

Grill Em All

5411 E. OCEAN BLVD.

LONG BEACH, CA 90803

TENANT IMPROVEMENT

PROJECT DATA

PROJECT DESCRIPTION:

TENANT IMPROVEMENT - FULL INTERIOR REMODEL CREATING SERVICE COUNTER/KITCHEN, COVERED DINING, UPPER DECK AND LOWER PATIO DINING, AND STORAGE AREAS, EXTERIOR FACADE REMODEL

SITE ADDRESS:

5411 E. OCEAN BLVD.
LONG BEACH, CA 90803

APN#: 7245-010-900

LOT SIZE: 1.37

REFER TO BRMD268853 FOR ACCESSIBLE
LIFT AND STAIRS

EMPLOYEE RESTROOMS/HEALTH CODES

1) PER TODD LELAND'S 11/16/22 EMAIL:
EMPLOYEE RESTROOMS ARE BEING
ADDRESSED BY LONG BEACH MARINE
BUREAU TO LONG BEACH HEALTH
DEPARTMENT REQUIREMENTS.

UNIT SUMMARY:

1. OCCUPANCY GROUP

(E) GROUP B

2. UNIT GROSS AREAS:

INTERIOR KITCHEN/SERVICE: 645 SF.
*INTERIOR DINING: 389 SF.
*PUBLIC BEACH LEVEL PATIO: 396 SF.
*PUBLIC BEACH ROOF TOP DECK: 421 SF.

*TOTAL PUBLIC BEACH ACCESS AREA: 1206 SF
TOTAL UNIT AREA: 1851 SF.

OCCUPANT LOAD

INDOOR OCCUPANTS: 30
OUTSIDE OCCUPANTS: 52
TOTAL: 82

3. SPRINKLERED:

NO
1 WITH OCCUPIED ROOF
24'-48"
CONSTRUCTION TYPE: TYPE-V-B

CODE NOTES

JURISDICTION
CITY OF LONG BEACH

REFERENCE CODES

BUILDING CODE: 2019 CALIFORNIA BUILDING CODE/ IBC WITH STATE ADMEND
PLUMBING CODE: 2019 CALIFORNIA BUILDING CODE/ UPC IAPMO WITH STATE ADMEND
MECHANICAL CODE: 2019 CALIFORNIA BUILDING CODE/ UMC IAPMO WITH STATE ADMEND
ELECTRICAL CODE: 2019 CALIFORNIA BUILDING CODE/ NEC IAPMO WITH STATE ADMEND
FIRE CODE: 2019 CALIFORNIA FIRE CODE/ IFC
LIFE SAFETY CODE: 2019 CALIFORNIA FIRE CODE/ IFC
ACCESSIBILITY CODE: 2019 CALIFORNIA BUILDING CODE (TITLE 24, PART 2)
ENERGY CODE: 2019 CALIFORNIA ENERGY CODE
LOCAL CODE: TITLE 18 OF THE LONG BEACH MUNICIPAL CODE
CALGREEN: 2019 CALIFORNIA GREEN BUILDING CODE
REGULATIONS: TITLE 19 CALIFORNIA CODE OF REGULATIONS

SHEET INDEX

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A0.2 HANDICAP COMPLIANCE
A0.3 GENERAL NOTES
A0.4 GENERAL NOTES
A0.5 SITE PLAN
A0.6 AS-BUILT/DEMO PLAN
A1.0 FLOOR PLAN - GROUND FLOOR
A1.1 FLOOR PLAN - UPPER DECK/ ROOF PLAN
A1.2 EXIT ANALYSIS/OCCUPANCY GROUND FLOOR
A1.3 EXIT ANALYSIS/ OCCUPANCY -UPPER DECK
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A3.0 REFLECTED CEILING PLAN
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A5.0 ELEVATIONS
A5.1 ELEVATIONS
A6.0 STAIRS
A7.0 SCHEDULES/DETAILS
A7.01 SCHEDULES
A7.02 SCHEDULES-MENU, LRFD DOOR
A7.03 SCHEDULES - FINAL NOTICE AND CONDITIONS OF APPROVAL

PROJECT DIRECTORY

OWNER:

CITY OF LONG BEACH
CONTACT: TODD LELAND
5411 E. OCEAN BLVD.
LONG BEACH, CA 90803
TODD.LELAND@CITYOFLONGBEACH.COM

TENANT:

GRILL EM ALL
CONTACT: MATTHEW CHERNUS
19 E. MAIN ST.
ALHAMBRA, CA 91801
PH: 626.284.2874

GENERAL CONTRACTOR:

WESTGROVE CONSTRUCTION
CONTACT: JERRY POLYCHRONES
GARDEN GROVE, CA. 92845
PH: (562) 881-0304

DESIGN

CITRON DESIGN GROUP
CONTACT: KARA RICE
390 JUNIPERO AVE. STE. 200
LONG BEACH, CA. 90814
PH: (562) 450-0495

INTERIOR FINISH REQUIREMENTS BASED ON OCCUPANCY

INTERIOR WALL AND CEILING FINISH REQUIREMENTS BY OCCUPANCY			
NONSPRINKLERED			
GROUP	INTERIOR EXIT STAIRWAYS AND INTERIOR EXIT RAMPS AND EXIT PASSAGEWAYS	CORRIDORS AND ENCLOSURE FOR EXIT ACCESS STAIRWAYS AND EXIT ACCESS RAMP	ROOMS AND ENCLOSED SPACES
B	N/A	EXIT PATHWAY THROUGH KITCHEN AND STORAGE	SEATING AREA, KITCHEN PREP, RESTROOM
		B	C

* LOBBY AREAS IN THIS OCCUPANCY GROUP SHALL NOT BE LESS THAN CLASS B MATERIALS

*CLASS C INTERIOR FINISH MATERIALS SHALL BE ALLOWED IN GROUP A OCCUPANCIES WITH
AN OCCUPANT LOAD OF 300 PERSON OR LESS

CLASS A: FLAME SPREAD INDEX 0-25; SMOKED-DEVELOPED INDEX 0-450

CLASS B: FLAME SPREAD INDEX 26-75; SMOKED-DEVELOPED INDEX 0-450

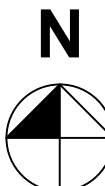
CLASS C: FLAME SPREAD INDEX 76-200; SMOKED-DEVELOPED INDEX 0-450

SEPARATE/DEFERRED PERMITS REQUIRED

- PLUMBING, ELECTRICAL, MECHANICAL
- SIGNAGE
- BRMD268853 NEW STAIRS, PLATFORM LIFT, AND SEISMIC UPGRADES
- FIRE - FIRE SUPPRESSION SYSTEM (KITCHEN HOOD AND CO2 SYSTEM SODA MACHINE)

VICINITY PLAN

PROJECT
SITE



1444 E 4th Street
Long Beach
California, 90802

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Revision Schedule		
02/15/22	DESIGN DEVELOPMENT	
08/24/22	PC SUBMITTAL 1	
01/11/23	PC SUBMITTAL 2	



Drawn by: **CITRON DESIGN GROUP**

Scale:

