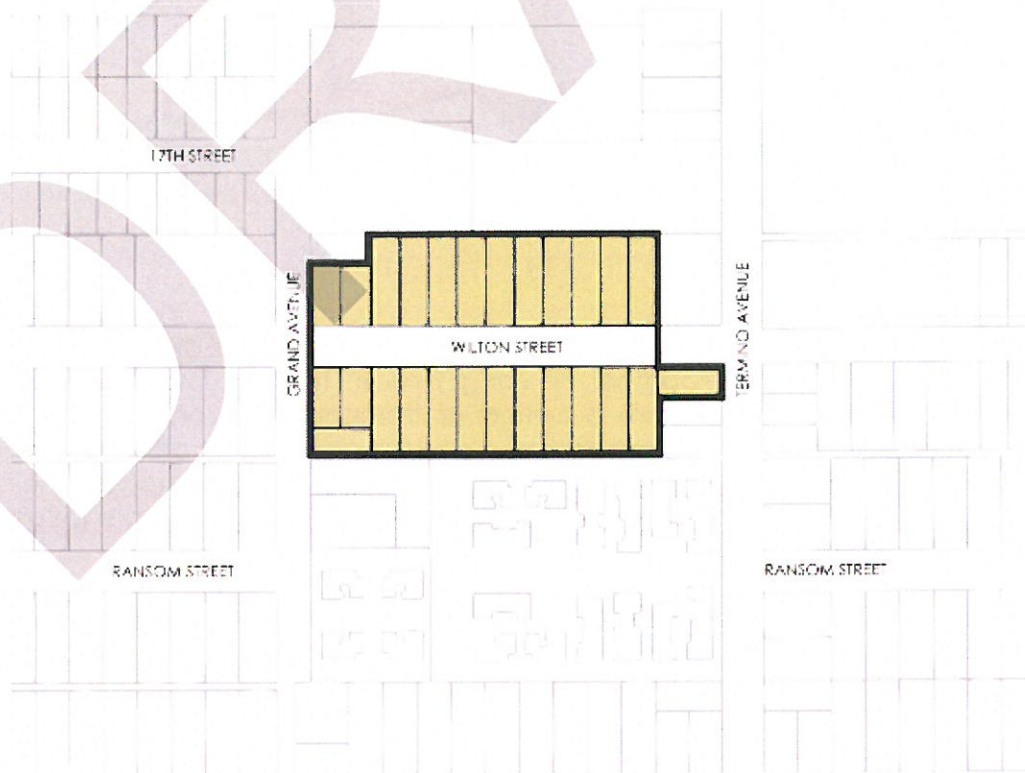
District Description

The Wilton Street Historic District is located in central Long Beach on Wilton Street between its intersection with Termino and Grand Avenues. All of the contributors to the district are single-family residences or duplexes in a modest Spanish Colonial Revival style.

Wilton Street is a two-lane street, oriented east to west. The street is approximately 35' wide and the concrete sidewalks are approximately 5' wide. The curbs are standard height, about 4" to 6", with squared edges and gradually sloping curb cuts at corner crossings and driveways. A planting strip that is approximately 4' wide divides the street and sidewalk. It is planted with grass and various mature trees including palms. There may have been a regular street tree pattern at one point, but it is no longer evident today. Parallel parking is available on both sides of Wilton Street, and each house has a one- or two-car garage to the rear of the parcel. Historically, these garages were detached, but many appear to have been attached via subsequent additions to the homes. Some properties have existing secondary dwellings to the rear.

Overall, the residences in the Wilton Street Historic District are consistent in their massing, style, and setback. The majority of the homes are clad in stucco with flat, parapeted roofs lined with clay tile coping.

Common alterations include textured stucco, removal of clay tile coping, and installation of replacement windows.





Site Layout

The Wilton Street Historic District is comprised of single-family residences and duplexes in a modest, Spanish Colonial Revival style. The dwellings are arranged near the fronts of their lots with a uniform setback, and take up much of their street frontage. This leaves ample space to the rear of the property, and allows for each contributor to have a detached garage to the rear. Driveways provide access to garages and secondary dwellings.

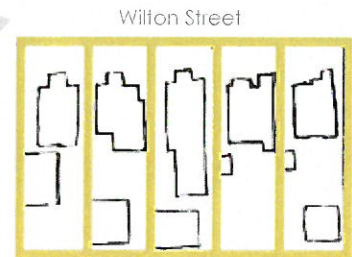
Some existing secondary dwellings may have historic value. Alterations to these dwellings should follow the guidelines for contributing buildings. Secondary dwellings that do not have historic value are still expected to follow the provided design guidelines for non-contributing buildings. The residences in the district are generally uniform in style, height, massing, and roof profile, giving this small historic district a distinctive feel that differentiates it from the surrounding neighborhoods.

Lot Size

- Any change in lot size is not permitted.

The lot sizes in the Wilton Street Historic District are all rectangular, approximately 42' by 130' with the narrow end facing the street.

Currently, there is a contributing single-family residence or duplex on all but one lot in the district. Combining lots together could result in the loss of a district contributor or create a disruption in the visual continuity of the district. Lot splitting is not permitted by the City's zoning laws.



Lots sizes in the Wilton Street Historic District are very uniform.

Front Setback

- Any changes to the front setback are not permitted.

