



Eliot Lane Historic District Design Guidelines



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This section of the Long Beach Historic District Design Guidelines is part of a larger document created as a planning tool for the City's historic districts. The guidelines are intended to provide recommendations, inspiration, and advice as part of an instructive framework that will help guide sensitive changes to historic properties and encourage rehabilitation. By their nature, design guidelines are flexible. As such, outcomes may depend on the resource, the surrounding district, and the goals of the proposed project.

Any changes to the exterior of the property must be given prior approval by Historic Preservation staff through a Certificate of Appropriateness, and all projects may be subject to other City requirements not listed within these guidelines.

For additional information, please refer to the other chapters of this document:

- Chapter 1: Introduction
- Chapter 2: Guidelines for Maintenance and Repair
- Chapter 3: Design Guidelines by Historic District
- Chapter 4: Architectural Style Guides
- Chapter 5: Additional Resources



District Significance

The Eliot Lane Historic District was established in 2003. The district is significant as an example of affordable, working-class residences constructed during an economic boom in Long Beach. As employment opportunities increased, so did the demand for housing, resulting in small-scale residences like those found in Eliot Lane. The houses are primarily Spanish Colonial Revival in style, including seven different house types used by the builders, Boland & Smith. All of the homes were constructed in 1923, which serves as the period of significance.

- Established by ordinance on September 9, 2003 (Ord. No. C-7870)
- 30 Contributing Properties, 0 Non-Contributing Properties
- Period of Significance: 1923



District Description

The Eliot Lane Historic District is located in southeast Long Beach on Eliot Lane. Eliot Lane is a narrow one-lane, one-way street oriented north to south between Colorado Street and 3rd Street. Apart from a few small bungalows with Craftsman style influences, the district is made up of one-story Spanish Colonial Revival cottages.

The street is outfitted with squared, concrete curbs with sloping curb cuts at driveways and concrete sidewalks. Between the sidewalks and the street there is a very narrow parkway that is primarily planted with grass. There is parallel street-parking on one side of Eliot Lane, and the residences also have driveways and detached garages for vehicular accommodation.

Overall, the residences are consistent in their massing, style, and setback, almost completely made up of one-story Spanish Colonial Revival cottages. The majority of the cottages are clad in stucco with flat, parapeted roofs lined with clay tile coping. The Craftsman-influenced bungalows have front- or side-gabled roofs with composition shingles.

Common alterations in the district include textured stucco and new windows, occasionally within new window openings.





Site Layout

The properties in the Eliot Lane Historic District are arranged near the fronts of their lots with a uniform setback, and take up much of their street frontage. This leaves just enough room on the small lot for each contributor to have a detached garage to the rear. Driveways provide access to the garages. All the lots in the Eliot Lane Historic District are small and rectangular, approximately 40' by 60', with the narrower end facing the street.

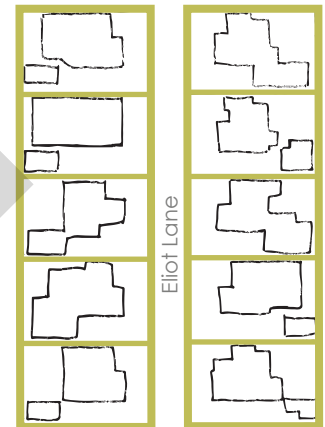
The residences are generally uniform in style, height, massing, and roof profile, giving this small historic district a distinctive feel that differentiates it from the surrounding neighborhoods.

Lot Size

- Any change in lot size is not permitted.

The lot sizes in the Eliot Lane Historic District are all rectangular, approximately 42' by 60' with the narrow end facing the street.

Currently, there is a contributing single-family residence on each lot within the district. Combining lots together could result in the loss of a district contributor or create a disruption in the visual continuity of the district. Lot splitting is not permitted by the City's zoning laws.

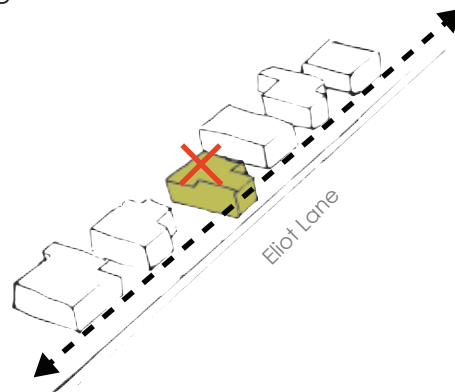


Lots sizes in Eliot Lane are very uniform.

Front Setback

- Any changes to the front setback are not permitted.

The contributors to the Eliot Lane Historic District have a consistent setback from the street of approximately 10'. Any change to the setback from the street on the primary elevation would cause a disruption in the visual continuity of the district. Furthermore, a change in setback may not be permitted by the City's zoning code.



The residences in the Eliot Lane Historic District have a very uniform setback from the street. Altering the existing front setback, indicated with a red "X," could cause a visual disruption in the district.



Driveways

- *Driveways should not be reconfigured.*

Each property within the Eliot Lane Historic District has a driveway at the side of the lot that leads to a detached garage to the rear of the lot. Some properties still retain their historic, dual-ribbon concrete driveways, while others have been filled in or paved over entirely with a solid concrete slab. Retaining the width, location, and configuration of existing driveways is recommended, as this will preserve the building's historic relationship to its site, and maintain the visual continuity of the district.