AS NOTED

Sheet Description

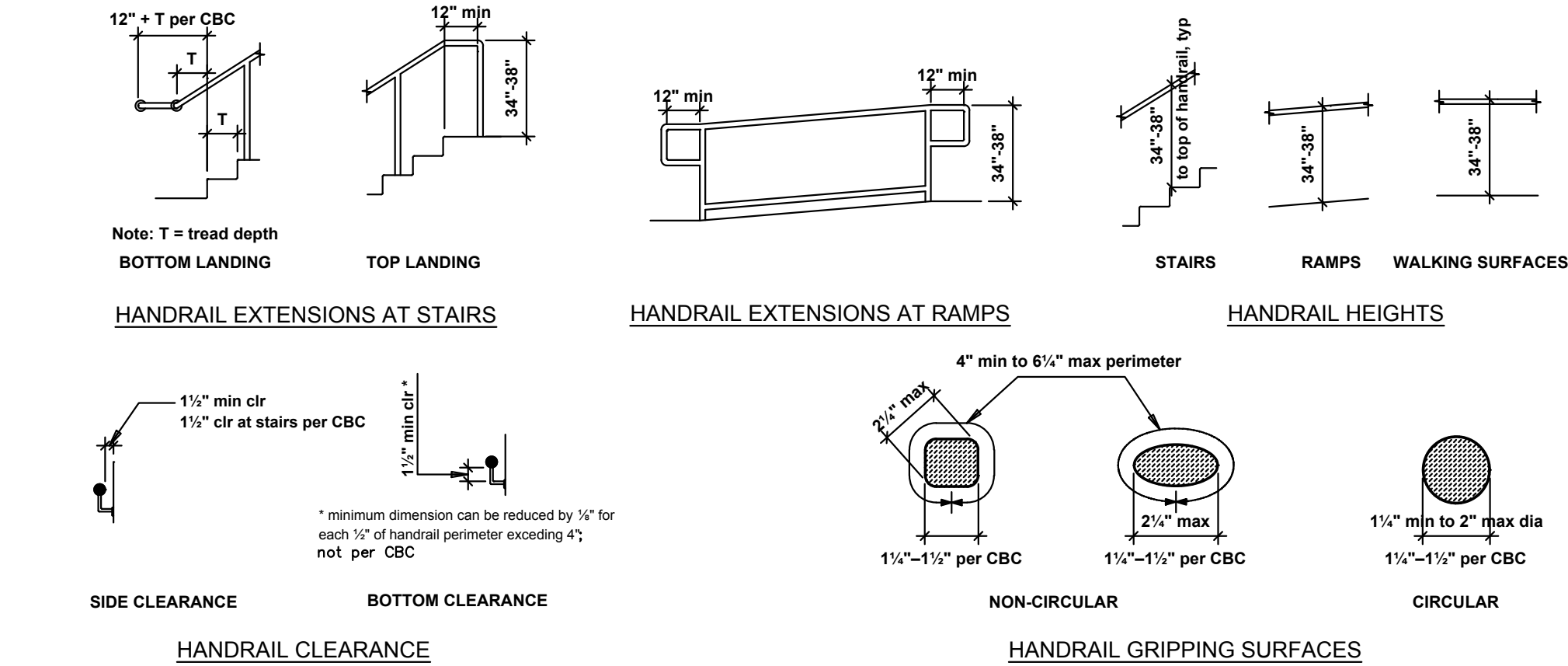
COVER SHEET

Project No.

Date:

07/23/2021

A0.00



HANDRAILS

- Handrails are required on both sides of stairs and pedestrian ramps with a rise > 6" except at aisle ramps immediately adjacent to fixed seating in assembly areas where just one side is required
- Handrails to be continuous within each stair flight or ramp run with the inside rails being continuous and not extending into the landing on switchback or dogleg stairs and pedestrian ramps
- When children are primary users a second set of handrails can be provided at a max height of 28" to top of rail with a space of 9" min between both railings, 27" to top for elementary school and 22" to top for kindergarten/ preschool per CBC
- Handrails can be located within a 3" maximum recess if the recess is extended 18" above the top of the rail and 1½" below per CBC

is required to be perpendicular to tread per CBC

GRIPPING SURFACES

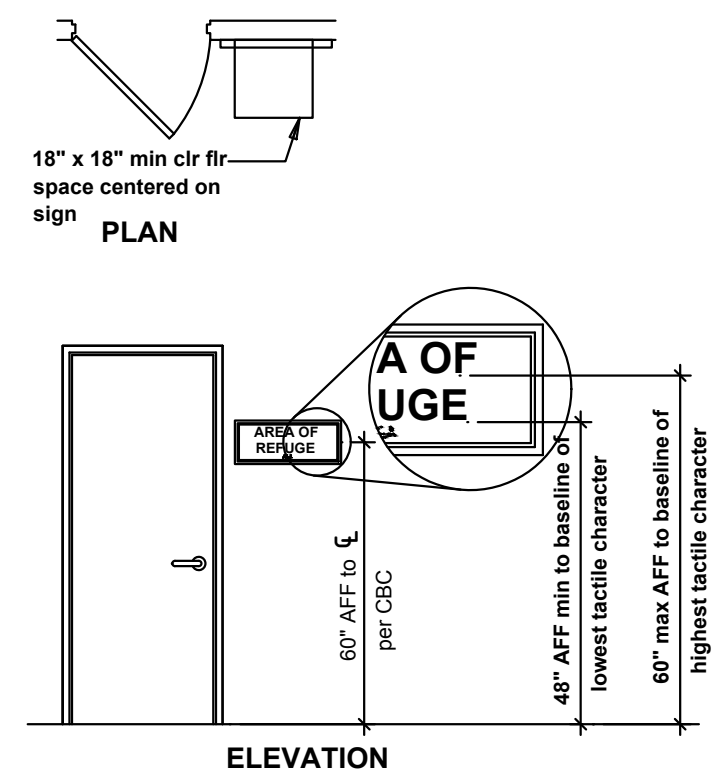
- Gripping surfaces shall not be obstructed on tops and sides and a maximum of 20% along the bottom, horizontal projections shall happen a minimum of 1½" clr below the gripping surface
- Gripping surfaces and adjacent surfaces shall be free of sharp or abrasive elements and have rounded edges, ¼" min radius per CBC
- Shall not rotate in their fittings

EXTENSIONS

- Handrails at pedestrian ramps shall extend horizontally above the top and bottom landings for 12" min and shall return to a wall, guard, or the landing surface
- Handrails at stairs shall extend horizontally above the top landing 12" min from the riser nosing; shall extend at the same slope as the stairs the horizontal distance of one tread width from the bottom riser nosing; one tread width plus 12" horizontal per CBC from the bottom nosing
- Extensions shall be measured to the spring point of the radius
- Extensions for top and bottom shall return to a wall, floor, or post; if returning to a post, bottom of the return rail to be 27" max AFF

6 HANDRAILS

SCALE: N.T.S.



LOCATION FOR PERMANENT & TACTILE SIGNS

PERMANENT ROOMS & SPACES

Permanent rooms shall have raised characters and braille signage

EXIT DOOR SIGNS

Doors at exit passageways, discharge, and stairways shall have raised characters and braille signage stating "Exit", "Exit stair down", "Exit ramp down", "Exit route" (if door exits directly to exterior w/ no stairs/ramp), "To Exit" (if door exits thru horizontal exit) etc as appropriate per CBC

ENTRANCES

Where not all entrances are accessible, provide ISA at accessible entrances & directional signs locating accessible entrances

INFORMATIONAL SIGNS

Informational signs (ie occupant load, rules of conduct, etc) shall have visual characters

- Building directories & building addresses do not need to comply

DIRECTIONAL SIGNS

Directional signs (ie directions to rooms or spaces including identification of egress routes shall have visual characters

AREAS OF REFUGE

Instructions in areas of refuge shall have visual characters

- Space shall be identified as a permanent room sign stating "Area of Refuge" along with an ISA at door

RESTROOM SIGNS

Restroom signs to have raised characters, braille, pictogram, and 6" min

ISA

Additional restroom ID signs to be located on doors per CBC

LOCATION OF PERMANENT ROOM AND/OR TACTILE SIGNS

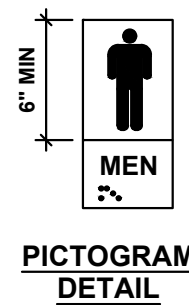
Provide sign at latch side of door

- Double doors - locate on right side of right door
- Double doors with one inactive leaf - locate sign on inactive leaf
- If there is not enough space on latch side of single door or right side of double doors, locate sign on nearest adjacent wall preferably on right per CBC
- Signs with tactile characters shall be permitted on the push side of doors that have closers without hold open devices
- Minimum of 18" x 18" clear floor space centered on the sign to be provided beyond the arc of the door swing in the closed position and 45 degree open position
- Mounting location should allow a person to approach within 3" without encountering protruding objects per CBC

