

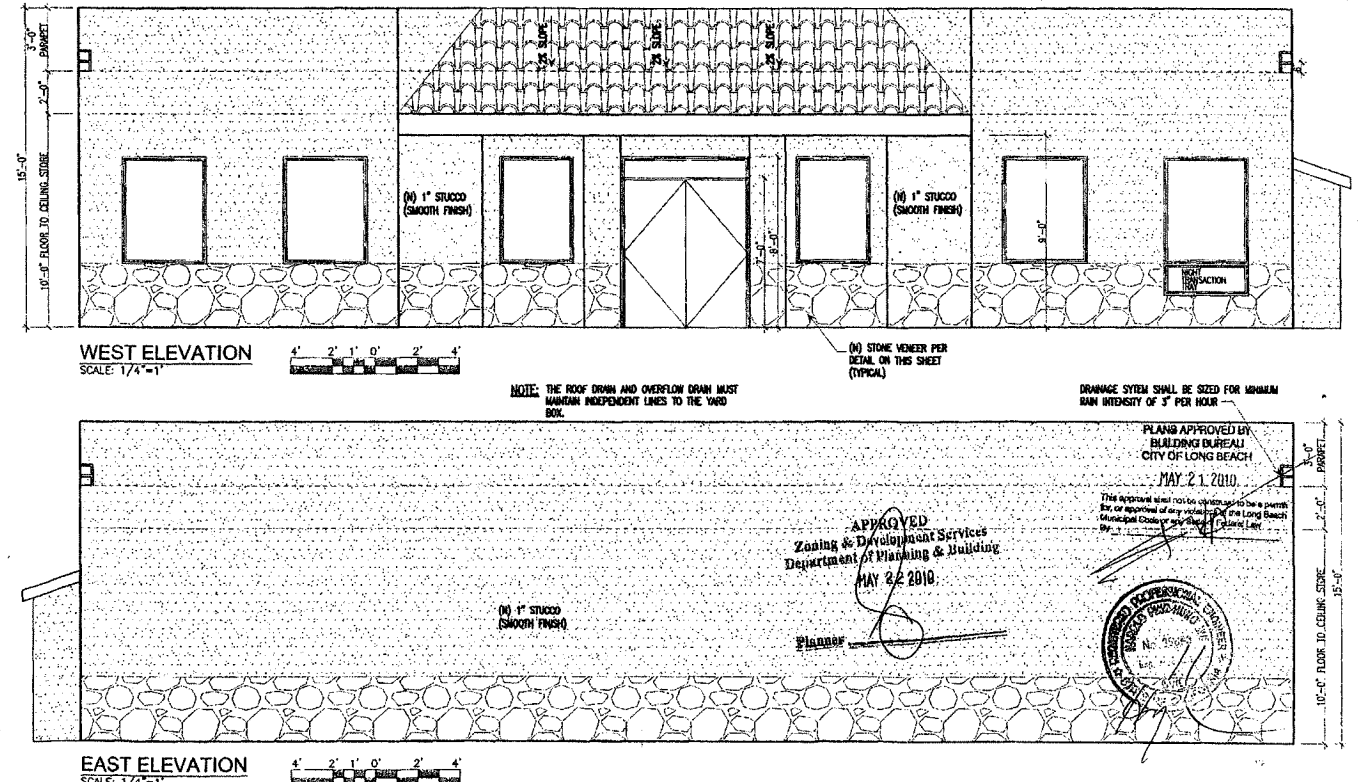
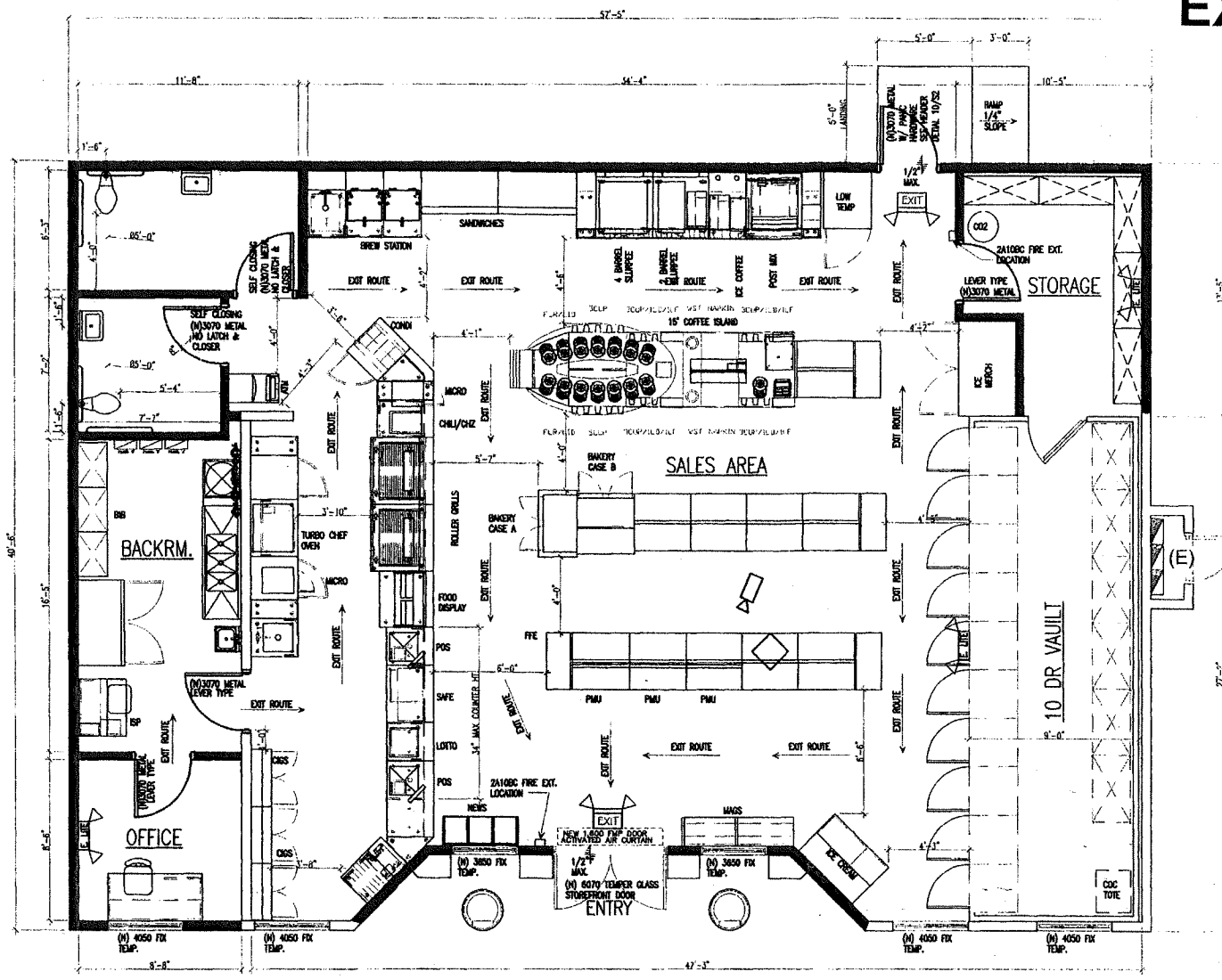
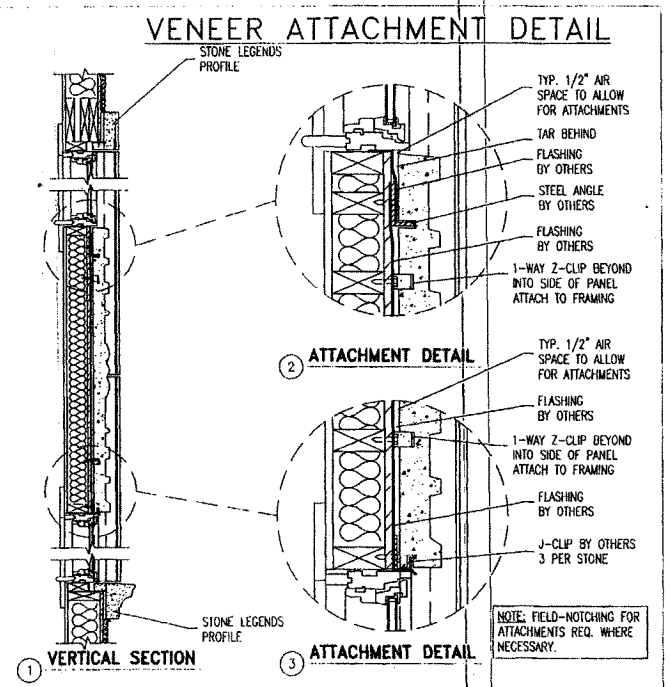
DATE: REVISIONS:	6/27/2006 10:07:44 AM
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**'BUSINESS OWNER'S NAME
SEANDAD INC.**

