

North-East Corner of Conant Street and Worsham Avenue
Long Beach, CA

Site Plan Review 1st Submittal

APPLICANT: **Sares Regis Group**
18802 BARDEEN AVENUE, IRVINE, CA 92612-1521
CONTACT: PATRICK RUSSELL - 949.809.2414

OWNER: **Douglas Park Associates III, LLC**
18802 BARDEEN AVENUE, IRVINE, CA 92612-1521
CONTACT: PATRICK RUSSELL - 949.809.2414

ARCHITECT: **DRA ARCHITECTS**
1801 DOVE STREET, SUITE 190 NEWPORT BEACH, CA 92660
CONTACT: CARRIE HOSHINO - 949.833.3800X 302

CIVIL ENGINEER: **WALDEN & ASSOCIATES**
2552 WHITE ROAD, SUITE B IRVINE, CA 92614
CONTACT: DAVE BACON - 949.660.0110

LANDSCAPE ARCHITECT: **CDPC - Conceptual Design & Planning**
3195-C AIRPORT LOOP DRIVE, STUDIO ONE COSTA MESA, CA 92626
CONTACT: MASUMI OZAWA, 949.399.0804

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VICINITY MAP:

SITE AREA	7.13 AC	310,670 SF
TOTAL BUILDING AREA (PER PLANNING CALCS)		138,299 SF
LOT COVERAGE (PER PLANNING CALCS)		35.85%
FLOOR AREA RATIO (FAR) (PER PLANNING CALCS)		44.52%
TOTAL PARKING REQUIRED		TBD STALLS
TOTAL PARKING PROVIDED		415 STALLS
PARKING RATIO / 1000		3.00
TYPE OF BUILDING CONSTRUCTION		TYPE III-NON-RATED
AUTOMATIC FIRE SPRINKLERS		YES
ZONING DISTRICT		DOUGLAS PARK PD-32 SOUTH
BUILDING OCCUPANCY		B, S-1

[illegible]

8.8.14
21.15.1070- Floor Area, gross (GFA)
A
D.

Gross floor area (GFA) means the total area of all floors of a building, as measured to the outside surfaces of exterior walls. Gross floor area includes halls, stairways, elevator shafts, garages and mezzanines, except as otherwise defined in a specific

For the purpose of calculating GFA in all nonresidential buildings, utility and elevator cores, and stairwells and restrooms shall be exempted.

EXHIBIT B

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North-East Corner of Coastal Street and Worsam Avenue Long Beach, California		
CLIENT NAME DOUGLAS PARK ASSOCIATES III, LLC c/o SARES-REGIS Group		
18802 Bardem Avenue, Irvine, CA 92612-1521 949 809-2414		
SHEET NAME TITLE SHEET		