ACCESSIBLE CHECK STANDS

Provide ISA

- Provide a sign stating "This check stand to be open at all times for customers with disabilities" per CBC



RAISED CHARACTER

TACTILE - RAISED CHARACTERS

Shall be raised 1/32"

- Upper case
- Sans Serif - not italics, script, or highly decorative
- Width of uppercase letter "O" is 55% to 110% of the uppercase letter "I"; width:ht ratio of 3:5 to 1:1 per CBC
- Height shall be 5/8" to 2" based on the uppercase letter "I"; if visual characters with the same information are provided, raised characters can be ½" min
- Stroke thickness shall be 15% of uppercase letter "I"; width:ht ratio of 1:5 to 1:10 per CBC
- Characters to be separated from raised borders 3/8" min
- Character spacing to be 1/8" to 4 times the stroke width
- Line spacing to be 35% to 70% of character height
- Characters and their background shall have a non-glare finish and shall contrast (ie. light on dark or dark on light)
- Horizontal format per CBC

TACTILE - BRAILLE

Braille to be Contracted Grade 2 Braille; CA Contracted Grade 2 Braille per CBC

- Braille dots shall have rounded or domed shape and comply with ADA Table 703.3.1
- CA Braille dots to be 1/10" on centers in each cell with 2/10" space between cells and raised 1/40" per CB
- Be positioned below the text; Braille shall be separated ¾" min from any raised borders or letters & ½" max per CBC
- Where raised characters are multi-lined, braille should be placed together below the text per CBC

VISUAL CHARACTERS

Required signs to have visual characters

- Visual characters do not need to be used if the sign has both raised characters and braille
- If visual only, characters can be upper or lower case or combination and can not be italics or highly decorative
- Width of uppercase letter "O" is 55% to 110% of the uppercase letter "I"; width:ht ratio of 3:5 to 1:1 per CBC
- Visual character ht to be dependent upon height AFF and viewing distance and shall be 40" min AFF
- 40" - 70" AFF and < 72" viewing distance - 5/8" ht characters
- 40" - 70" AFF and ≥ 72" viewing distance - 5/8" ht + 1/8" of viewing distance
- 70" - 120" AFF and < 180" viewing distance - 2" ht characters
- 70" - 120" AFF and ≥ 180" viewing distance - 2" ht + 1/8" of viewing distance
- > 120" AFF & < 21" viewing distance - 3" ht characters
- > 120" AFF & ≥ 21" viewing distance - 3" HT + 1/8" of viewing distance
- Suspended or overhead to have a ht of 3" min measured using an uppercase

per CBC

- Stroke thickness shall be 10%-30% of uppercase letter "I"; width:ht ratio of 1:5 to 1:10 per CBC
- Character spacing to be 10%-35% of character ht
- Line spacing to be 35%-70% of character ht
- Characters and their background shall have a non-glare finish and shall contrast (ie. light on dark or dark on light)

PICTOGRAMS

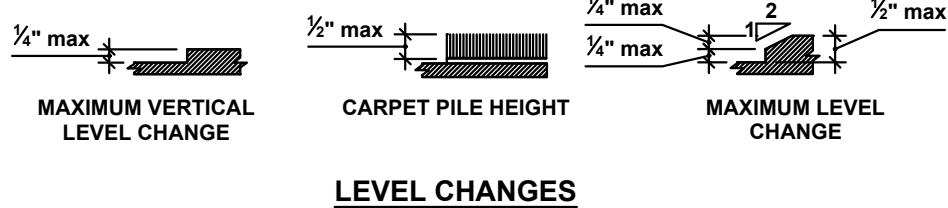
If pictograms are required they shall be located in a separate field with 6" min ht

- Pictograms and their fields shall have a non-glare finish and shall contrast (ie. light on dark or dark on light)
- Pictograms to have a text description directly below (ie Men, Women, Unisex)

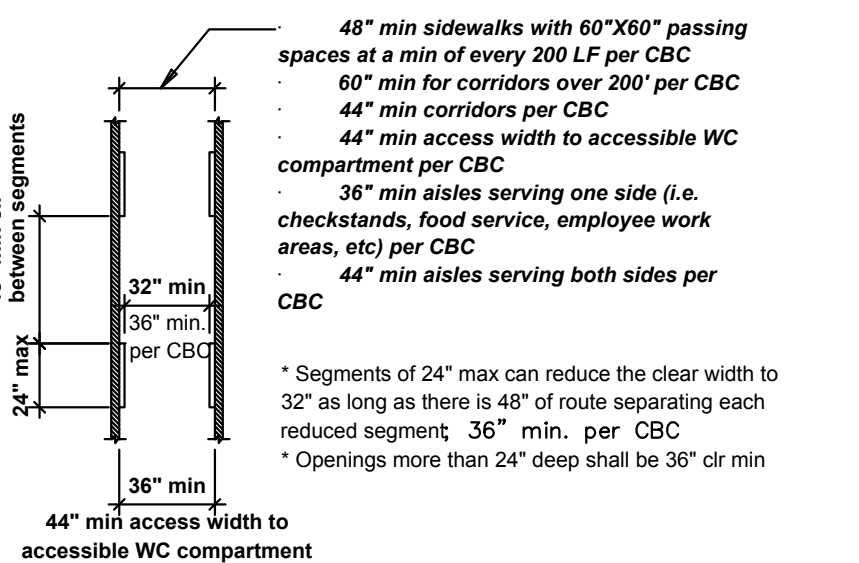
SYMBOLS

Symbols & their backgrounds shall have a non-glare finish & shall contrast (ie light on dark or dark on light)

- Symbols are for International Symbol of Accessibility (ISA), International Symbol of TTY, volume control telephones, & assistive listening systems

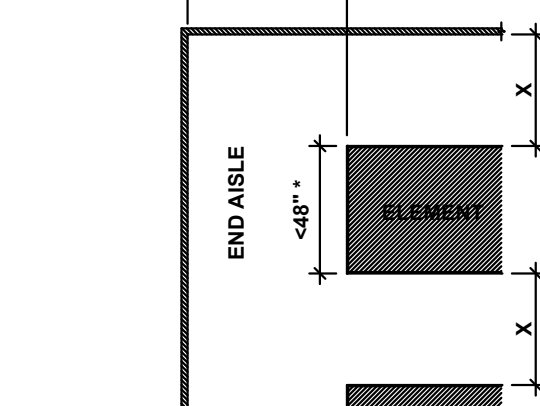


GRATES & OPENINGS IN WALKING SURFACES



CLEAR WIDTH OF ACCESSIBLE ROUTE

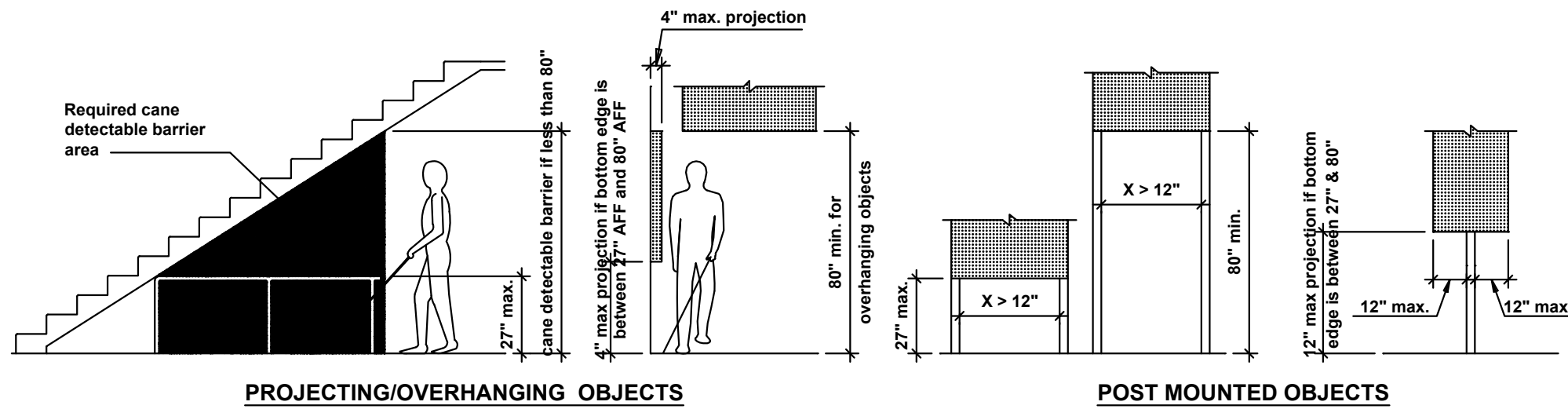
If X<42" then end aisle width is 60" min
If X≥42" then end aisle width is 48" min