SITE ADDRESS:
5400 ATLANTIC AVE
LONG BEACH CA
90805

DRAWING
NAME:

PRJ.No.: 2210
DRAWING No.
A2

[illegible]

PROJECT DATA		AREA ANALYSIS	
ZONING: CCA		LOT COVERAGE (AREAS & %)	
OCCUPANCY: M		SQ. FT.	
ASSESSOR NO. 7127-020-012		%	
DRAWING INDEX		(E) AREA TO REMAIN	
A-1 PLOT PLAN / VICINITY PLAN		1228.50	
A-2 FLOOR / DEMO PLAN AND ELEVATIONS		0.00	
A-3 SUSPENDED CEILING SPECS. AND DETAILS		0.00	
HIC 1 ACCESSIBILITY		(N) ADDITION	
HIC 2 ACCESSIBILITY		998.41	
T24 TITLE 24		TOTAL CONSTRUCTION	
		7224.91	
		PARCEL FOOTAGE (LOT AREA)	
		19000.00	
		PERIMETER WALLS	
		LF	
		(E) NORTH WALL TO REMAIN	
		27'-4"	
		(E) LEFT WEST WALL TO REMAIN	
		6'-0"	
		(E) RIGHT WEST WALL TO REMAIN	
		15'-2"	
		(E) EAST WALL TO REMAIN	
		2'-9"	
		(E) SOUTH WALL TO REMAIN	
		27'-4"	
		(E) WALLS TO BE REMAIN	
		51/258'	
		(E) TOTAL PERIMETER 100%	
		126000	
		52.0000	

BUILDING CODE INFO.

ALL WORK SHALL COMPLY WITH THE FOLLOWING CODES INCLUDING:
LOCAL AMENDMENTS: 2007 CALIFORNIA BUILDING CODE
2007 CALIFORNIA MECHANICAL CODE
2007 CALIFORNIA PLUMBING CODE
2007 CALIFORNIA ELECTRICAL CODE
2005 TITLE 24 ENERGY REGULATIONS

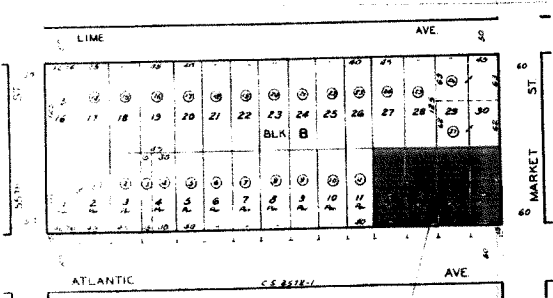
BUILDING OCCUPANCY: GROUP M-MERCANTILE
CONSTRUCTION TYPE: V-B, SINGLE STORY, NON SPRINKLED

SCOPE OF WORK:

INTERIOR REMODEL OF EXISTING CONVENIENCE STORE FOR A NEW 7-11 CONVENIENCE STORE. WORK SHALL CONSIST OF ALL NEW EQUIPMENT PER PLANS, NEW WALL FRAMING, NEW CERAMIC TILE FLOORING, NEW LIGHTING LAYOUT PER PLAN, NEW T-BAR CEILING, NEW PLUMBING AND ELECTRICAL PER PLANS, NEW PLUMBING AND ELECTRICAL PER PLANS.