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DB NO:	14061-019
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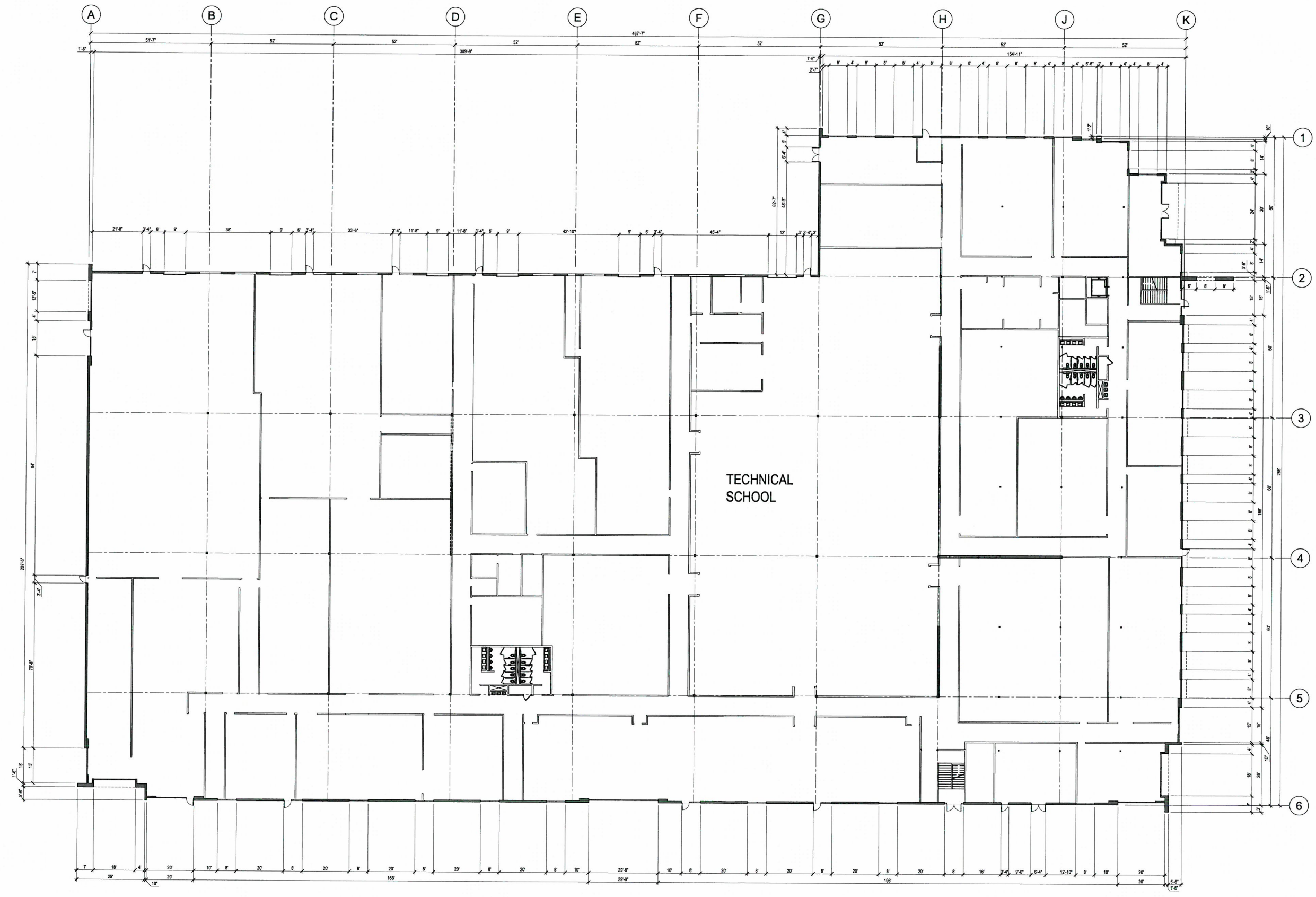


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SHEET NAME
FIRST FLOOR PLAN

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1ST FLOOR
PLAN

SCALE: 1/16"=1'-0"

0 8 16 32 64





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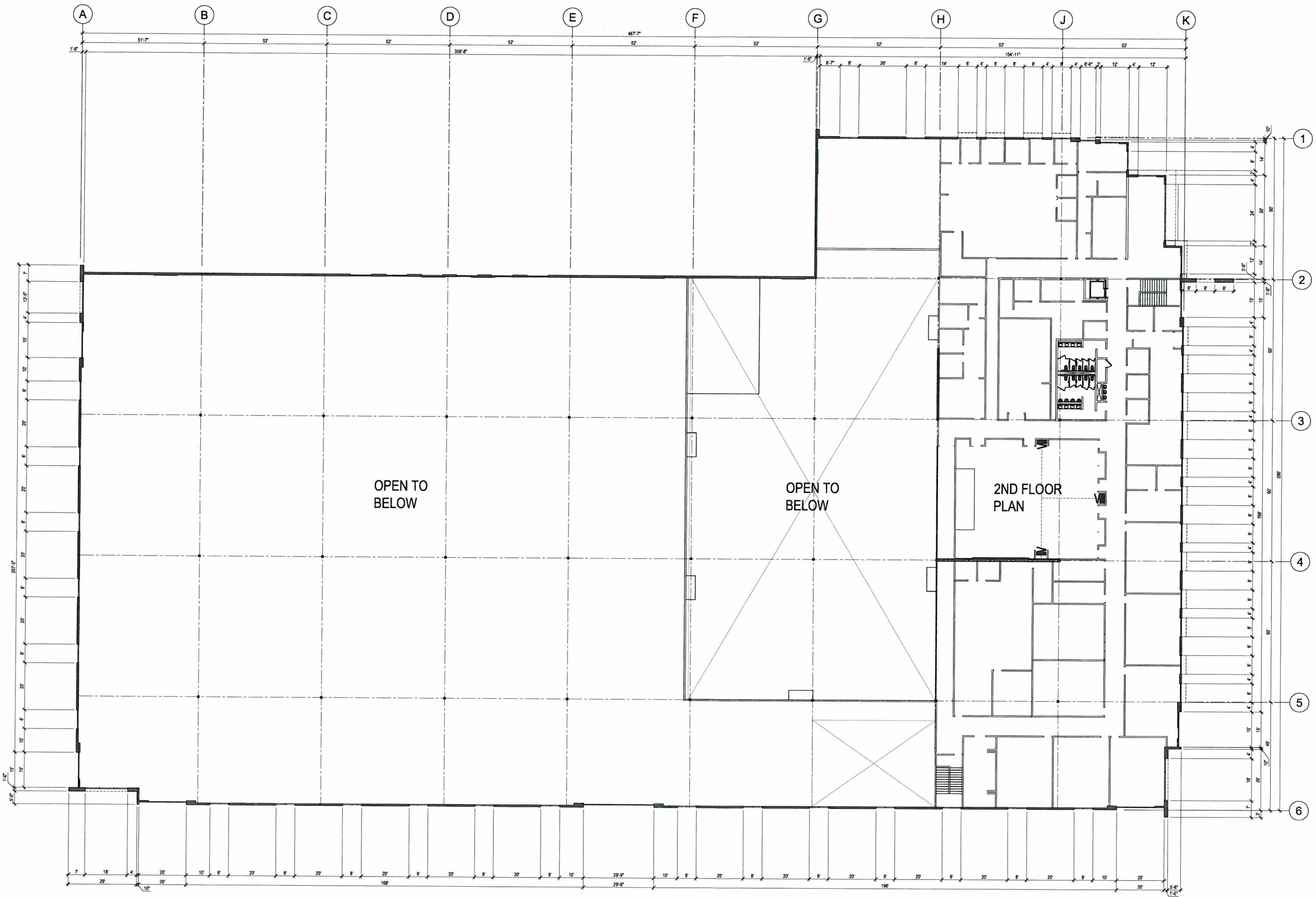
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SHEET NAME
SECOND FLOOR PLAN