- Floor and ground surfaces shall be stable, firm, and slip resistant
- Carpet shall be securely attached with a firm pad or no pad, with a pile thickness of ½" max measured to backing or pad, and exposed edges shall have trim and be fastened to floor
- Changes in level between ¼" and ½" should be vertical and beveled; greater than ½" should be ramped or sloped
- Walking surfaces to be sloped 1:20 (5%) or less in the direction of travel and 1:48 maximum for cross slope
- Acceptable slopes less than 60" wide to have passing space at 200" per CBC of 60" x 60" shall be a 36" w min if serving one side and 44" w if serving both sides per CBC
- If an accessible route has a drop of greater than 4" not adjacent to a street or driveway, a 6" high curb or a guard/rail shall be provided with an intermediary rail centered at 2" to 4" above grade per CBC
- Slopes > 5% and ≤ 6% to be equivalent to medium salted finish slip resistant; slopes > 6% shall be slip resistant per CBC

3 WALKING SURFACES

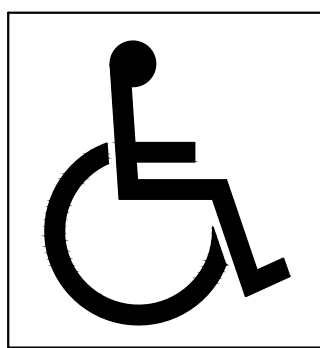
SCALE: N.T.S.



- A cane detectable barrier starting at 27" or below is required where bottom edge is less than 80" and >4" projection
- A cane detectable barrier of a maximum of 27" high is required with over hanging or protruding objects where the bottom edge is between 27" and 80"
- Door closers and door stops can be at 78" min without a cane detectable barrier
- Bottom edges starting at 27" or below - no limitations on projections
- 98" clr ht at van accessible space, its accessible aisle, and vehicular route to the space
- 114" clr ht at passenger loading zone, its accessible aisle, and vehicular route to entrance and exit
- Edges of post-mounted signs to have ¼" min radius if < 80" above grade per CBC

11 PROTRUDING OVERHANGING OBJECTS

SCALE: 1/4"=1'-0"



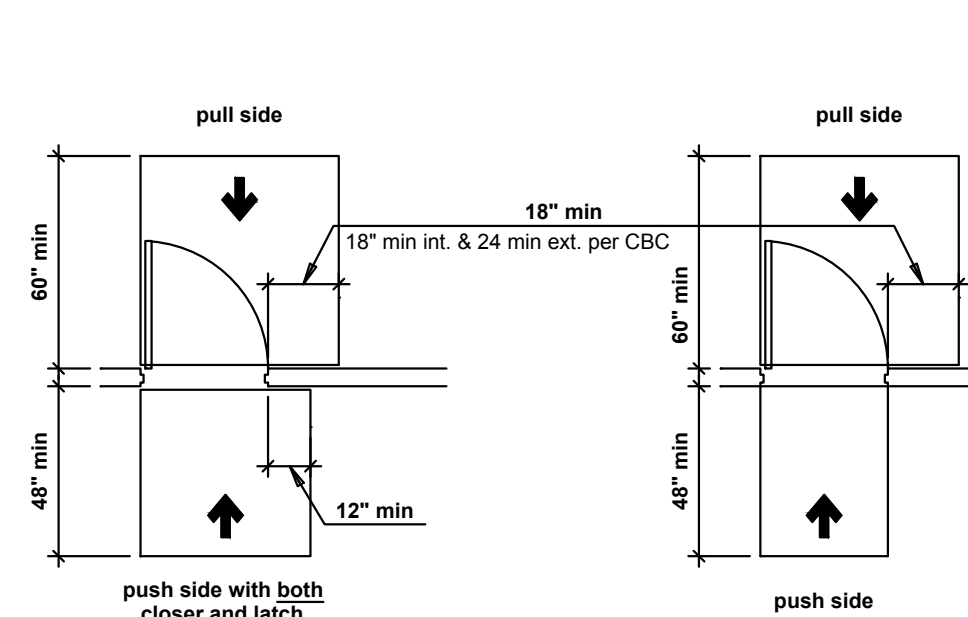
- Where not all entrances are accessible, all other accessible entries shall have an International Symbol of Accessibility (ISA); provide directional signage indicating nearest accessible entry at all inaccessible entrances.
- All accessible building entrances shall be identified with an ISA per CBC
- Major junctions along accessible routes leading to entries shall also have an ISA with directional signs per CBC
- The symbol shall be a white figure on a blue background matching color #15090 in Federal Standard 595B or other colors that provide contrast & approved by enforcement agency except at parking per CBC
- ISA shall identify accessible facilities per CBC