- *Repaving driveways with a material other than poured concrete, such as brick, pavers, or flagstone is not recommended.*

Altering the original material of the driveway is not recommended. Historically, the driveways in the Eliot Lane Historic District appear to have been dual ribbons of smooth concrete with scored joints. Removing the concrete and replacing it with a contemporary material such as fieldstones or a semi-permanent material such as gravel would not be compatible with the historic character of the district.



Homeowners should retain the dual ribbon driveway configuration where it remains (above). Repair the concrete as needed, and replace in kind if it is beyond repair. If the dual ribbons have been removed, consider restoring them in the future as the existing non-original driveway comes to the end of its useful life.

Some driveways within the district have been replaced with new materials, such as fieldstone. In instances where the driveway material has been replaced already, owners are encouraged to consider restoring the historically compatible smooth concrete when the non-original material has come to the end of its useful life.

- *Retaining the historic dual ribbon configuration is encouraged. The concrete may be replaced in kind.*

Some driveways have been paved into a single slab. When an existing solid slab driveway has reached the end of its useful life, owners may want to consider restoring the historic appearance of a dual ribbon driveway rather than replacing or repairing the existing driveway.

The space between the dual ribbons may be filled with low plantings such as grass, or gravel such as crushed quartz or river rock. The concrete ribbons and the space between them are similar in width; refer to existing examples within the Eliot Lane Historic District in order to achieve the correct ratio.



Garages

- Existing detached garages may be sensitively expanded to the rear to accommodate larger, contemporary vehicles.

However, many of the garages in the Eliot Lane Historic District are already built to the rear property line. If additional space is needed, expanding the width of detached garage to one side may be acceptable, as long as the addition or expansion is compatible in design and materials, and not highly visible from the public right-of-way.

- Historically detached garages should not be attached to the primary building.



A historically detached garage in the Eliot Lane Historic District.

If a garage was historically detached from the primary residence, the two structures should not be attached by an addition. This will maintain the historic garage's original relationship to the site and the primary building.

Garages should remain detached unless the property owner is able to demonstrate that there is no other feasible option to increase usable space.

- Other alterations to the exterior of an existing detached garage should follow the guidelines presented here for primary buildings.

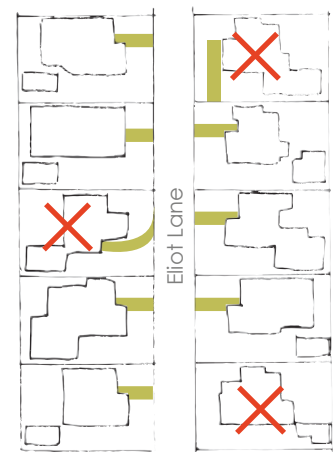
Walkways

- Walkways should not be relocated or resized.

The majority of contributing residences within the Eliot Lane Historic District have a walkway leading from the front porch/main entry to the sidewalk. The centralized location of the walkways should be retained. Altering the width of the walkway is not recommended, in order to maintain the historic feel of the district.

- Walkways may be added to the side of properties where they do not already exist.

The addition of a secondary walkway from a side driveway to the front door is acceptable, as long as the original, centralized walkway is retained. This will maintain the visual cohesion of the district. Any new walkways should be executed in a compatible paving material, such as poured concrete with scored joints.



Resizing, removing, or relocating the existing walkways, indicated with a red "X," would disrupt the visual cohesion in the district.

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Walkways, Continued

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- *Paving or repaving a walkway with a material other than poured concrete, such as brick, gravel, or flagstone is not recommended.*

Removing historically appropriate concrete and replacing it with another material such as pavers, fieldstones, brick, gravel, or dirt, would not be compatible with the historic character of the district. In instances where the walkway has been altered already, consider restoring the historically compatible concrete when the non-original material has come to the end of its useful life.

In the event that a walkway requires replacement, it should be replaced in the same centralized location and executed in smooth concrete with scored joints.



Smooth concrete with scored joints is the recommended material for walkways and driveways.

Landscaping

- *The existing planting area, yard configuration, and layout should be retained.*

Each of the properties in the Eliot Lane Historic District has a shallow front yard, approximately 10' in depth. The majority of yards consist of a grass lawn, although some have been replaced with drought-tolerant landscaping. Many properties also have small gardens, shrubs, and mature trees. A narrow, grassy planting strip in front of each building separates the sidewalk from the street. Retaining the existing planting area, yard configuration, and layout will maintain the existing visual cohesion of the district.

Consider removing or trimming excessively overgrown shrubs, bushes, or landscaping that may obscure or highly detract from the visibility of a contributing building within the district to maintain the overall cohesive feel of the historic district.

- *Gardening edges and planters may be acceptable.*



Examples of existing landscaping in the Eliot Lane Historic District.

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Landscaping, Continued

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Adding a garden or planter wall may also be acceptable, so long as the wall is low-profile, of a compatible material, and does not obscure or damage any character-defining features of the primary elevation. The wall should be added in such a way that it does not penetrate the existing structure, and if it were removed in the future, the front elevation would be unaltered.

- *Front yards should not be “hardscaped,” or otherwise paved with materials such as concrete, fieldstone, brick, or pavers.*

Replacing the historic planting area in the front yard with a hard, paved surface such as poured concrete or pavers would not be compatible with the historic character of the district.

Fencing

- *Front fencing should not be installed in the Eliot Lane Historic District.*

Front-yard fencing is not a character-defining feature of the district. Some properties do have low retaining walls, but these are necessitated by the lot slope. Existing and necessary retaining walls may be retained and repaired or replaced as needed, but new retaining walls should not be added within the district.