OCCUPANT LOAD

USE	AREA (S.F.)	OLF	OCCUPANCY
SALES	1487.00	30	49.50
OFFICE/BACK RM.	237.00	100	2.37
STORAGE	383.00	300	1.27
RESTROOMS	117.00	100	1.17
TOTAL	2224.00		54.31
			OCCUP. LOAD



VICINITY PLAN
SCALE: N.T.S.
LEGAL DESCRIPTION:
TRACT # 5470 EX OF ST LOTS
12, 13, 14 AND LOT 15 BLK B

PROJECT SITE
5400 ATLANTIC AVE
LONG BEACH, CA
90805
PARCEL NUMBER: 7127-020-012
ZONING: CCA
TYPE V-B CONSTRUCTION

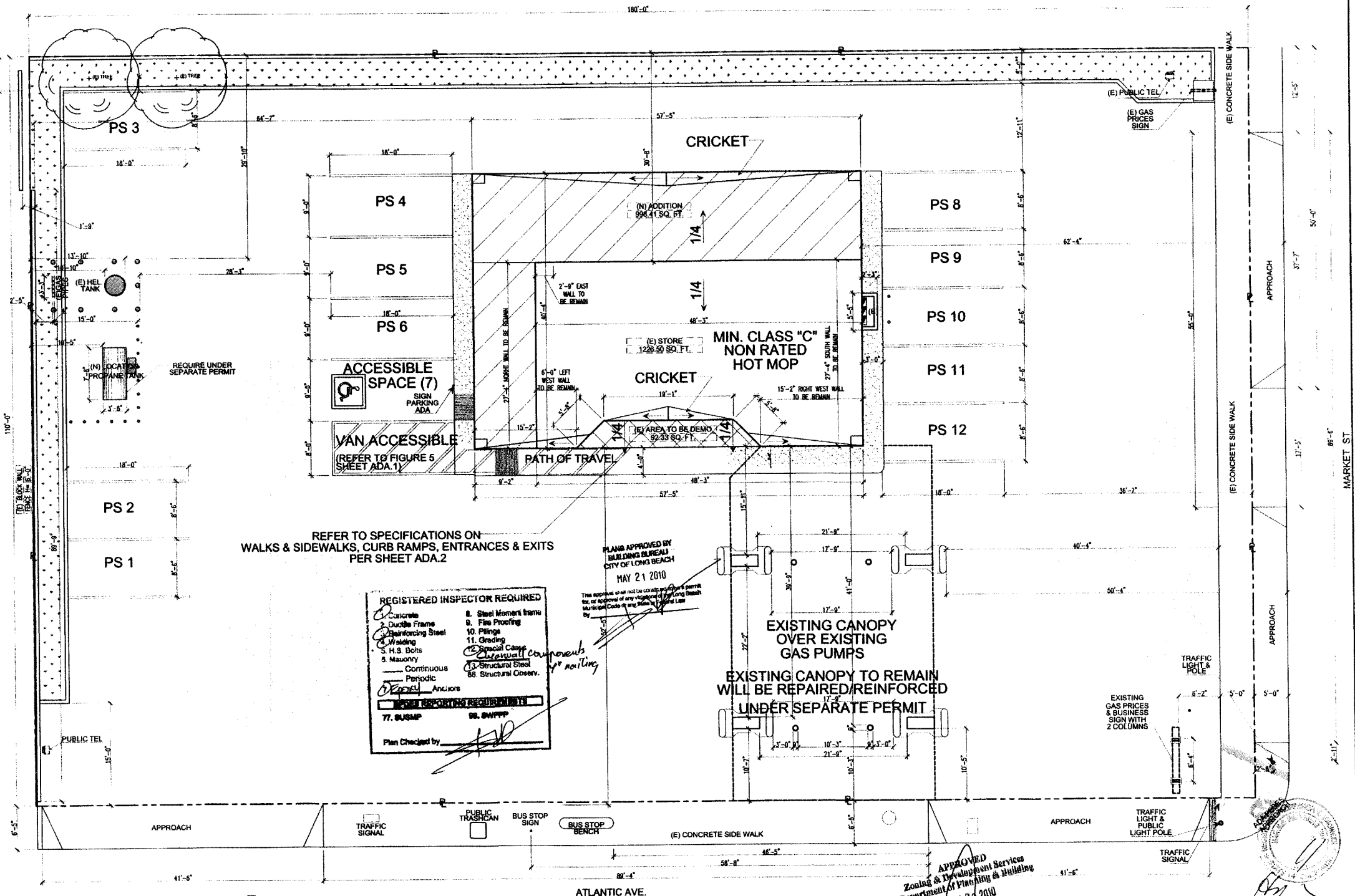
"AS THE ARCHITECT/ENGINEER OF RECORD, I HAVE SELECTED APPROPRIATE BMP'S TO EFFECTIVELY MINIMIZE THE NEGATIVE IMPACTS OF THIS PROJECT'S CONSTRUCTION ACTIVITIES ON STORM WATER QUALITY. THE PROJECT OWNER AND CONTRACTOR ARE AWARE THAT THE SELECTED BMP'S MUST BE INSTALLED, MONITORED, AND MAINTAINED TO ENSURE THEIR EFFECTIVENESS. THE BMP'S NOT SELECTED FOR IMPLEMENTATION ARE REDUNDANT OR DEEMED NOT APPLICABLE TO THE PROPOSED CONSTRUCTION ACTIVITIES."