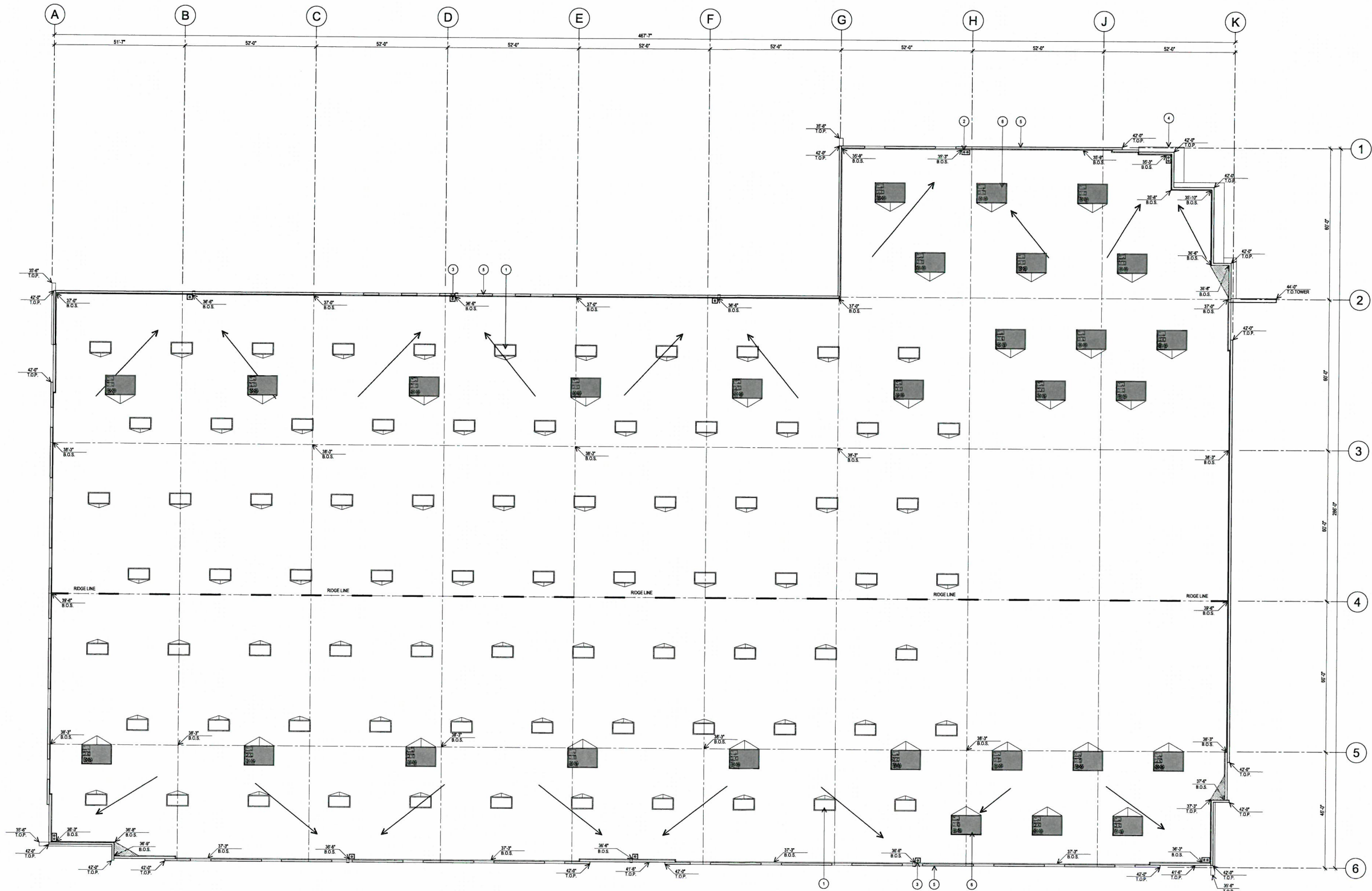
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2ND FLOOR PLAN
SCALE: 1/16"=1'-0"
0 8 16 32 64