As none of the properties in the district have front fencing, the introduction of this feature would disrupt the visual continuity of the district and is not recommended.

- *Wood dog-ear fencing is acceptable at the rear of properties.*

Properties in the district have fencing around rear yards. Much of this fencing consists of a compatible wood dog-ear fence. Any new or replacement fencing should be consistent with existing dog-ear wood fencing. Height restrictions may apply, and vary by neighborhood.

The use of pre-fabricated materials like concrete block and chain link are never recommended; these materials often appear temporary, and are rarely visually compatible with historic styles.

- *The use of a solid, stuccoed wall may be acceptable at the rear of the property.*



Installing front fencing, indicated with a red “X,” would disrupt the visual cohesion in the district.



An example of wood dog-ear fencing.



Trellises, and Decks

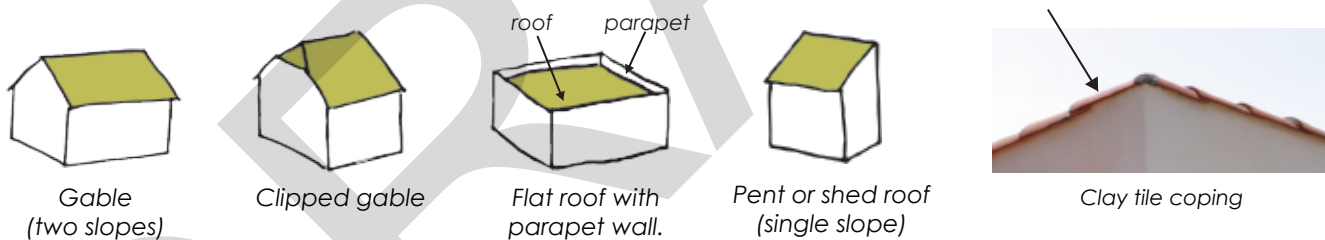
- *It would be acceptable to add a trellis or deck to the rear of a property.*

The construction of a trellis, deck, or similar feature to the rear elevation would be acceptable, provided that it is not visible from the street. These features should be carefully constructed, in order to avoid damaging or penetrating the existing historic or character-defining features, even on the rear.

Roof

All of the contributors in the Eliot Lane Historic District have Spanish Colonial Revival or Craftsman style influences. The Spanish Colonial Revival roofs are flat with parapet walls, and many have historically appropriate coping along the edge of the parapets. Most of the entryways are sheltered by shallow, pent roof overhangs clad in clay tile. Some contributors have a gabled projection clad in clay tile instead of a pent roof overhang.

Craftsman-influenced roofs in the Eliot Lane Historic District are moderately pitched gables with composition shingles and open eaves. Entries are either recessed under the primary roofline, or sheltered by a shallow, gabled overhang.



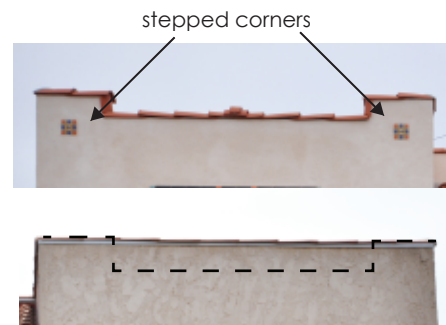
Changes to Roofline

- *Historic roof forms should always be retained.*

Radically changing the overall shape of the historic roofline—i.e., adding a gabled roof to a flat roofline, or changing the pitch of a gabled roof is not permitted.

- *Restoring the stepped parapet corners is encouraged.*

There is historic evidence to suggest that many contributors in the Eliot Lane district had stepped parapet corners (right, top). Homeowners are encouraged to restore the stepped shape when making improvements to the roof (right, bottom), but it is not mandatory.





Re-Roofing

- *Historic or historically compatible roofing materials should be retained or replaced in kind.*

Specialty roofing materials such as clay tile should be retained and repaired where possible. If the roofing materials are demonstrably damaged beyond repair, they should be replaced in kind or with a visually similar substitute. Clay tiles should never be replaced with composition shingles, as this would not be in keeping with the historic character of the home.

- *Clay tile coping should not be replaced with an incompatible material, such as metal flashing.*

Clay tile coping is period-appropriate and compatible with the historic style of the district, and may be added to the parapet walls if desired. If there is sufficient historic evidence to suggest the clay tile coping is not an original feature, it may be removed if desired.

If the clay tile is removed, it should not be replaced with an incompatible material, such as composition roofing or metal flashing.

- *Craftsman-influenced contributors should be re-roofed with composition shingles in a dark, neutral color and laid in a traditional, alternating pattern.*

Historically, many houses of this style were originally roofed using wood shingle or wood shake. Over time, the majority of these wood shingle or wood shake roofs have been replaced with composition shingles over time, including the contributors in Eliot Lane. As all of the Craftsman-inspired roofs in Eliot Lane have been replaced with composition shingles, it is acceptable to install new composition shingles.

If desired, homeowners may opt to install wood shingles. While wood shingles would be compatible and period-appropriate, the process of getting the shingles fireproofed and certified to meet a number of City requirements can be lengthy and expensive, and is therefore not mandatory outside of special circumstances.

Installing Equipment

- *Rooftop equipment such as satellite dishes and solar panels should be carefully installed in an appropriate location.*

The rear elevation or rear-facing roof plane is the most appropriate location for most equipment. It should not be highly visible from the public right-of-way, and should be carefully installed to avoid damaging the roof or other character-defining features. Larger equipment, such as HVAC condensers, should be installed at ground level.