The contributing residences within the Wilton Street Historic District have a consistent front setback of about 20' from the street. Any change to the setback from the street on the primary elevation would cause a disruption in the visual continuity of the district, and is therefore not permitted.



The residences in the Wilton Street Historic District have a very uniform setback from the street. Altering the existing front setback could cause a visual disruption in the district.



Driveways

- *Driveways should not be relocated or resized.*

Retaining the location of existing driveways is recommended, as this will preserve the building's historic relationship to its site, and maintain the visual continuity of the district. Altering the width of the driveway is not recommended, in order to maintain the historic feel of the district.

- *Repaving driveways with a material other than poured concrete, such as brick, pavers, or flagstone is not recommended.*

Altering the original material of the driveway is not recommended. Historically, the driveways in the Wilton Street Historic District appear to have been dual ribbons of smooth concrete with scored joints. Removing the concrete and replacing it with a contemporary material such as fieldstones or a semi-permanent material such as gravel would not be compatible with the historic character of the district.



Homeowners should retain the dual ribbon driveway configuration where it remains (above). Repair the concrete as needed, and replace in kind if it is beyond repair. If the dual ribbons have been removed, consider restoring them in the future as the existing non-original driveway comes to the end of its useful life.

Some driveways within the district have been replaced with new materials, such as fieldstone. In instances where the driveway material has been replaced already, owners are encouraged to consider restoring the historically compatible smooth concrete when the non-original material has come to the end of its useful life.

- *Retaining the historic dual ribbon configuration is encouraged. The concrete may be replaced in kind.*

Some driveways have been paved into a single slab. When an existing solid slab driveway has reached the end of its useful life, owners may want to consider restoring the historic appearance of a dual ribbon driveway rather than replacing or repairing the existing driveway.

The space between the dual ribbons may be filled with low plantings such as grass, or gravel such as crushed quartz or river rock. The concrete ribbons and the space between them are similar in width; refer to existing examples within the Wilton Street Historic District in order to achieve the correct ratio.



Garages

- Existing detached garages may be sensitively expanded to the rear to accommodate larger, contemporary vehicles.

Many of the detached garages in the Wilton Street Historic District may already be built to the property line at the side. If additional space is needed, expanding the detached garage to the rear may be acceptable, as long as the addition or expansion is compatible in design and materials, and not highly visible from the public right-of-way.

- Historically detached garages should not be attached to the primary building.



A house and historic garage in the Wilton Street Historic District.

If a garage was historically detached from the primary residence, the two structures should not be attached by an additions. This will maintain the historic garage's original relationship to the site and the primary building.

Garages should remain detached unless the property owner is able to demonstrate that there is no other feasible option to increase usable space.

- Other alterations to the exterior of an existing detached garage should follow the guidelines presented here for primary buildings.

Walkways

- Walkways should not be relocated or resized.

The majority of contributing residences within the Wilton Street Historic District have a walkway leading from the front porch/main entry to the sidewalk. The centralized location of the walkways should be retained. Altering the width of the walkway is not recommended, in order to maintain the historic feel of the district.



Wilton Street

Resizing or relocating the existing walkways, indicated with a red "X," would disrupt the visual cohesion in the district.

- Walkways may be added to the side of properties where they do not already exist.

The addition of a secondary walkway from a side driveway to the front door is acceptable, as long as the original, centralized walkway is retained. This will maintain the visual cohesion of the district. Any new walkways should be executed in a compatible paving material, such as poured concrete with scored joints.



Walkways, Continued

CONTINUED FROM PAGE 6

- *Paving or repaving a walkway with a material other than poured concrete, such as brick, gravel, or flagstone is not recommended.*

Removing historically appropriate concrete and replacing it with another material such as pavers, fieldstones, brick, gravel or dirt, would not be compatible with the historic character of the district. In instances where the walkway has been altered already, consider restoring the historically compatible concrete when the non-original material has come to the end of its useful life.

In the event that a walkway requires replacement, it should be replaced in the same centralized location and executed in smooth concrete with scored joints.



Smooth concrete with scored joints is the recommended material for walkways and driveways.

Landscaping

- *The existing planting area, yard configuration, and layout should be retained.*

Each of the properties in the Wilton Street Historic District has a front yard approximately 20' in depth. The majority of yards are covered with a grass lawn, although some have been replaced with drought-tolerant landscaping. Many properties also have small gardens, shrubs, and mature trees. A narrow, grassy planting strip in front of each building separates the sidewalk from the street. Retaining the existing planting area, yard configuration, and layout will maintain the existing visual cohesion of the district.

Consider removing or trimming excessively overgrown shrubs, bushes, or landscaping that may obscure or highly detract from the visibility of a contributing building within the district to maintain the overall cohesive feel of the historic district.

- *Drought-tolerant landscaping is acceptable within the existing planting area.*
- *Gardening edges and planters may be acceptable.*



Examples of existing landscaping in the Wilton Street Historic District.

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Landscaping, Continued

CONTINUED FROM PAGE 6

Adding a garden or planter wall may also be acceptable, so long as the wall is low-profile, of a compatible material, and does not obscure or damage any character-defining features of the primary elevation. The wall should be added in such a way that it does not penetrate the existing structure, and if it were removed in the future, the front elevation would be unaltered.