7 BUILDING ENTRY SIGN - ISA

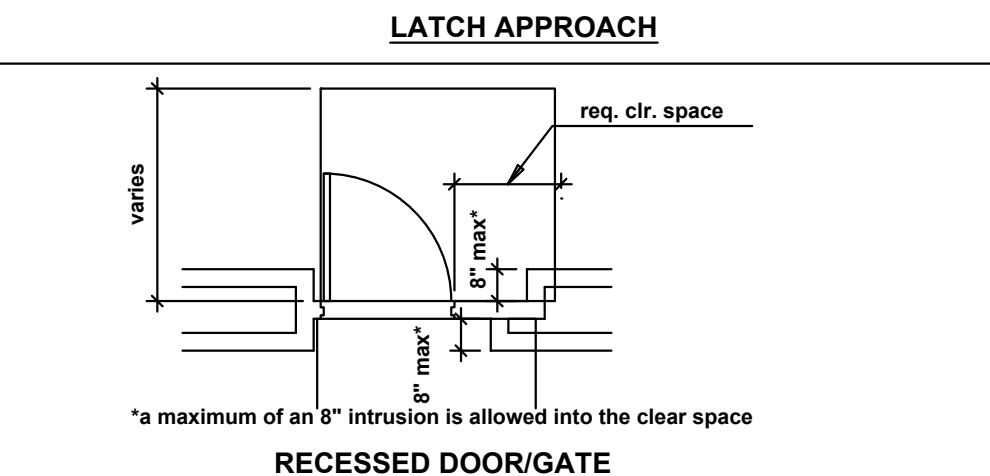
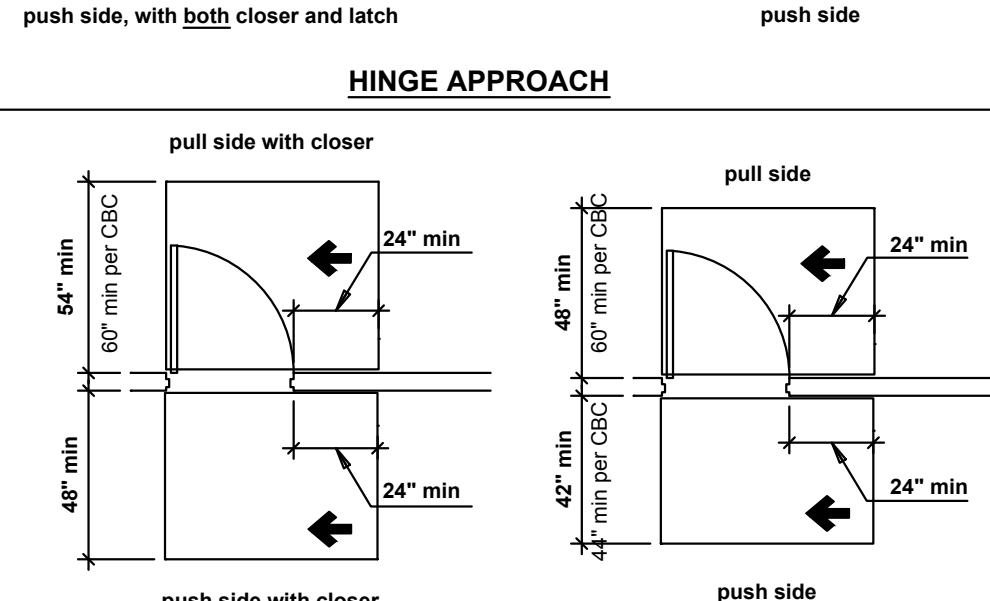
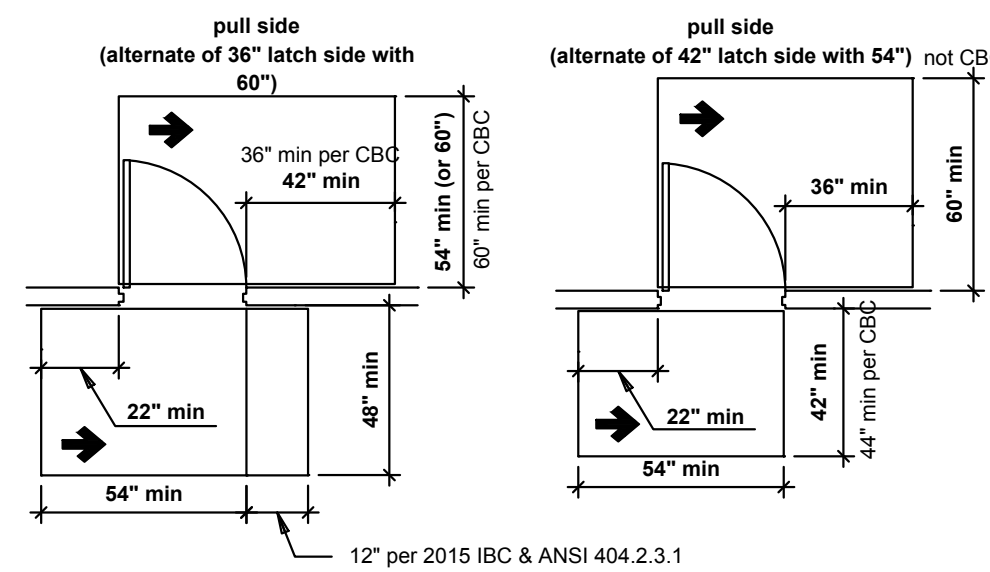
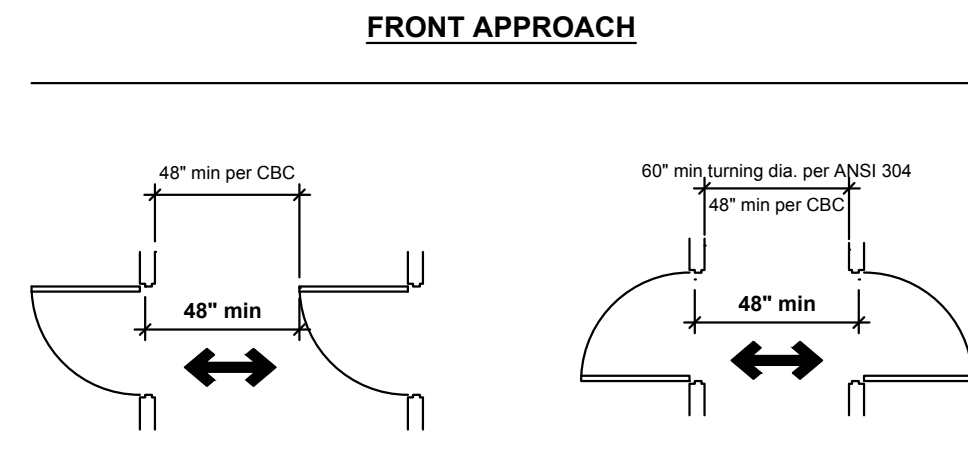
SCALE: N.T.S.

8 DOORS AND GATES

SCALE: N.T.S.



* For automatic sliding doors, use clearances designated for push side front approach for both directions of travel



Note: All required clearances to have a maximum of 1:48 slope in any direction

10 DOOR CLEARANCES

SCALE: N.T.S.



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02/15/22	DESIGN DEVELOPMENT
08/24/22	PC SUBMITTAL 1
01/11/23	PC SUBMITTAL 2



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Scale:
AS NOTED
Sheet Description

GENERAL NOTES

Project No.

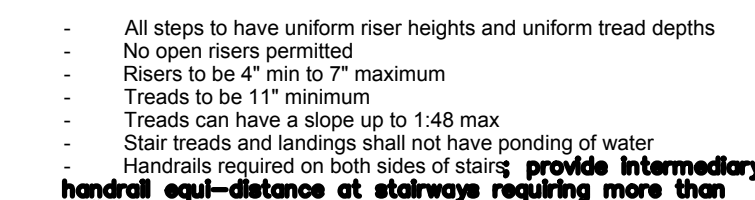
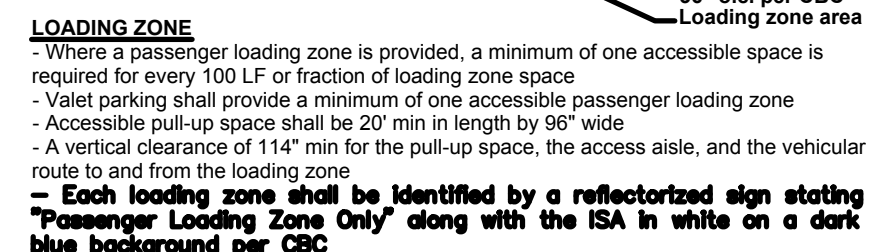
Date:
07/23/2021

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20 SIGNAGE

SCALE: N.T.S.

26 SCALE: N.T.S.



- 58" width per CBC
- Suggest providing visual contrast on leading edge of treads or tread nosings
- Stripping on exterior stairs** – 2" min to treads and landing nosings to contrasting color strip – at least a minimum of 1" on each side of the stair nosing
- Stripping on interior stairs** – 2" min to treads and landing nosings
- placed parallel and starting within 1" of stair nosing
- stripping on interior stairs to be placed on the bottom treads and top & intermediary landing nosings also similar to the exterior stripping per CBC
- Placed on each charred & brailled floor designation signs on each floor or enclosed stair identifying floor level; provide a 5-pointed star to the left of the floor designation on exit discharge level

4 SCALE: N.T.S.



- Doors shall not swing into required clear space
- Walls within 24" of front & sides of urinals shall be finished to 48" ht with a smooth, hard, non-absorbent surface per CBC



SCALE: N.T.S.







Single occupancy toilet facilities shall have a 60" min cir turning diameter and can not have a door
 this space more than 12" in any position with the exception of the toilet
 compartment door per CBC
 All walls within restrooms shall be finished to a 5'ht & walls within toilet
 compartments shall be finished to a 4'ht with a smooth, hard, non-absorbent surface

Flush controls shall be operatable with one hand and not require tight grasping, pinching, or twisting of the fingers.