Exterior Cladding

As cladding covers the majority of a building, even minor changes can drastically alter its historic appearance. Please see *Chapter 2: Maintenance and Repair* for additional information on recommended treatments for the exterior of your home.

Paint

- *Repainting the exterior of a residence is permitted and encouraged as part of regular maintenance.*
- *Changing the exterior color of a residence is permitted, provided that the color scheme is compatible with the historic style and the surrounding district.*

Generally, lighter neutral colors are the most compatible with historic styles. Please refer to the Spanish Colonial Revival Style Guide in *Chapter 4: Architectural Style Guides* for additional guidance and ideas for exterior colors.

Stucco

- *Original or historically appropriate stucco with a sand or float finish should be retained.*

All of the contributing buildings in the Eliot Lane Historic District are clad in stucco. The majority of the contributing residences retain a historically accurate sand or float stucco finish, while others have been covered with a less compatible, heavily textured stucco. As the existing non-original stucco comes to the end of its useful life, replacement with a more historically appropriate float or dash stucco finish is encouraged, rather than replicating the existing texture.



An appropriate float or dash finish stucco has a slightly rough, sandy texture.

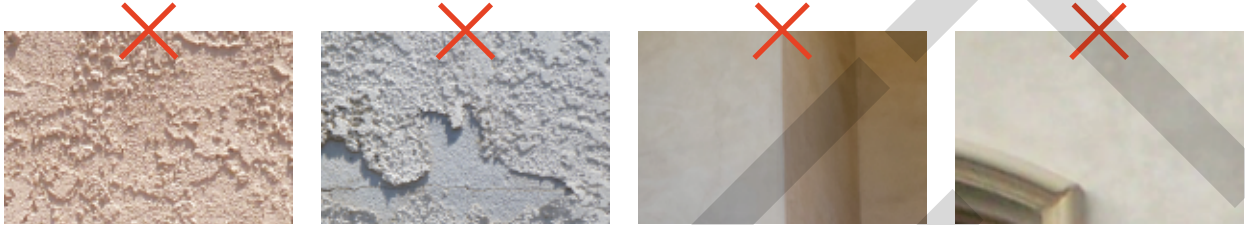
- *Replacing original or historically appropriate dash or float finish stucco with a different material or texture is not permitted.*

If stucco cladding is demonstrably beyond repair, it should be replaced in kind with a visually similar material. Replacing historically appropriate cladding with a new, incompatible material is not recommended. For example, replacing historically appropriate stucco with new stucco that has an extremely smooth or heavy troweled "lace" texture would alter the historic character of the building.

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Stucco, Continued

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Heavily textured "lace" finish stucco (left) or extremely smooth stucco are equally inappropriate stucco finishes for historic buildings, and should not be applied.

Similarly, replacing the cladding on a contributing Spanish Colonial Revival residence in the Eliot Lane Historic District with a new material that is not stucco, such as wood or brick, is not permitted. These materials would not be compatible with the historic nature and architectural style of these residences.

Wood

- *Original or historically appropriate wood siding should be retained.*

All of the wood-clad contributing residences have historically compatible horizontal wood clapboards. Wood siding should be retained and repaired as needed. If wood siding is demonstrably beyond repair, the damaged portions should be replaced in kind. Sound building material should not be removed while replacing damaged material.

Property owners should determine the underlying cause of the deterioration and remedy the cause before carrying out the repair or replacement of siding to prevent further damage in the future.

- *Replacing original or historically appropriate wood siding with a different material is not permitted.*



This image shows historic wood siding that was incompatibly covered with a coating of textured stucco.

Original wood siding should never be replaced or covered with a new or different material that did not exist historically, such as brick, vinyl, or stucco. Where wood siding has been replaced or covered with a new building material, property owners are encouraged to restore historically appropriate wood siding when the existing cladding has reached the end of its useful life, rather than replacing or repairing the non-original material.

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Exterior Cladding, Continued

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	If the existing cladding is...		
	Historic/ Original	Architecturally Compatible/ Period Appropriate	Architecturally Incompatible/ Non-Period
Retaining it is...	<i>Encouraged.</i>	<i>Acceptable.</i>	<i>Discouraged.</i>
Repairing it is...	<i>Encouraged as part of regular maintenance and proper care.</i>	<i>Encouraged as part of regular maintenance and proper care.</i>	<i>Acceptable to prevent damage to surrounding features; however, replacement is preferred.</i>
Replacing it is...	<i>Not permitted, unless damaged beyond repair. Replace in kind.</i>	<i>Acceptable, as long as the replacement is also compatible.</i>	<i>Encouraged. The replacement must be compatible.</i>

Porches and Entryways

Porches and entryways are visually dominant features on a historic building, especially for residences. Even minor changes to an entryway can drastically alter the appearance of the building and could affect its historic character, especially with modest residences such as those within the Eliot Lane Historic District. Therefore, careful attention should be made when proposing alterations to the porch or entryways.

The most common entryway on Spanish Colonial Revival style contributing properties is an enclosed, projecting entryway with one or two arched openings that create a vestibule sheltering the front door (A). The vestibule is enclosed with a decorative wrought iron gate on some properties (B). The vestibule has been enclosed entirely on others, creating a flush entrance. (C)



(A)



(B)



(C)

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Porches and Entryways, Continued

CONTINUED FROM PAGE 12



(D)



(E)

Other contributing residences within the district have recessed porches (D) or flush entrances sheltered by a shallow, projecting porch roof (E).