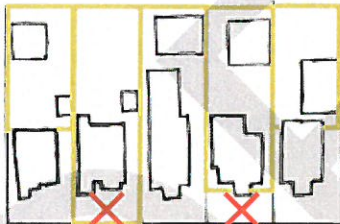
- *Front yards should not be "hardscaped," or otherwise paved with materials such as concrete, fieldstone, brick, or pavers.*

Replacing the historic planting area in the front yard with a hard, paved surface such as poured concrete or pavers would not be compatible with the historic character of the district.

Fencing

Only one property in the Wilton Street Historic District has a low, stucco perimeter wall; therefore, fencing in the front yard is not a character-defining feature of the district. A few properties do have shallow retaining walls, but these are necessitated by the lot slope.

- *Front fencing should not be installed in the Wilton Street Historic District.*



Wilton Street

Installing front fencing, indicated with a red "X," would disrupt the visual cohesion in the district.

Front-yard fencing is not a character-defining feature of the district. While a handful of properties have an existing fence, they disrupt the visual continuity of the district.

Property owners are encouraged to consider removing any existing front fencing rather than replacing it at the end of its useful life.

- *Wood dog-ear fencing is acceptable at the rear of properties.*

Properties in the district have fencing around rear yards. Much of this fencing consists of a compatible wood dog-ear fence. Any new or replacement fencing should be consistent with existing dog-ear wood fencing. Height restrictions may apply, and vary by neighborhood.

The use of pre-fabricated materials like concrete block and chain link are never recommended; these materials often appear temporary, and are rarely visually compatible with historic styles.



An example of wood dog-ear fencing.

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Fencing, Continued

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- The use of a solid, stuccoed wall may be acceptable at the rear of the property.

Porte-Cochères, Trellises, and Decks

- The addition of a porte-cochère may be possible.



Existing porte-cochères in the Wilton Street Historic District.



Several of the contributing properties in the Wilton Street Historic District have existing porte-cochères that extend from the front wall and span over the driveway. These existing porte-cochères have been grandfathered in under updated zoning codes.

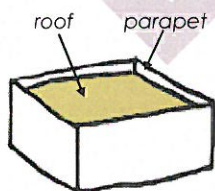
While it would not be historically inappropriate to add one to a residence in the Wilton Street Historic District, it will be subject to certain City requirements.

- It would be acceptable to add a trellis or deck to the rear of a property.

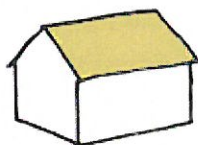
The construction of a trellis, deck, or similar feature to the rear elevation would be acceptable, provided that it is not visible from the street. These features should be carefully constructed, in order to avoid damaging or penetrating the existing historic or character-defining features, even on the rear.

Roof

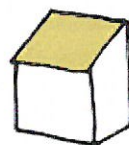
All of the contributors in the Wilton Street Historic District are Spanish Colonial Revival in style. The roofs are primarily flat with parapet walls, and most retain their historic clay tile coping along the edge of the parapets. Most of the entryways are sheltered by a shallow projecting porch with a gabled or pent roof clad in clay tile. Other entries are sheltered by a shallow pent overhang clad in clay tile. Clay tile should always be retained and replaced in kind. Composition shingles are not acceptable on a Spanish Colonial Revival style building.



Flat roof with parapet wall



Gabled roof (two slopes)



Pent or shed roof (single slope)

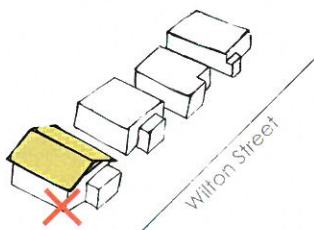


Clay tile coping along a parapet wall.



Changes to Roofline

- *Historic roof forms should always be retained.*



An entirely new roofline, indicated with a red "X," would drastically alter the appearance of a historic building.

Radically changing the overall shape of the historic roofline—i.e., adding a gabled roof to a historically flat roofline, or altering the pitch of a historically gabled roof, is not permitted.



The roofs in the Wilton Street Historic District are flat with parapet walls.

Re-Roofing

- *Historic or historically compatible roofing materials should be retained or replaced in kind.*

Character-defining roofing materials such as clay tile should be retained and repaired where possible. If the roofing materials are demonstrably damaged beyond repair, they should be replaced in kind or with a visually similar substitute.

Composition shingles are not appropriate for a Spanish Colonial Revival style residence, and their installation is not permitted in the Wilton Street Historic District.

- *Removing clay tile coping without replacing it in kind is not permitted.*

Clay tile coping should be repaired rather than replaced. If the coping is demonstrably beyond repair, it should be replaced in kind.

If the clay tile coping has been removed, installing historically appropriate clay tile is strongly encouraged. Not only is it a more historically appropriate and attractive finish to the parapet, the coping also provides a measure of protection to the roofline and deflects water away from the building.



Clay tile coping should remain around a parapet (left); it should not be replaced with metal flashing (center) or removed entirely (right).



Installing Equipment

- *Rooftop equipment such as satellite dishes and solar panels should be carefully installed in an appropriate location.*

The rear elevation is the most appropriate location for most equipment. It should not be highly visible from the public right-of-way, and should be carefully installed to avoid damaging the roof or other character-defining features.

- *Larger equipment, such as HVAC condensers, should be installed at ground level.*

Exterior Cladding

As cladding covers the majority of a building, even minor changes can drastically alter its historic appearance. Please see *Chapter 2: Maintenance and Repair* for additional information on recommended treatments for the exterior of your home.