KEYNOTES

- 1 CURB MOUNTED SKYLIGHTS (3% COVERAGE)
- 2 INTERNAL ROOF DRAIN AND INTERNAL OVERFLOW DRAIN
- 3 INTERNAL ROOF DRAIN WITH OVERFLOW SCUPPER
- 4 WALL BELOW
- 5 PAINTED CONCRETE PARAPET
- 6 CURB MOUNTED MECHANICAL UNIT, TOP OF UNIT TO BE BELOW TO OF PARAPET

ROOF PLAN

SCALE: 1/16"=1'-0"



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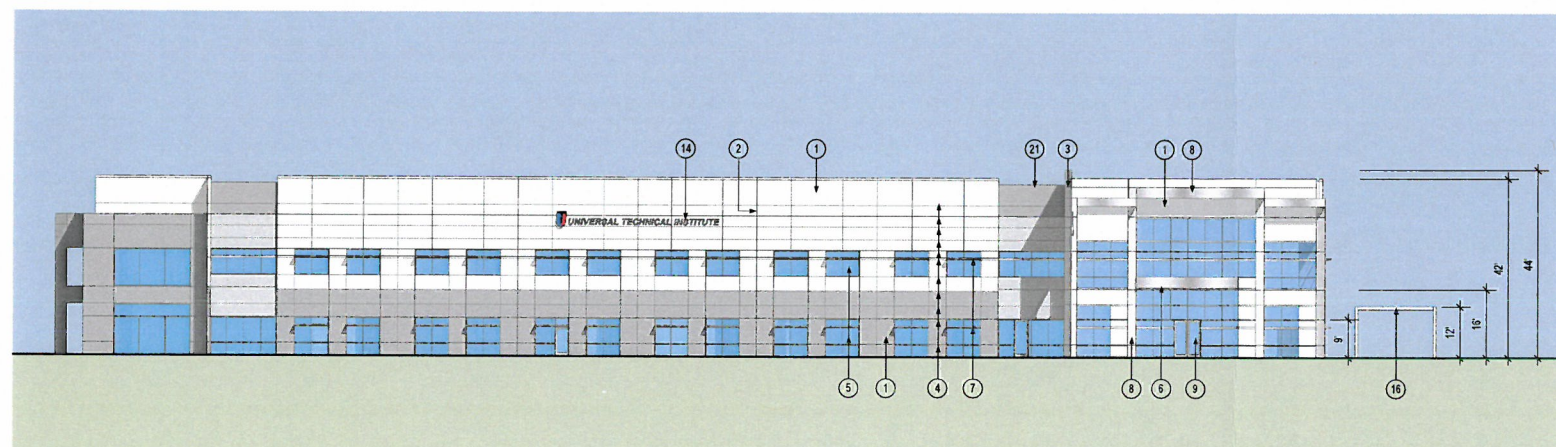
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ROOF PLAN