Porch Enclosure

- *Enclosure of the front porch is not permitted.*

All of the porches in the district are small in scale and generally centered on the front elevation. As such, enclosing the porch area within this district would drastically alter the appearance of a contributing building and affect their historic character. Damaging or obscuring historic, character-defining features for the small amount of space created by an enclosed porch is rarely justifiable and is not permitted.

There are a few instances of porch enclosure in the Eliot Lane Historic District. Homeowners are strongly encouraged to restore these porches and entryways that have been previously enclosed, but it is not mandatory.

Porch Railings and Supports

- *Where they exist, original or historically appropriate railings, posts, and porch supports should be retained.*

Most properties in the district do not have any kind of porch railing or balustrade. The existing porch railings and supports in the district consist of simple wood railings or wrought iron. In the event that a railing or post is demonstrably beyond repair, it should be replaced in kind or replaced with a compatible substitute. Porch railings and supports should be replaced in kind as accurately as possible, while taking into account contemporary safety requirements such as minimum railing height and more closely spaced balusters where necessary.

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Porch Railings and Supports, Continued

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Use the existing material, profile, and overall shape of existing balusters, newel posts, handrails, and base rails to guide a new design.

- *The introduction of railings where they did not exist historically is generally not recommended.*

However, should the addition of a railing be required for safety, please refer to the appropriate section in *Chapter 4: Architectural Style Guides* for a compatible option.

Non-original yet compatible railings may be retained and repaired or removed as desired. The railings found within the district are generally compatible with their respective buildings. If the railings require replacement, they should be replaced with an equally compatible feature.

Porch Steps

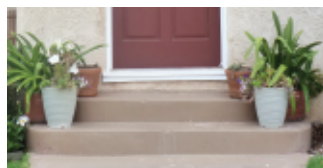
- *Porch steps should not be removed, relocated, or resized.*

All of the contributing residences in the Eliot Lane Historic District have a set of steps leading to the porch floor. Altering a centralized set of porch steps could affect the home's historic character.

- *Original or historically appropriate steps should remain. Non-original or incompatible materials should not be introduced.*

Historically, the steps in the Eliot Lane Historic District were smooth concrete with rounded edges. The historic concrete steps should remain. Covering the existing steps and porch floor with an incompatible material or texture, such as brick, fieldstone veneer, or decorative tile on a street-facing elevation is not permitted.

There are examples of porch steps within the district that have been replaced with materials such as brick, or have been embellished with decorative tile. Where these non-original materials have been installed already, consider replacing them with smooth concrete when the existing material has reached the end of its useful life.



The majority of porch floors and steps within the district are historically appropriate smooth concrete, and may be painted in compatible colors.

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Porch Steps, Continued

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- Smooth concrete may be painted as desired in compatible colors.

Please see *Chapter 4: Architectural Style Guides* for additional information about compatible colors for the Eliot Lane Historic District.

Windows

There have been a number of window replacements in the Eliot Lane Historic District; however, there are enough historic windows remaining to guide future restoration of incompatible windows.



Examples of historically compatible windows found in the Eliot Lane Historic District.

Window Replacement

- Original or historically appropriate windows should be retained.

Historic windows should always be regularly maintained and protected, and repaired rather than replaced. Replacement should only be considered when the window is demonstrably damaged beyond repair.

In the event that an original window on any elevation needs to be replaced, it should be demonstrably beyond repair and replaced in kind. Replacement windows should always be made to fit the existing opening.

Use the historic window to guide the new design, or refer to the appropriate section in *Chapter 4: Architectural Style Guides* for additional information on compatible windows.

- The City of Long Beach does not allow the installation of new incompatible windows—such as vinyl or aluminum—on historic buildings, even if these windows presently exist.

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Window Replacement, Continued

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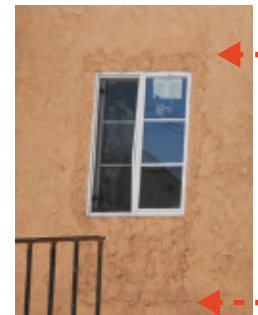
In the event that an existing, incompatible window requires replacement on a contributing building, owners will be required to replace it with a historically compatible window. Please refer to the appropriate section of *Chapter 4: Architectural Style Guides* for additional information on compatible window styles.

	If the existing window is...		
	Historic/ Original	Architecturally Compatible/ Period Appropriate	Architecturally Incompatible/ Non-Period
Retaining it is...	<i>Encouraged.</i>	<i>Acceptable.</i>	<i>Discouraged.</i>
Repairing it is...	<i>Encouraged as part of regular maintenance and proper care.</i>	<i>Encouraged as part of regular maintenance and proper care.</i>	<i>Acceptable to prevent damage to surrounding features; however, replacement is preferred.</i>
Replacing it is...	<i>Not permitted, unless damaged beyond repair. Replace in kind.</i>	<i>Acceptable, as long as the replacement is also compatible.</i>	<i>Encouraged. The replacement must be compatible.</i>

Window Openings

- Changing the size, shape, number, or location of window openings on elevations visible from the street is not permitted.

Windows are a key feature on a historic building, and these alterations would drastically affect the historic character. Changing the size and number of window openings on an elevation visible from the street is therefore not permitted. Where window openings have been altered already, it is recommended that property owners consider restoring the original openings rather than replacing a window in the new, non-original opening. The size of the window opening should never be altered to accommodate a new window; rather, the window should be sized to fit the historic window opening.