Paint

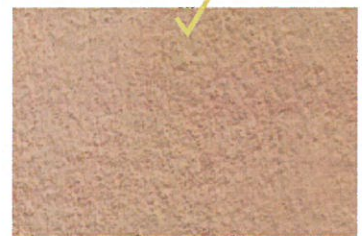
- *Repainting the exterior of a residence is permitted and encouraged as part of regular maintenance.*
- *Changing the exterior color of a residence is permitted, provided that the color scheme is compatible with the historic style and the surrounding district.*

Generally, lighter neutral colors are the most compatible with historic styles. Please refer to the Spanish Colonial Revival Style Guide in *Chapter 4: Architectural Style Guides* for additional guidance and ideas for exterior colors.

Stucco

- *Original or historically appropriate stucco with a sand or float finish should be retained.*

All of the contributing buildings in the Wilton Street Historic District are clad in stucco. The majority of the contributing residences retain a historically accurate sand or float stucco finish, while others have been covered with a less compatible, heavily textured stucco. As the existing non-original stucco comes to the end of its useful life, replacement with a more historically appropriate float or dash stucco finish is encouraged, rather than replicating the existing texture.



An appropriate Float or Dash finish stucco has a slightly rough, sandy texture.

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Stucco, Continued

CONTINUED FROM PAGE 10

- Replacing original or historically appropriate dash or float finish stucco with a different material or texture is not permitted.

If stucco cladding is demonstrably beyond repair, it should be replaced in kind with a visually similar material. Replacing historically appropriate cladding with a new, incompatible material is not recommended. For example, replacing historically appropriate stucco with new stucco that has an extremely smooth or heavy troweled "lace" texture would alter the historic character of the building.



Heavily textured "lace" finish stucco (left) or extremely smooth stucco are equally inappropriate stucco finishes for historic buildings, and should not be applied.

Similarly, replacing the cladding on a contributing Spanish Colonial Revival residence in the Wilton Street Historic District with a new material that is not stucco, such as wood or brick, is not permitted. These materials would not be compatible with the historic nature and architectural style of these residences.

	If the existing cladding is...		
	Historic/ Original	Architecturally Compatible/ Period Appropriate	Architecturally Incompatible/ Non-Period
Retaining it is...	Encouraged.	Acceptable.	Discouraged.
Repairing it is...	Encouraged as part of regular maintenance and proper care.	Encouraged as part of regular maintenance and proper care.	Acceptable to prevent damage to surrounding features; however, replacement is preferred.
Replacing it is...	Not permitted, unless damaged beyond repair. Replace in kind.	Acceptable, as long as the replacement is also compatible.	Encouraged. The replacement must be compatible.



Chimneys

- *Chimneys should not be added where they did not historically exist, to avoid creating a false sense of history.*
- *Removing or altering the design of an original chimney is not recommended.*

Inactive chimneys may be sealed, so long as their external appearance is retained. Changing the size, height, or dimensions of the chimney is not recommended.

- *If a chimney is demonstrably beyond repair and must be removed, it should be replaced in kind.*

Removing a historic feature and neglecting to replace it in kind or with a compatible design, is not recommended.

- *Painting a masonry chimney is not recommended.*

Painting over a masonry chimney is not recommended unless there is sufficient evidence to suggest it was painted historically. Paint is not only difficult to remove from masonry, but it can drastically alter the character of the historic feature. Similarly, masonry that is painted should not be stripped of its paint without sufficient historic evidence that it was historically unpainted.

- *Stucco chimneys should not be covered in any other material.*

The stucco covering a chimney should be treated the same as the overall exterior cladding, as described previously in this section, and should not be covered with any other material, such as stone or brick veneer.



A chimney in the Wilton Street Historic District.

Porches and Entryways

Porches and entryways are visually dominant features on a historic building, especially for residences. Even minor changes to an entryway can drastically alter the appearance of the building and could affect its historic character, especially with modest residences such as those within the Wilton Street Historic District. Therefore, careful attention should be made when proposing alterations to the porch or entryways.

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Porches and Entryways, Continued

CONTINUED FROM PAGE 12



(A)



(A)



(A)



(B)

Some examples of the most common porches and entryways currently found in the Wilton Street Historic District.

The most common entryway type in the Wilton Street Historic District is a shallow, projecting porch with a gabled or pent roof and arched openings (A). These porches extend to the side of the entrance to create a small patio. Other entries are simply recessed within the façade of the residence and sheltered by a shallow roof overhang (B). All of the residences have a set of steps that lead to the entryway.

Porch Enclosure

- *Enclosure of the front porch is not permitted.*

The porches in the Wilton Street Historic District are generally centered on the primary elevation. Enclosing or enlarging the porch within this district would drastically alter the appearance, obscure character-defining features, and affect the historic character of a contributing building. Therefore, enclosing a porch or enlarging a porch within Wilton Street Historic District is not permitted.

Porch Railings and Supports

- *The introduction of railings where they did not exist historically is not recommended.*

The majority of porches in the Wilton Street Historic District are simply surrounded by low, stucco walls. These walls should be treated the same as the exterior cladding, as described earlier in this section, and should not be covered with any other material. Other types of railings, such as wrought iron railings or wood balustrades, are not characteristic of this district.