NAME: [Signature] POSITION: [Signature] DATE: [Signature]

"I CERTIFY THAT THE PRIMARY PATH OF TRAVEL TO THE SPECIFIC AREA OF ALTERATION, STRUCTURAL REPAIR OR ADDITION FROM THE PUBLIC WAY OR ACCESSIBLE PARKING SPACE AS INDICATED ON THE PLANS DOES NOT INCLUDE STEPS OR A SLOPE EXCEEDING 1:20 EXCEPT WHERE ACCESS IS PROVIDED BY A RAMP WITH 1:12 MAXIMUM SLOPE, ACCESSIBLE ELEVATOR OR OTHERWISE GRANTED BY AN UNREASONABLE HARDSHIP EXEMPTION. I UNDERSTAND THAT THE PRIMARY PATH OF TRAVEL IS FOUND NOT TO BE AS INDICATED, SIGNIFICANT DELAYS MAY RESULT."

FURTHERMORE, I CERTIFY THAT THESE PLANS WERE PREPARED UNDER MY DIRECT SUPERVISION AND THAT THE AREA OF SPECIFIC ALTERATION, STRUCTURAL REPAIR OR ADDITION, INCLUDING A PRIMARY ENTRANCE TO THE EXISTING BUILDING AND, WHEN APPLICABLE, SANITATION FACILITIES, DRINKING FOUNTAINS, SIGNS AND PUBLIC TELEPHONES SERVING THE AREA COMPLIES WITH CURRENT CA TITLE 24 ACCESSIBILITY REQUIREMENTS"

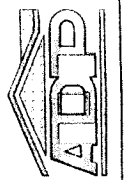
SIGNATURE: [Signature] TITLE: [Signature]
PRINT NAME: [Signature] DATE: [Signature]



LEGEND:
NEW ADDITION AREA
GRASS
CONCRETE
(E) BLOCK FENCE
PROPERTY LINE

PLOT PLAN
SCALE: 1/8" = 1'-0"

APPROVED
Zoning & Development Services
Department of Planning & Building
MAY 22 2010



DATE: REVISIONS:	6/27/2008 10:07:44 AM
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DRAWN BY:
AMBIENTE DESIGNS & PLANS
4923 FIRESTONE BLVD SOUTH GATE, CA 90260
PH: (323) 321-9074 FAX: (323) 771-3739
E-MAIL: ambiente@att.net

BUSINESS OWNER'S NAME
SEANDAD INC.

SCOPE OF WORK
REMODEL EXISTING FOOD MART AREA
PLOT PLAN / VICINITY PLAN

SITE ADDRESS
5400 ATLANTIC AVE
LONG BEACH, CA
90805
DRAWING NAME

PRJ.No.: 2210
DRAWING No.

A1

BADD52329