Changing window openings can leave "scars" on the exterior of a building. Red arrows indicate the original extent of the opening.

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Window Openings, Continued

CONTINUED FROM PAGE 16

The size of the window opening should never be altered to accommodate a new window; rather, the window should be sized to fit the historic window opening.

Property owners are encouraged to retain the original window opening sizes and locations on all elevations. Creating new window openings on the rear elevation not visible from the street may be acceptable, but is not recommended.

Window Screens

- *Window screens may be added to the primary elevation, provided that they are sensitively designed and carefully installed.*

Window screens sized to match the original windows that have narrow, wood frames and are painted to correspond with the building's trim are recommended. The screen itself should be relatively transparent, and should not obscure the window behind it.

Retractable screens may also be acceptable. Vinyl and aluminum framed screens are discouraged.

Security Bars

- *Adding visually obtrusive security bars on primary or side elevations is not recommended.*

Security bars are one of the most visually obtrusive alterations to a historic home. Homeowners are encouraged to consider more historically compatible security measures such as interior locks, swing-away interior mounted security bars, and wireless security sensors, where feasible.

This equipment should be installed carefully so as to avoid damaging historic windows, even from the interior. Damage, especially to wood windows, may leave the window susceptible to deterioration.

- *Installing security bars on rear elevations not visible from the street is acceptable.*



Contemporary metal security bars are not historically compatible. Less visually obtrusive security measures should be considered in place of installing bars on windows visible from the street.



Awnings

- Awnings are generally discouraged on primary or side elevations, but may be appropriate in some cases within the Eliot Lane Historic District.

Awnings are not appropriate for Craftsman style residences and should not be installed.

It may be more appropriate to install awnings on Spanish Colonial Revival properties; however, all homeowners are encouraged to consider other methods of increasing shade or privacy, including interior shutters or window treatments, before installing exterior awnings. Please refer to the appropriate section in *Chapter 4: Architectural Style Guides* for additional information on awnings.

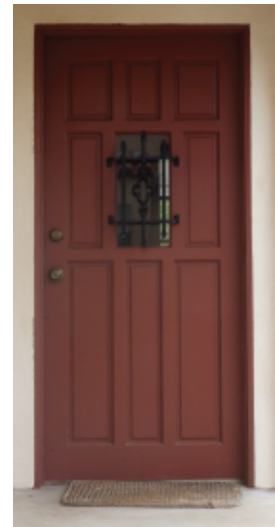
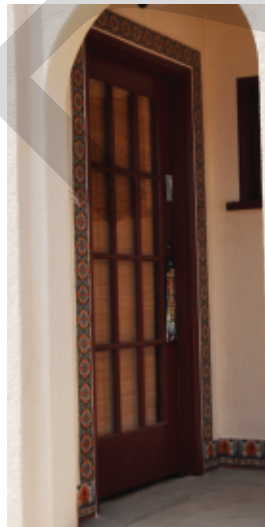


A simple cloth awning may be appropriate for a Spanish Colonial Revival residence.

- Installing awnings on rear elevations not visible from the street is acceptable.

Doors

Many of the entry doors in the Eliot Lane Historic District do not appear to be original, but they are generally compatible with the Spanish Colonial Revival or Craftsman inspired styles. There is historic evidence to suggest that the original doors for Spanish Colonial Revival style homes in the district had multi-light wood doors. Other doors are obscured behind metal security doors, or sheltered behind more historically compatible wood-framed screen doors.



There is historic evidence to suggest that these multi-light wood doors with fifteen lights are the original doors in the Eliot Lane Historic District. Other doors have been replaced (right) but are typically compatible with their respective residences.



Door Replacement

- *Original or historically appropriate doors should be retained.*

Original or historically appropriate doors should always be regularly maintained and protected, and repaired rather than replaced. Replacement should only be considered when the door is demonstrably damaged beyond repair.

In the event that a door on any elevation needs to be replaced, it should be demonstrably beyond repair and replaced in kind. Use the historic door to guide the new design, or refer to the appropriate section in *Chapter 4: Architectural Style Guides* for additional information on compatible windows.

Generally, door replacement on secondary elevations is less visually obtrusive than replacing doors on the primary elevation; however, the use of compatible doors is still encouraged.

	If the existing door is...		
	Historic/ Original	Architecturally Compatible/ Period Appropriate	Architecturally Incompatible/ Non-Period
Retaining it is...	<i>Encouraged.</i>	<i>Acceptable.</i>	<i>Discouraged.</i>
Repairing it is...	<i>Encouraged as part of regular maintenance and proper care.</i>	<i>Encouraged as part of regular maintenance and proper care.</i>	<i>Acceptable to prevent damage to surrounding features; however, replacement is preferred.</i>
Replacing it is...	<i>Not permitted, unless damaged beyond repair. Replace in kind.</i>	<i>Acceptable, as long as the replacement is also compatible.</i>	<i>Encouraged. The replacement must be compatible.</i>

Door Openings

- *Changing the size, shape, number, or location of door openings on elevations visible from the street is not permitted.*

Doors, especially primary entry doors, are a key feature on a historic building, and these alterations would drastically affect the historic character. Where door openings have been altered already, it is recommended that property owners consider restoring the original openings rather than replacing a door in the new, non-original opening.

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Door Openings, Continued

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The size of the door opening should never be altered to accommodate a new door; rather, the door should be sized to fit the historic opening.