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Porch Railings and Supports, Continued

CONTINUED FROM PAGE 13

The introduction of railings where they did not exist historically is not recommended; however, should the addition of a railing become necessary for egress or safety, please refer to the appropriate section in *Chapter 4: Architectural Style Guides* for a compatible option.

Porch Steps

- *Porch steps should not be removed, relocated, or resized.*

All of the contributing residences in the Wilton Street Historic District have a set of steps leading to the porch floor. Altering the location or configuration of a centralized set of porch steps could affect the home's historic character.

- *Original or historically appropriate steps should remain. Non-original or incompatible materials should not be introduced.*

Historically, the steps and porch floors in the Wilton Street Historic District were smooth concrete. The concrete steps and porch floor should remain. Installing new steps or covering the existing steps and porch floor with a new material or texture, such as tile, pavers, or fieldstone veneer, on a street-facing elevation is not recommended.

There are examples of porch steps within the district that have been replaced with materials such as brick, or have been embellished with decorative tile. Where these non-original materials have been installed already, consider replacing them with smooth concrete when the existing material has reached the end of its useful life.



The majority of porch floors and steps within the district are historically appropriate smooth concrete, and may be painted in compatible colors.

- *Smooth concrete may be painted as desired in compatible colors.*

Please see *Chapter 4: Architectural Style Guides* for additional information about compatible colors for the Wilton Street Historic District.



Porch Foundations

- *Porch foundations should be retained and repaired or replaced in kind.*

The porch foundations within the Wilton Street Historic District are all covered in stucco. This stucco should be treated the same as the exterior cladding, as described earlier in this section, and should not be covered with any other material.

Windows

Many of the windows within the Wilton Street Historic District appear to be original, or are historically compatible with their respective historic styles. Others have been replaced with aluminum or vinyl windows, which are not compatible.



Examples of historically compatible windows found in the Wilton Street Historic District.

Window Replacement

- *Original or historically appropriate windows should be retained.*

Historic windows should always be regularly maintained and protected, and repaired rather than replaced. Replacement should only be considered when the window is demonstrably damaged beyond repair.

In the event that an original window on any elevation needs to be replaced, it should be demonstrably beyond repair and replaced in kind. Replacement windows should always be made to fit the existing opening.

Use the historic window to guide the new design, or refer to the appropriate section in *Chapter 4: Architectural Style Guides* for additional information on compatible windows.

- *The City of Long Beach does not allow the installation of new incompatible windows—such as vinyl or aluminum—on historic buildings, even if these windows presently exist.*

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Window Replacement, Continued

CONTINUED FROM PAGE 15

In the event that an existing, incompatible window requires replacement on a contributing building, owners will be required to replace it with a historically compatible window. Please refer to the appropriate section of *Chapter 4: Architectural Style Guides* for additional information on compatible window styles.

	If the existing window is...		
	Historic/ Original	Architecturally Compatible/ Period Appropriate	Architecturally Incompatible/ Non-Period
Retaining it is...	Encouraged.	Acceptable.	Discouraged.
Repairing it is...	Encouraged as part of regular maintenance and proper care.	Encouraged as part of regular maintenance and proper care.	Acceptable to prevent damage to surrounding features; however, replacement is preferred.
Replacing it is...	Not permitted, unless damaged beyond repair. Replace in kind.	Acceptable, as long as the replacement is also compatible.	Encouraged. The replacement must be compatible.

Window Openings

- Changing the size, shape, number, or location of window openings on elevations visible from the street is not permitted.

Windows are a key feature on a historic building, and these alterations would drastically affect the historic character. Changing the size and number of window openings on an elevation visible from the street is therefore not permitted. Where window openings have been altered already, it is recommended that property owners consider restoring the original openings rather than replacing a window in the new, non-original opening. The size of the window opening should never be altered to accommodate a new window; rather, the window should be sized to fit the historic window opening.



Changing window openings can leave "scars" on the exterior of a building. Red arrows indicate the original extent of the opening.

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Window Openings, Continued

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The size of the window opening should never be altered to accommodate a new window; rather, the window should be sized to fit the historic window opening.

Property owners are encouraged to retain the original window opening sizes and locations on all elevations. Creating new window openings on the rear elevation not visible from the street may be acceptable, but is not recommended.

Window Screens

- *Window screens may be added to the primary elevation, provided that they are sensitively designed and carefully installed.*

Window screens sized to match the original windows that have narrow, wood frames and are painted to correspond with the building's trim are recommended. The screen itself should be relatively transparent, and should not obscure the window behind it.

Retractable screens may also be acceptable. Vinyl and aluminum framed screens are discouraged.

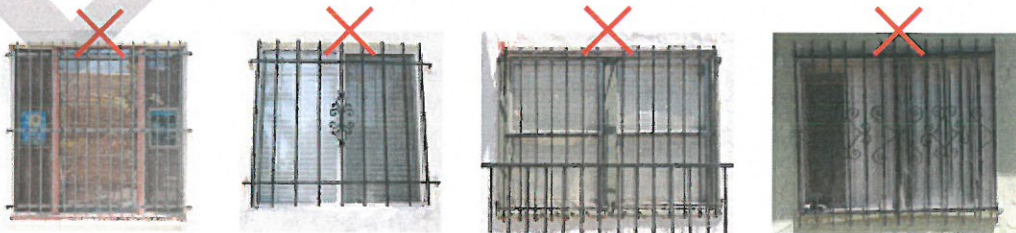
Security Bars

- *Adding visually obtrusive security bars on primary or side elevations is not recommended.*

Security bars are one of the most visually obtrusive alterations to a historic home. Homeowners are encouraged to consider more historically compatible security measures such as interior locks, swing-away interior mounted security bars, and wireless security sensors, where feasible.