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KEYNOTES:

- 1 CONCRETE TILT-UP WALL
- 2 PAINTED CONCRETE PANEL JOINT
- 3 PAINTED CONCRETE FIN ARCH-WAY
- 4 3/4" DEEP V GROOVE (ALL REVEALS)
- 5 MEDIUM PERFORMANCE BLUE REFLECTIVE BUTT GLAZING SET IN CLEAR ANODIZED STREPTON SYSTEM
- 6 METAL CANTILEY ENTRY OVERHANGS SILVER METAL PANELS
- 7 METAL GUNSHADE, CLEAR ANODIZED ALUMINUM FINISH
- 8 METAL PANEL "PLANT-ON" FRAMING BRIGHT SILVER METALLIC
- 9 PAIR OF STREPTON ENTRY DOORS
- 10 8'X7' HOLLOW METAL DOOR PAINTED TO MATCH BUILDING
- 11 9'X10' METAL ROLL-UP DOOR PAINTED TO MATCH BUILDING
- 12 12'X14' METAL ROLL-UP DOOR PAINTED TO MATCH BUILDING
- 13 BUILDING ADDRESS LOCATION
- 14 BUILDING SIGNAGE - SEE SEPARATE SIGN PACKAGE
- 15 CONCRETE KNOCK-OUT PANEL FOR FUTURE POTENTIAL METAL ROLL-UP DOOR
- 16 OUTDOOR PATIO COVER
- 17 OUTDOOR COVERED SMOKING HUT
- 18 EXTERIOR COVERED STORAGE, PAINTED
- 19 WROUGHT IRON GATES
- 20 8" DEEP CONCRETE FIN
- 21 18" LOWER PORTION OF WALL



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CLIENT NAME

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CURRENCY VALUE

SHEET NAME

SOUTH - CONCEPT EXTERIOR RENDERINGS & EXTERIOR ELEVATIONS

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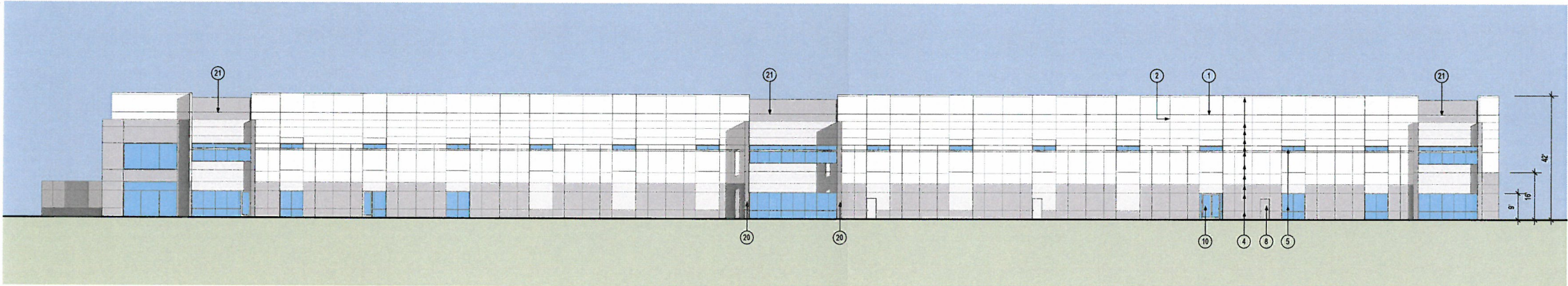
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CONCEPT RENDERING - VIEW LOOKING NORTH-EAST FROM WORSHAM



WEST ELEVATION - WORSHAM AVENUE

PAINT LEGEND

PAINT COLORS TO BE SIMILAR REPRESENTATION ON COLOR ELEVATIONS. FOR EXACT PAINT COLORS SEE EXTERIOR COLOR MATERIAL BOARD

- FIELD PAINT - OFF WHITE - A
- ACCENT PAINT - B
- ACCENT PAINT - C
- ACCENT PAINT - D
- ACCENT PAINT - E
- METAL PANEL BY REYNOLBOND - BRIGHT SILVER METALLIC

KEYNOTES:

SCALE: 1/8" = 1'-0"