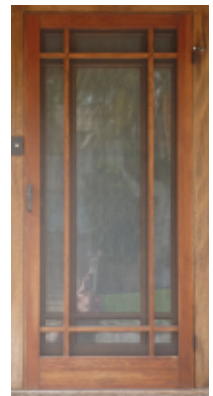
Property owners are encouraged to retain the original door opening sizes and locations on all elevations. Creating new door openings on the rear elevation not visible from the street may be acceptable, but is not recommended.

Storm and Screen Doors

- *The installation of a storm or screen door on the primary elevation for light or ventilation may be acceptable.*

The storm door (glass enclosure) or screen door (mesh enclosure) should be sensitively designed and carefully installed. Storm or screen doors that are sized to match the original door, have narrow, wood frames, and are painted to correspond with the building's trim or primary door are recommended. The screen or glass itself should be relatively transparent, and should not obscure the door behind it. Metal-framed screen or storm doors are not recommended.

The screen door pictured to the right is an excellent example of a compatible screen door in the Eliot Lane Historic District. The narrow wood frame is designed to match the geometric muntins of the original door and is stained in a neutral color. The mesh enclosure is transparent enough that it does not obscure the door beneath it.



- *Adding a storm or screen door to a side or rear door is acceptable.*

Security Doors

- *Adding thick metal mesh security doors that obscure the front door is not recommended.*

The installation of incompatible security doors is one of the most visually obtrusive alterations to a home, and is therefore not recommended. Removal of these features and replacement with a more compatible security solution is recommended. Modern, wireless electronic security systems can be installed without obstructing any character-defining features, and are a recommended solution. Property owners may also consider implementing security measures such as interior swing-away bars and locks that are not visible from the exterior.

Any exterior elements of a security system should be installed on a rear or secondary elevation, and all components should be carefully installed by an experienced technician to avoid damaging or obscuring historic or character-defining features.



Decorative Features

The Eliot Lane Historic District is characterized by its smaller, working-class homes, which were historically quite modest and did not have much in the way of decoration or ornamentation. The decorative elements that do exist include clay tile attic vents, clay tile coping, and exposed rafter tails.

- *Where they exist, original decorative features should be retained.*

These features should be retained and repaired as needed, and replaced in kind if they are demonstrably damaged beyond repair.



Existing decorative features in the Eliot Lane Historic District include clay tile coping, clay tile attic vents, and exposed rafter tails.

- *Adding new decorative elements is not recommended.*

The installation of new decorative elements such as shutters, inlaid tile, or other applied architectural decoration is not recommended. Without proper evidence to suggest that they existed historically, these features would be conjectural and could create a false sense of history. Additionally, these new decorative features may not be compatible with the historic style of the home, or the historically modest setting of the district.



Adding incompatible or decorative conjectural features like this pediment (not located in Eliot Lane) can create a false sense of history.

- *Non-structural and non-permanent decorative elements such as flags, plant pots, hanging plants, bird baths, etc., are acceptable.*

These features should be carefully installed and selected so that they do not damage, obscure, or overly detract from the character-defining features of the historic property or district.



Carefully installed non-structural decorative features may be added if desired.



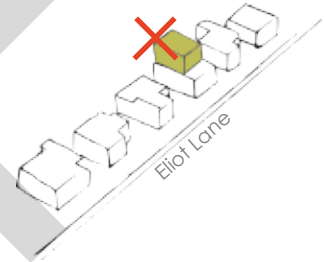
Additions

It is unlikely that any major addition is possible given the small lot sizes in the Eliot Lane Historic District. However, in case a property owner would like to explore such options, this section provides design guidelines for potential additions.

Upper Story Additions

- *Upper story/second floor additions are not permitted within the Eliot Lane Historic District.*

The contributing properties in the district are single-story homes, and the addition of another story would be highly visible from the street and disrupt the visual cohesion of the district. Prioritize increasing the size of your home by constructing compatible additions to the rear.



Second story additions, indicated with a red "X," are not permitted in the Eliot Lane Historic District.

Front Additions

- *Front additions are not permitted within the Eliot Lane Historic District.*

Constructing a new addition on the front elevation of a contributing building within the Eliot Lane Historic District could cause a drastic change to the historic character of the primary elevation of the building.

Furthermore, an addition to the front could alter the existing setback from the street and disrupt the visual continuity of the district. Therefore, front additions are not permitted.

Side Additions

- *Side additions are not permitted within the Eliot Lane Historic District.*



Additions should be smaller than the primary building, and arranged toward the rear. Front or side additions, indicated with a red "X," are not permitted.

While side additions are generally less visually obtrusive than front additions, the lot sizes in the Wilton Street Historic District are too small to accommodate a historically compatible addition to the side elevation.

The residences have a shallow setback from the street and no side fencing, leaving all or most of the side elevations fully visible from the public right-of-way.



Rear Additions

- *Rear additions are acceptable.*

Adding a single-story addition to the rear of a residence is acceptable for all properties within the Eliot Lane Historic District; however, because of the small lot sizes, an addition may not be possible.

- *The size and massing of the addition should be compatible with the historic character of the residence.*

Rear additions should not be taller than the existing roofline. As the majority of properties in the Eliot Lane Historic District have flat rooflines, taller additions would be highly visible from the street and would disrupt the district's visual continuity.

The addition should not envelop or be larger overall than the existing building, and should be no wider than the existing footprint. The total size of the addition should not exceed 10% of the existing square footage, up to a maximum of 250 square feet. Additions of this size or smaller may be reviewed by Planning Bureau staff. While larger additions may be possible, they will be subject to further review by the Cultural Heritage Commission.