This equipment should be installed carefully so as to avoid damaging historic windows, even from the interior. Damage, especially to wood windows, may leave the window susceptible to deterioration.

- *Installing security bars on rear elevations not visible from the street is acceptable.*



Contemporary metal security bars are not historically compatible. Less visually obtrusive security measures should be considered in place of installing bars on windows visible from the street.



Awnings

- Awnings are generally discouraged on primary or side elevations, but may be appropriate because of the architectural style in the Wilton Street Historic District.

It may be appropriate to install cloth awnings on Spanish Colonial Revival properties; however, all homeowners are encouraged to consider other methods of increasing shade or privacy, including interior shutters or window treatments, before deciding to install exterior awnings.

Please refer to the appropriate section in *Chapter 4: Architectural Style Guides* for additional information on awnings.



A simple cloth awning may be appropriate for a Spanish Colonial Revival residence.

- Installing awnings on rear elevations not visible from the street is acceptable.

Doors

Many front doors on the contributing properties in the Wilton Street district are obscured behind metal security doors. Of the doors that are visible, the most common type is a glazed wood door with geometric muntins. As there are so many examples of this door, this may suggest that these are original doors for the district. Other doors within the district consist of wood paneled or partially-glazed wood doors.



These glazed wood doors with geometric muntins appear to be the original doors for the Wilton Street District.



Door Replacement

- *Original or historically appropriate doors should be retained.*

Original or historically appropriate doors should always be regularly maintained and protected, and repaired rather than replaced. Replacement should only be considered when the door is demonstrably damaged beyond repair.

In the event that a door on any elevation needs to be replaced, it should be demonstrably beyond repair and replaced in kind. Use the historic door to guide the new design, or refer to the appropriate section in *Chapter 4: Architectural Style Guides* for additional information on compatible windows.

Generally, door replacement on secondary elevations is less visually obtrusive than replacing doors on the primary elevation; however, the use of compatible doors is still encouraged.

	If the existing door is...		
	Historic/ Original	Architecturally Compatible/ Period Appropriate	Architecturally Incompatible/ Non-Period
Retaining it is...	Encouraged.	Acceptable.	Discouraged.
Repairing it is...	Encouraged as part of regular maintenance and proper care.	Encouraged as part of regular maintenance and proper care.	Acceptable to prevent damage to surrounding features; however, replacement is preferred.
Replacing it is...	Not permitted, unless damaged beyond repair. Replace in kind.	Acceptable, as long as the replacement is also compatible.	Encouraged. The replacement must be compatible.

Door Openings

- *Changing the size, shape, number, or location of door openings on elevations visible from the street is not permitted.*

Doors, especially primary entry doors, are a key feature on a historic building, and these alterations would drastically affect the historic character. Where door openings have been altered already, it is recommended that property owners consider restoring the original openings rather than replacing a door in the new, non-original opening.

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Door Openings, Continued

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The size of the door opening should never be altered to accommodate a new door; rather, the door should be sized to fit the historic opening.

Property owners are encouraged to retain the original door opening sizes and locations on all elevations. Creating new window door on the rear elevation not visible from the street may be acceptable, but is not recommended.

Storm and Screen Doors

- *The installation of a storm or screen door on the primary elevation for light or ventilation may be acceptable.*

The storm door (glass enclosure) or screen door (mesh enclosure) should be sensitively designed and carefully installed. Storm or screen doors that are sized to match the original door, have narrow, wood frames, and are painted to correspond with the building's trim or primary door are recommended. The screen or glass itself should be relatively transparent, and should not obscure the door behind it. Metal-framed screen or storm doors are not recommended.

The screen door pictured to the right is an excellent example of a compatible screen door in the Wilton Street Historic District. The narrow wood frame is designed to match the geometric muntins of the original door and is stained in a neutral color. The mesh enclosure is transparent enough that it does not obscure the door beneath it.



- *Adding a storm or screen door to a side or rear door is acceptable.*

Security Doors

- *Adding thick metal mesh security doors that obscure the front door is not recommended.*

The installation of incompatible security doors is one of the most visually obtrusive alterations to a home, and is therefore not recommended. Removal of these features and replacement with a more compatible security solution is recommended. Modern, wireless electronic security systems can be installed without obstructing any character-defining features, and are a recommended solution. Property owners may also consider implementing security measures such as interior swing-away bars and locks that are not visible from the exterior.

Any exterior elements of a security system should be installed on a rear or secondary elevation, and all components should be carefully installed by an experienced technician to avoid damaging or obscuring historic or character-defining features.



Decorative Features

The Wilton Street Historic District is characterized by its Spanish Colonial Revival homes, which were historically modest in size and did not exhibit much decoration or ornamentation. Existing ornamentation is generally limited to clay tile coping around the parapet walls and recessed niches.

- *Where they exist, original decorative features should be retained.*

These features should be retained and repaired as needed, and replaced in kind if they are demonstrably damaged beyond repair.



Existing decorative features in the Wilton Street Historic District include clay tile coping and recessed niches (center).