- 1 CONCRETE TILT-UP WALL
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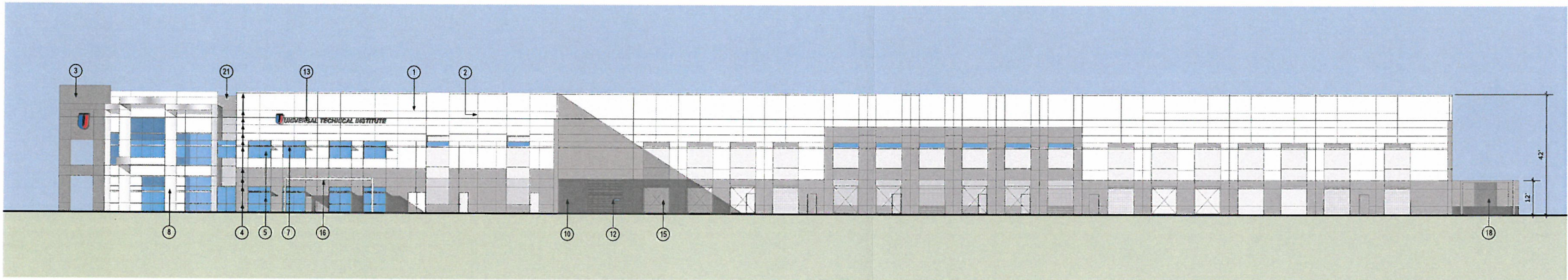
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CONCEPT RENDERING - VIEW LOOKING NORTH-WEST FROM BAYER



EAST ELEVATION - BAYER AVENUE

PAINT LEGEND

PAINT COLORS TO BE SIMILAR
REPRESENTATION ON COLOR ELEVATIONS.
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COLOR MATERIAL BOARD

- FIELD PAINT - OFF WHITE - A
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- ACCENT PAINT - D
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- METAL PANEL BY REYNOLDBOND -
BRIGHT SILVER METALLIC

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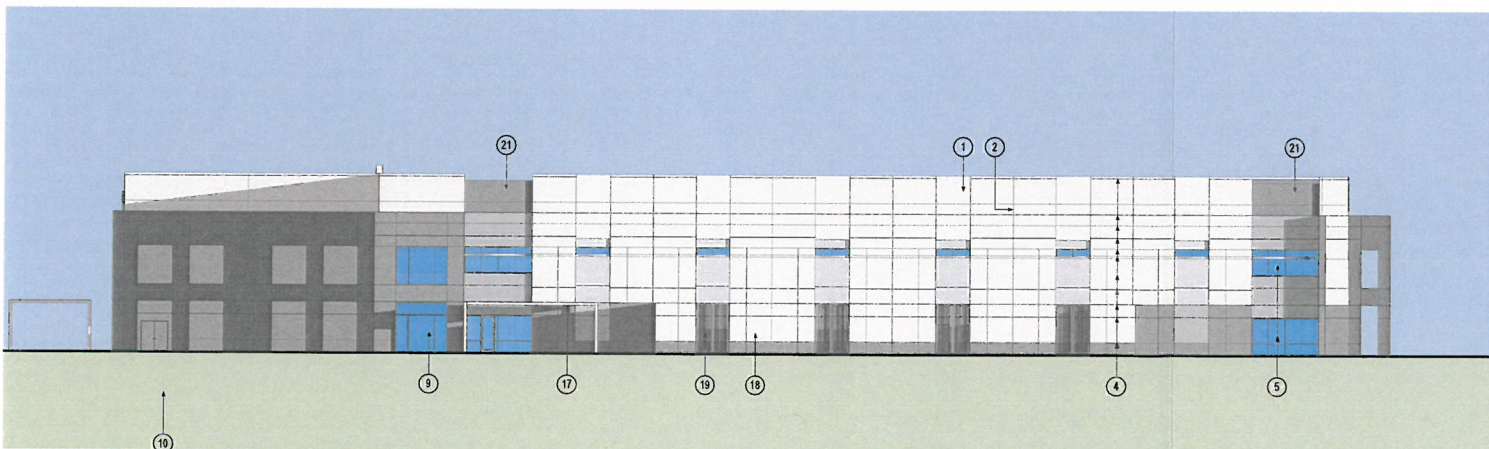
EAST - CONCEPT EXTERIOR RENDERINGS & EXTERIOR ELEVATIONS

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CONCEPT RENDERING - VIEW LOOKING SOUTH



NORTH ELEVATION

KEYNOTES:

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|--|---|
| | FIELD PAINT - OFF WHITE - A |
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