- *The addition should be planned and constructed in a way that does not involve removing, obstructing, or damaging any existing historic features.*

Additions should always add to the existing footprint of the building; new construction should never involve removal of a portion of the original residence or site features.

Additions to the residence should not form a connection between the primary building and detached garage, in order to maintain the historic spatial relationship of the site.

All additions should be planned and constructed carefully so that they do not cause damage to the historic building—one way to think about it is: if you were to someday remove the new addition, would the original building remain intact?

- *All additions should be compatible with, yet distinguishable from, the original building style.*

Design your rear addition to be compatible with the historic building, but avoid duplicating the original building materials and detailing so that the addition is not mistaken for an original part of the residence in the future.

In the same vein, other historic styles should not be duplicated, either. These two approaches can create what is called a false sense of history, (i.e. it could be difficult, even for professionals, to visually determine which portion of the residence is original).

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Rear Additions, Continued

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A Spanish Colonial Revival addition may be differentiated from the original building through the use of a setback from the original wall plane, a lower roof height, and slightly different windows. For example, if the primary residence has multi-light wood casement windows, consider single-light wood casement windows for the addition.

If your house is clad in wood clapboards, consider a thinner or wider horizontal wood clapboard, slightly different windows, and/or setback from the original wall plane to differentiate the addition.

New Construction

Accessory Buildings



The homes on Eliot Lane have garages to the rear.

Each contributing property within the Eliot Lane Historic District is occupied by a single-family residence located near the front of the lot, and has a side driveway leading to a modestly sized, single-car detached garage to the rear of the lot. Some garages have been expanded or attached to the primary residence with subsequent additions.

- *New accessory buildings may be appropriate to the rear of the primary residence.*

Adding an accessory building to the rear of a property is acceptable for all properties within the Eliot Lane Historic District; however, because of the small lot sizes, a new accessory building may not be possible.

- *The size and scale of the accessory building should be appropriate to the existing residence and the size of the backyard.*

Accessory buildings should not be taller than the existing roofline. As the majority of properties in the Eliot Lane Historic District have flat rooflines, taller additions would be highly visible from the street and would disrupt the district's visual continuity. The accessory building should not envelop or be larger overall than the existing building.

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Accessory Buildings, Continued

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- *The accessory building should be planned and constructed in such a way that does not obscure or damage existing character-defining features or structures.*

Adding a new building or feature that would require removal of an existing, historic building or feature is never recommended. For example, removing a historic detached garage to replace it with a new garage would not be appropriate.

Consider constructing free-standing structures instead of attaching them directly to the primary residence in a manner that could damage or penetrate the exterior.

- *Accessory buildings should be compatible in design to the primary building.*

When designing an accessory building for a Spanish Colonial Revival style contributor in the Eliot Lane Historic District, consider including design elements such as flat roofs with clay tile accents, stucco cladding, and rectangular door and window openings.

When designing an accessory building for a Craftsman style influenced contributor, consider including design elements such as a gabled roof with open eaves and shingles, wood siding, and rectangular door and window openings.

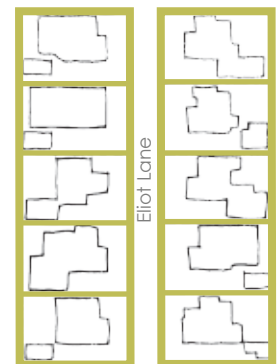
Infill Construction

- *Demolishing a contributing property in order to construct a new building is not permitted.*

In the event that a contributing building is intentionally altered, damaged, or demolished, the property owner could be subject to fines and penalties, and may be required to replace the damaged components in kind. These penalties may also apply to demolition by neglect, a process in which a property owner attempts to circumvent regulations for historic properties by knowingly and purposefully deferring all maintenance and repair—neglecting the building—until demolition becomes necessary because of safety concerns.

- *If an incident such as accidental fire results in damage to a contributing property, the homeowners should replace the damaged elements in kind.*

In the unlikely event that a contributing property is completely lost to an incident such as accidental fire, the property owners will not be expected to re-create the historic property unless desired.



There are no vacant lots in the Eliot Lane Historic District.

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Infill Construction, Continued

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However, the replacement property should follow these guidelines in order to remain harmonious with the surrounding district. This replacement property will not be considered a contributor to the district.

- *New construction should be generally compatible with the existing contributing buildings in size, scale, setback, height, massing, design, materials, and architectural style to protect the overall character of the historic district.*

While the guidelines for new construction within a district are not as prescriptive as those for historic buildings, new construction is expected to reasonably “blend in” with its surroundings, where feasible. New construction is not required to exactly match the contributing buildings. In fact, matching an existing design too closely is discouraged, in order to prevent the new building from being mistaken for an original historic building in the future; however, the new construction should generally take cues from the contributing building to fit into the district more harmoniously.

The contributing residences within the Eliot Lane Historic District are all modest, Spanish Colonial Revival houses with flat roofs, stucco cladding, clay tile accents, and minimal ornamentation or Craftsman-inspired bungalows with gabled roofs and wood siding. They are primarily one story in height with a shallow setback from the street. Property owners planning new construction should consider including features like a flat roof, clay tile accents, a dash or float stucco finish, arched openings, and rectangular windows in their design, or a design including a gabled roof, exposed rafter tails, wood siding, and rectangular door and window openings. Owners should anticipate conforming to the prevailing height and setback in the district.