- *Adding new decorative elements is not recommended.*

The installation of new decorative elements such as shutters, inlaid tile, or other applied architectural decoration is not recommended. Without proper evidence to suggest that they existed historically, these features would be conjectural and could create a false sense of history. Additionally, these new decorative features may not be compatible with the historic style of the home, or the historically modest setting of the district.



Adding incompatible or decorative conjectural features like this pediment (not located in Wilton Street) can create a false sense of history.

- *Non-structural and non-permanent decorative elements such as flags, plant pots, hanging plants, bird baths, etc., are acceptable.*

These features should be carefully installed and selected so that they do not damage, obscure, or overly detract from the character-defining features of the historic property or district.



Carefully installed non-structural decorative features may be added if desired.



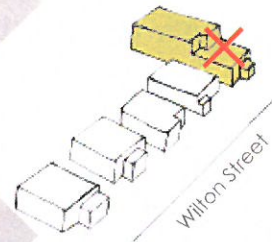
Additions

It is unlikely that any major addition is possible given the small lot sizes in the Wilton Street Historic District. However, in case a property owner would like to explore such options, this section provides design guidelines for potential additions.

Upper Story Additions

- *Upper story/second floor additions are not permitted on primary residences within the Wilton Street Historic District.*

The contributing properties in the district are single-story homes, and the addition of another story would be highly visible from the street and disrupt the visual cohesion of the district. Prioritize increasing the size of your home by constructing compatible additions to the rear.



- *It may be appropriate to add a second-story addition to an existing secondary dwelling at the rear of the property.*

Second story additions, indicated with a red "X," are not permitted in the Wilton Street Historic District.

If permitted by prevailing City regulations, sensitively designed additions to existing secondary units may be acceptable in the Wilton Street Historic District if the addition is not highly visible from the public right-of-way, and is appropriate in size, scale, design and materials.

Front Additions

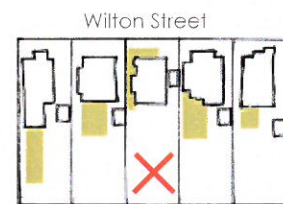
- *Front additions are not permitted within the Wilton Street Historic District.*

Constructing a new addition on the front elevation of a contributing building within the Wilton Street Historic District would cause a drastic change to the historic character of the primary elevation of the building. Furthermore, an addition to the front would alter the existing setback from the street and disrupt the visual continuity of the district. Therefore, front additions are not permitted.

Side Additions

- *Side additions are not permitted within the Wilton Street Historic District.*

While side additions are generally less visually obtrusive than front additions, the lot sizes in the Wilton Street Historic District are too small to accommodate a historically compatible addition to the side elevation. The residences have a shallow setback from the street and no side fencing, leaving all or most of the side elevations fully visible from the public right-of-way.



Additions should be smaller than the primary building, and arranged toward the rear. Front or side additions, indicated with a red "X," are not permitted.



Rear Additions

- *Rear additions are acceptable.*

Adding a single-story addition to the rear of a residence is acceptable for all properties within the Wilton Street Historic District, provided that it is sensitively designed and is not highly visible from the public right of way.

- *The size and massing of the addition should be compatible with the historic character of the residence.*

Rear additions should not be taller than the existing roofline. As the majority of properties in the Wilton Street Historic District have flat rooflines, taller additions would be highly visible from the street and would disrupt the district's visual continuity.

The addition should not envelop or be larger overall than the existing building, and should be no wider than the existing footprint. The total size of the addition should not exceed 10% of the existing square footage, up to a maximum of 250 square feet. Additions of this size or smaller may be reviewed by Planning Bureau staff. While larger additions may be possible, they will be subject to further review by the Cultural Heritage Commission.

- *The addition should be planned and constructed in a way that does not involve removing, obstructing, or damaging any existing historic features.*

Additions should always add to the existing footprint of the building; new construction should never involve removal of a portion of the original residence or site features.

Additions to the residence should not form a connection between the primary building and detached garage, in order to maintain the historic spatial relationship of the site.

All additions should be planned and constructed carefully so that they do not cause damage to the historic building—one way to think about it is: if you were to someday remove the new addition, would the original building remain intact?

- *All additions should be compatible with, yet distinguishable from, the original building style.*

Design your rear addition to be compatible with the historic building, but avoid duplicating the original building materials and detailing so that the addition is not mistaken for an original part of the residence in the future.

In the same vein, other historic styles should not be duplicated, either. These two approaches can create what is called a false sense of history, (i.e. it could be difficult, even for professionals, to visually determine which portion of the residence is original).

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Rear Additions, Continued

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A Spanish Colonial Revival addition may be differentiated from the original building through the use of a setback from the original wall plane, a lower roof height, and slightly different windows. For example, if the primary residence has multi-light wood casement windows, consider single-light wood casement windows for the addition.

New Construction

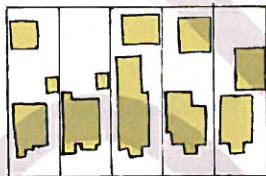
Secondary Dwellings

- *The construction of new secondary dwellings is not permitted in the Wilton Street Historic District, because of the lot sizes in the district and zoning code for this area.*

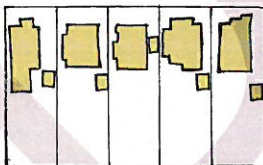
Existing secondary dwellings to the rear are existing non-conforming, and have therefore been "grandfathered" in under the rule.

Alterations to secondary dwellings that have historic value should follow the guidelines for contributing buildings. Secondary dwellings that do not have historic value are still expected to follow the provided design guidelines for non-contributing buildings.

Accessory Buildings



Wilton Street



The homes on Wilton Street have garages to the rear. Many contributors also have secondary dwellings to the rear.

Each contributing property within the Wilton Street Historic District is occupied by a single-family residence or duplex located near the front of the lot, and has a side driveway leading to a modestly sized one- or two-car garage to the rear of the lot. Some garages have been expanded or attached to the primary residence with subsequent additions.

- *New accessory buildings may be appropriate to the rear of the primary residence.*
- *The size and scale of the accessory building should be appropriate to the existing residence and the size of the backyard.*

Accessory buildings should not be highly visible from the street. As such, they should not be taller than the existing roofline. As the majority of properties in the Wilton Street Historic District have flat rooflines, taller accessory buildings would be highly visible from the street and disrupt the district's visual continuity. The accessory building should not envelop or be larger overall than the existing building.

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Accessory Buildings, Continued

CONTINUED FROM PAGE 24

- *The accessory building should be planned and constructed in such a way that does not obscure or damage existing character-defining features or structures.*

Adding a new building or feature that would require removal of an existing, historic building or feature is never recommended. For example, removing a historic detached garage to replace it with a new garage would not be appropriate.

Consider constructing free-standing structures instead of attaching them directly to the primary residence in a manner that could damage or penetrate the exterior.

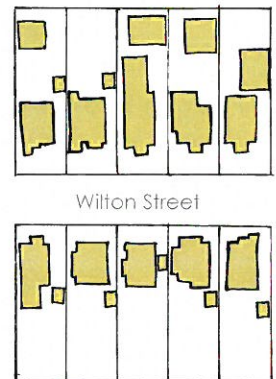
- *Accessory buildings should be compatible in design to the primary building.*

In the Wilton Street Historic District, consider designing accessory buildings with flat roofs, Spanish clay tile accents, stucco cladding, and rectangular window and door openings so that they are compatible with the existing buildings in the historic district.

Infill Construction

- *Demolishing a contributing property in order to construct a new building is not permitted.*

In the event that a contributing building is intentionally altered, damaged, or demolished, the property owner could be subject to fines and penalties, and may be required to replace the damaged components in kind. These penalties may also apply to demolition by neglect, a process in which a property owner attempts to circumvent regulations for historic properties by knowingly and purposefully deferring all maintenance and repair—neglecting the building—until demolition becomes necessary because of safety concerns.



There are no vacant lots in the Wilton Street Historic District.



Infill Construction, Continued

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- *New construction should be generally compatible with the existing contributing buildings in size, scale, setback, height, massing, design, materials, and architectural style to protect the overall character of the historic district.*

While the guidelines for new construction within a district are not as prescriptive as those for historic buildings, new construction is expected to reasonably “blend in” with its surroundings, where feasible. New construction is not required to exactly match the contributing buildings. In fact, matching an existing design too closely is discouraged, in order to prevent the new building from being mistaken for an original historic building in the future; however, the new construction should generally take cues from the contributing building to fit into the district more harmoniously.

The contributing residences within the Wilton Street Historic District are all modest, Spanish Colonial Revival houses with flat roofs, stucco cladding, clay tile accents, and minimal ornamentation. They are one story in height with a shallow setback from the street. Property owners planning new construction should consider including features like a flat roof, clay tile accents, dash or float finish stucco cladding, arched forms, and rectangular door and window openings in their design. Owners should anticipate conforming to the prevailing height and setback in the district.



rectangular door and window openings



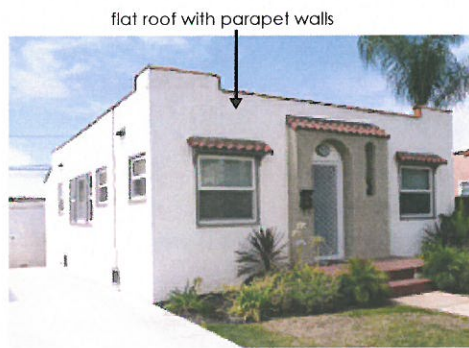
float or dash stucco finish

clay tile accents

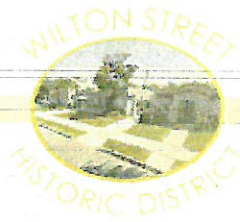


one-story

arched forms



flat roof with parapet walls



Alterations to Non-Contributing Buildings

- *Non-contributing buildings are not required to mimic the appearance of surrounding contributing properties; however, it is still important to maintain the visual continuity of the district.*

Only one building within the Wilton Street Historic District is currently considered a non-contributing building to the district, as it was constructed with Ranch-style influences outside the district's period of significance.

Although the non-contributing property is designed in the Ranch style instead of the Spanish Colonial Revival style, it is generally compatible with the surrounding contributing buildings in terms of its scale, massing, and setback from the street. Therefore, alterations like adding an upper story addition or drastically changing the roofline or setback from the street are discouraged in order to maintain the existing cohesion in the Wilton Street Historic District.

As a residence designed with Ranch style influences, the property owners are encouraged to reference the applicable section in *Chapter 4: Architectural Style Guides* when considering alterations.