44" ht max per CSE

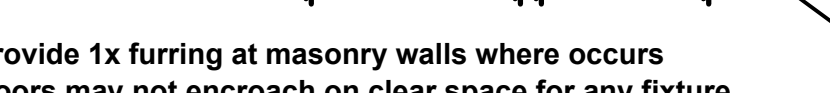
- Force required to activate flush valve shall be 5 lb max
- Toilet paper dispenser shall allow continuous flow of paper
- Toilet paper dispenser located above the grab bar is required to be recessed
- Baby changing table can not overlap clear space at toilet when open
- Required clearance at toilets can overlap with required clear space of other fixtures or turning space; no fixtures within the clear space

2" max ht toilet seat per CSE

- COMPARTMENT DOORS**
- Doors to be located in the front or side partition or wall farthest from the toilet and shall have a clear opening of 32" min wide; **34" min wide when locked on the side per CBC**
 - Door to be self-closing and adjusted so it takes 5-sec min from a 90 degree open position to 12 degrees from latch side.
 - Doors shall (loop or U-shaped handle) shall be placed on both sides (push and pull) and be 34" min to 48" max **44" per CBC**
 - Lock shall be top-to-bottom type, sliding or other hardware not requiring latching, pinching, or twisting to be 34" min to 48" max **44" per CBC**
 - If the door extends to within 10" of the finish floor, shall have a smooth surface on the push side
 - A latch side pull approach may have 42" clear; **45" per CBC**
 - Doors shall not swing into the minimum required compartment area, nor in required clear space of any fixture; a door can encroach into 5' turning space **max 10" encroachment per CBC**
 - If the clearance of 5' high under the partition and 5' deep beyond the partition is not required at the door, the partition is the compartment is >62" deep **max 6" or 85" for floor mount**; not required at side partition if >66" wide; **If**
- o If the clearance is provided at the door, clearance at the strike side is not required**







8 SCALE: 1/4"=1'-0"



SCALE: N.T.S.



- On doors leading to men

- equilateral triangle $\frac{1}{4}$ " thick with edges 12" long and a vertex pointing upward
- On doors leading to women's facilities, a circle $\frac{1}{4}$ " thick and 12" in diameter
- Where a unisex restroom is provided a combined circle and inscribed triangle sign shall be used
- These symbols shall be centered on the door at a height of 60" AFF and their color and contrast shall be distinctly different from the color and contrast of the doors
- DATE: N.T.S.

5

SCALE: N.T.S.

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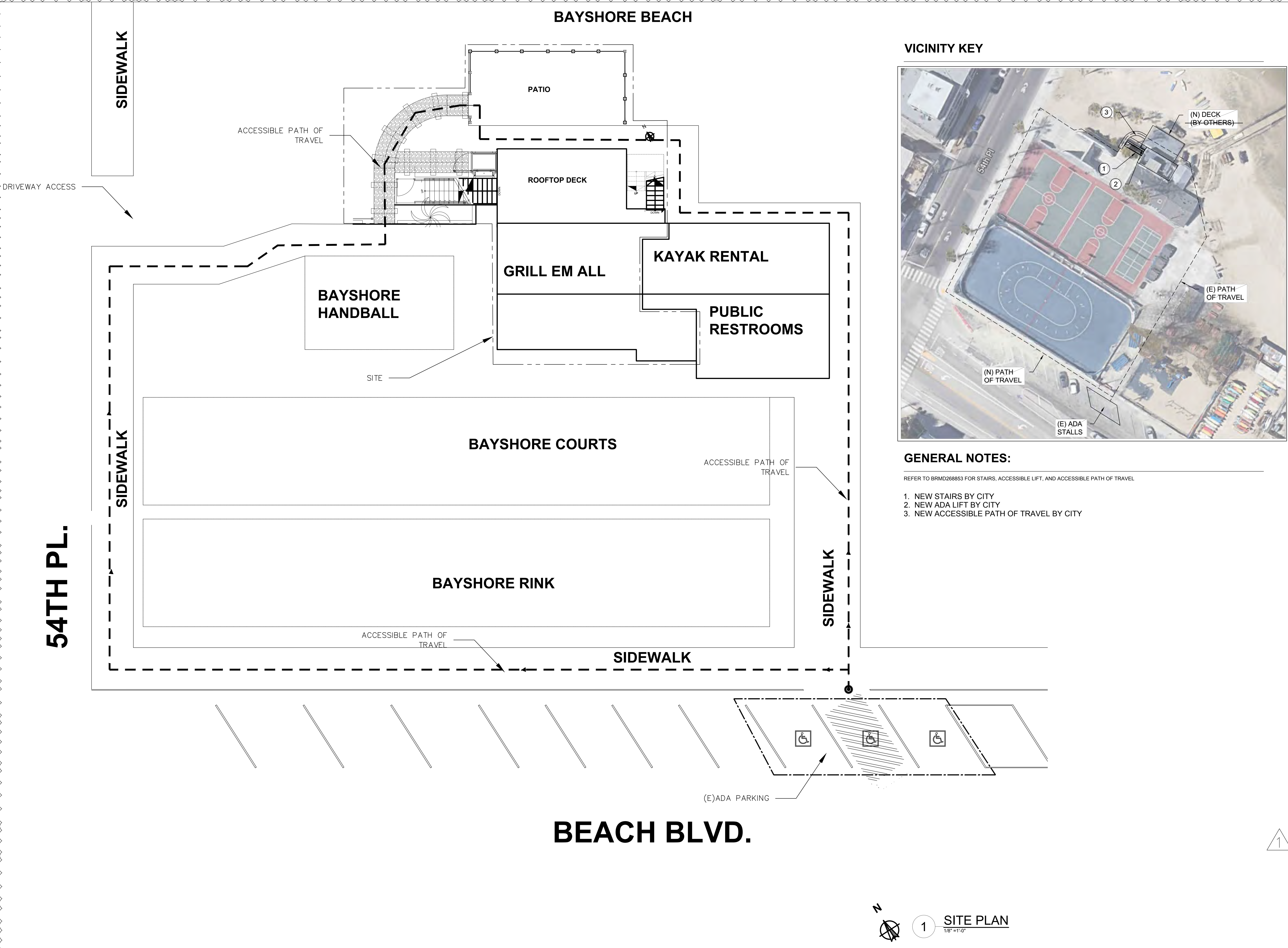
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AS NOTED

1000

07/20/2021



VICINITY KEY



GENERAL NOTES:

REFER TO BRMD268853 FOR STAIRS, ACCESSIBLE LIFT, AND ACCESSIBLE PATH OF TRAVEL

- 1. NEW STAIRS BY CITY
- 2. NEW ADA LIFT BY CITY
- 3. NEW ACCESSIBLE PATH OF TRAVEL BY CITY



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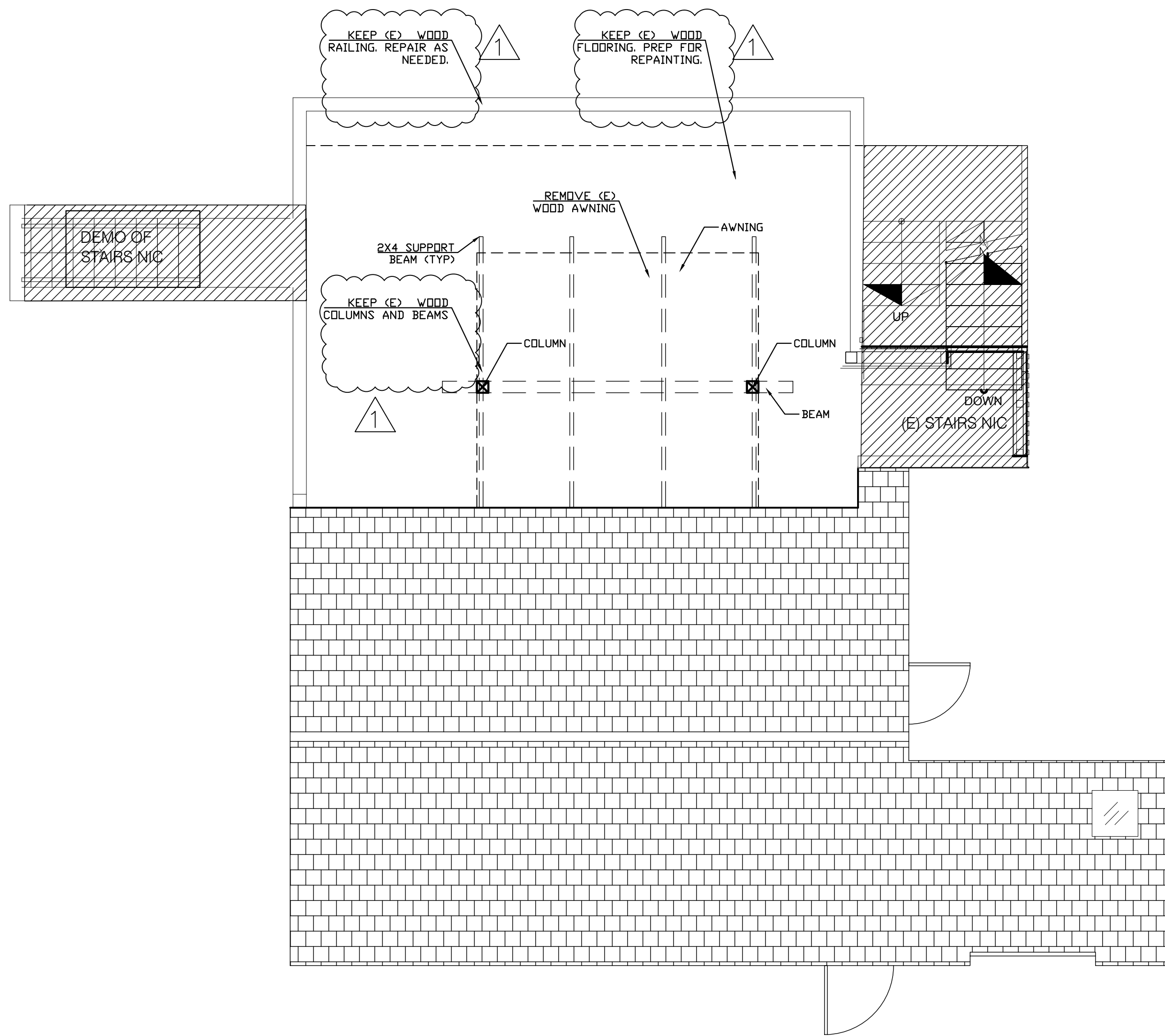
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SITE PLAN

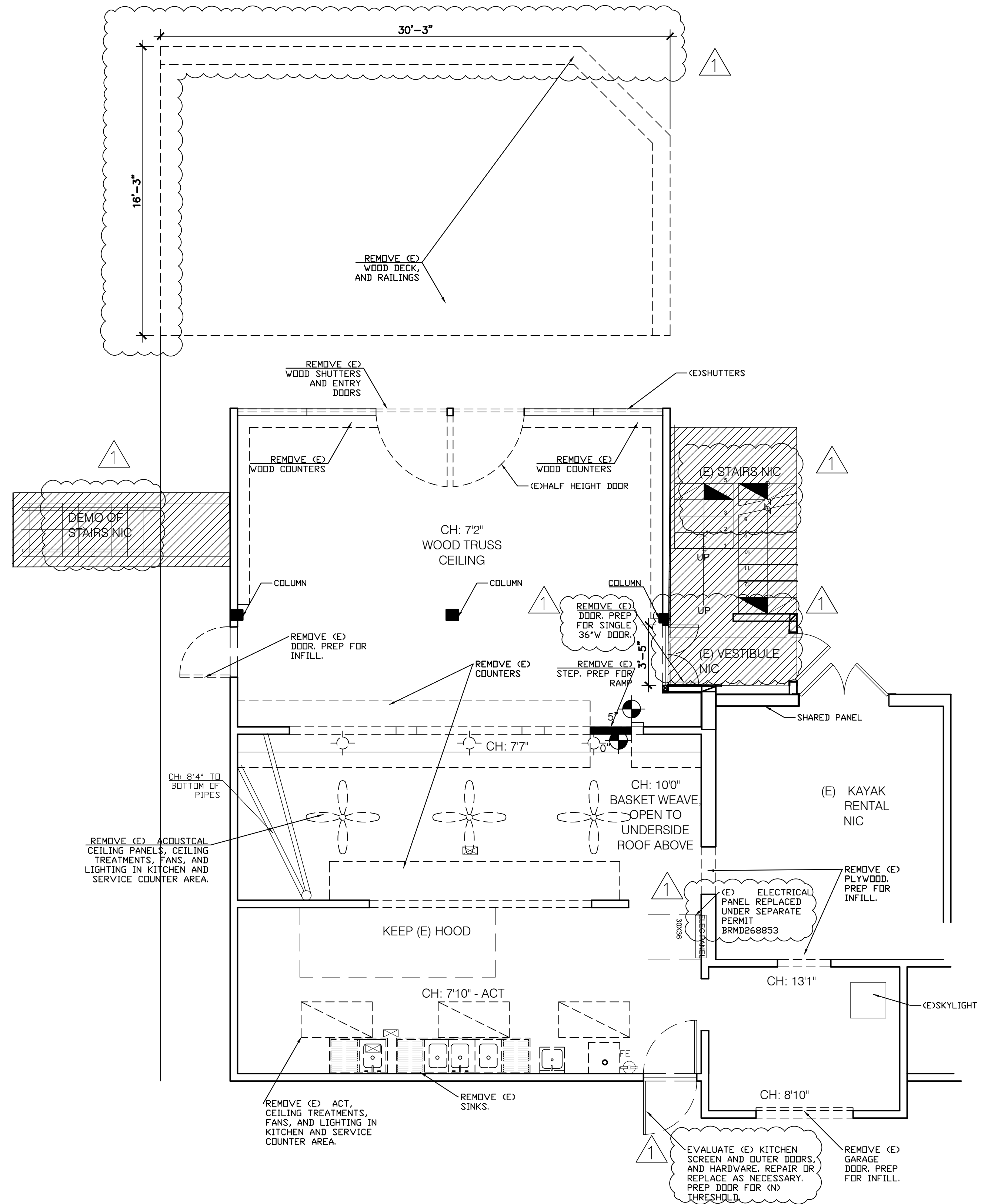
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A0.05



2 AS BUILT/DEMO PLAN - ROOF TOP DECK
1/4" = 1' - 0"



1 AS BUILT/DEMO PLAN- MAIN LEVEL
1/4" = 1' - 0"

GENERAL NOTES:

1. KEEP (E) HOOD
2. DEMO (E) PLUMBING SINKS.



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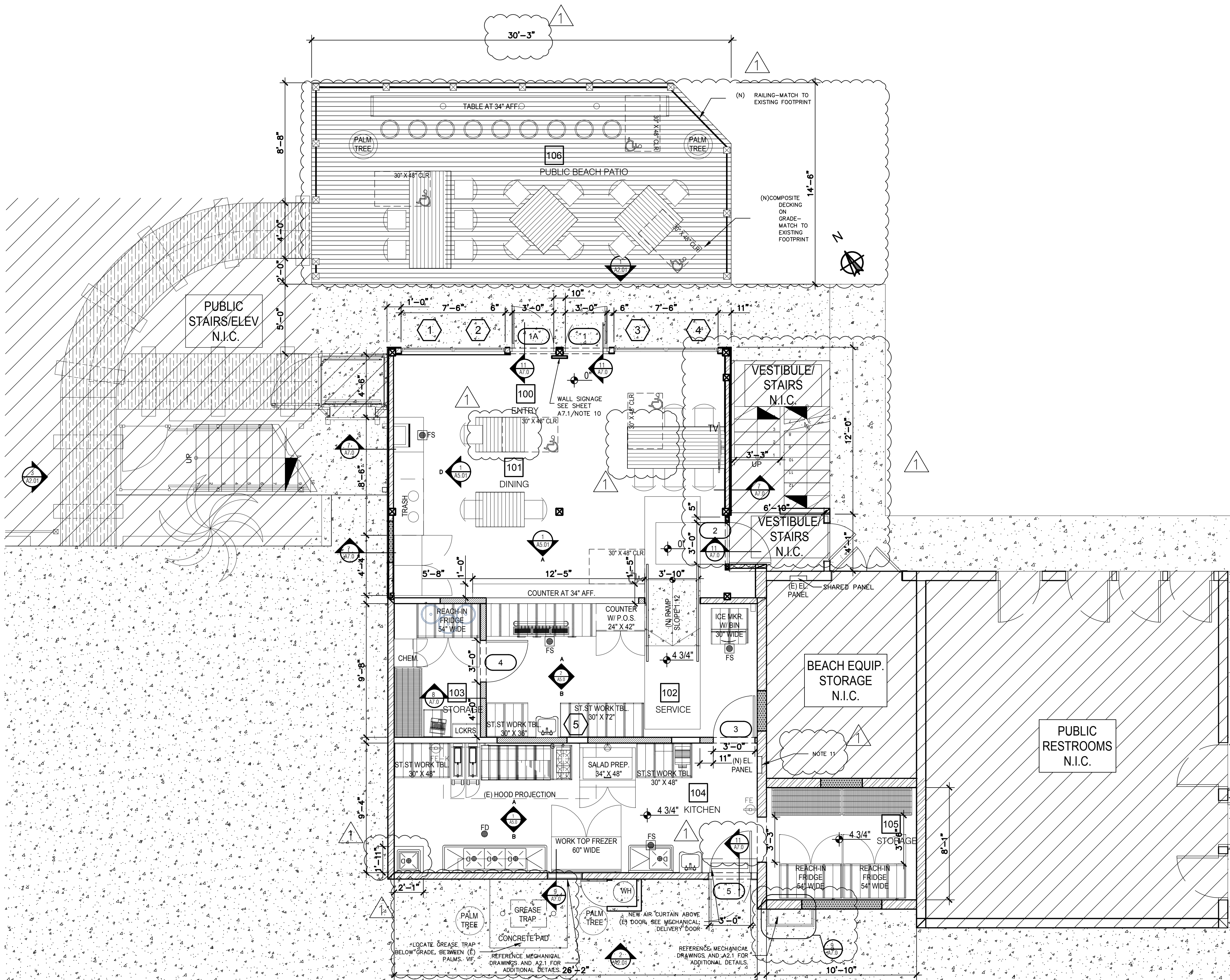
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ASBUILT/DEMO PLAN

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A0.06



WALL LEGEND:

TYPE A: NEW EXTERIOR WALLS
INFILL FOR DETAIL SEE 7/A7.0

TYPE B: (E) EXTERIOR WALLS, FOR
DETAIL SEE 7/A7.0

TYPE C: NEW FULL HEIGHT INTERIOR
PARTITION TO EXISTING CEILING
FOR WALL DETAIL, SEE 8/A7.0

COLUMNS: (E) TO REMAIN, SEE A7.0

SYMBOLS

EXIT SIGN AND EMERGENCY LIGHT WITH
BATTERY BACKUP

FIRE EXTINGUISHER

FIRE EXTINGUISHER KITCHEN

A MINIMUM OF ONE 2A 10-B:C SHALL BE PROVIDED ON EACH FLOOR
LEVEL, CONSPICUOUSLY LOCATED, ALONG NORMAL PATHS OF TRAVEL
AND WITHIN 75 FEET TRAVEL DISTANCE. THE FIRE EXTINGUISHER
SHOWED ON PLANS COMPLIANCE WITH CCR, TITLE 19 DIVISION 1
SECTION 573(a) THROUGH(C)

TACTILE SIGNS LOCATION SEE PAGE A0.2 FOR DETAILS

SEE PLUMBING PLANS FOR FLOOR SINKS AND FLOOR DRAINS
LOCATIONS

FLOOR SINKS

FLOOR DRAINS

GENERAL NOTES:

- EXISTING WALLS ARE EXPOSED FRAMING.
- REUSE EXISTING REAR DOOR
- EXISTING ENTRANCE DOOR MEETS ACCESSIBLE REQUIREMENTS
- G.C TO PROVIDE BLOCKING FOR ALL SHELVING AND WALL MOUNTED EQUIPMENT
- STRUCTURAL AND FIRE RESISTIVE INTEGRITY WILL BE MAINTAINED WHERE A PENETRATION
IS REQUIRED FOR ELECTRICAL, MECHANICAL, PLUMBING OR COMMUNICATION PIPES AND
SIMILAR SYSTEMS
- NO THUMB TURN LOCKS PERMITTED
- KNOX BOX PROVIDED
- THIS DOOR TO REMAIN UNLOCKED WHEN THIS SPACE IS OCCUPIED. CFC section 1010.1.9.3
(2.2)
- EXIT DOOR DO NOT BLOCK CFC sections: 1031.1, 1031.2 & (2.2)
- ALL EQUIPMENT ON 6" LEGS
- ELECTRICAL PANEL UPDATED UNDER PERMIT BRMD268853



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Scale: AS NOTED

Sheet Description

FLOOR PLAN — GROUND FLOOR

Project No.

Date:
07/23/2021

A1.00

1

EXTERIOR FINISH SCHEDULE

	ROOF TOP DECK FLOOR	TRIM	ROOF TOP DECK RAILINGS, COLUMNS AND BEAMS	WALLS	AWNING
EXTERIOR FACADE	ACRYLIC COATING - MAN.: ARMOR POXY; PRODUCT: ARMOR RENEW TEXTURED; COLOR: WHITE	EXTERIOR PAINT - MATCH EXISTING	EXTERIOR PAINT - MATCH EXISTING	EXTERIOR PAINT - MATCH EXISTING	STRETCHABLE OUTDOOR CANVAS - COLOR MATCH BEAM PAINT COLOR

TECHNICAL DATA SHEET



ARMRNTWX ARMOR RENEW WOOD AND CONCRETE RESURFACER - TEXTURED

ArmorPoxy Inc.
1260 North Ave
Plainfield, NJ 07062
armorpoxy.com
E: info@armorpoxy.com
P: 888-755-7361

PRODUCT DESCRIPTION

Armor Renew is a high build, water based acrylic coating designed to resurface heavily worn decks and patios.

DECKS: For wood and most composite decks. Follow specific manufacturer's recommendation before applying to any composite decking.

PATIOS: For use on broom swept or porous concrete surfaces. Do not use on smooth or floated concrete. Not recommended for driveways, garages or other areas with vehicular traffic.

FOR EXTERIOR USE ONLY

PRODUCT FEATURES

- Ideal for heavily worn decks and patios
- 2 coat system allows for maximum performance
- Excellent weather resistance
- Fills 1/4" cracks
- Available in 30 different colors, *must be tested before use*
- Low Temperature application down to 40°F
- Super thick coating for extra durability

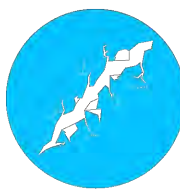
PRODUCTS TO BE USED WITH

- Renew Textured Roller
- Renew Deck Cleaner
- Renew Wood Deck Primer
- Flash Bond Primer (for Trex type) decking

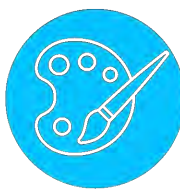
PHYSICAL PROPERTIES

Resin Type Pigment Type Solvents Weight-Per Gallon Weight-Per Liter Solids By Weight Solids By Volume Volatile Organic Compounds Recommended Dry Film Thickness(DFT)/Coat Practical Coverage (assume 15% material loss)	Water-based Acrylic Polymer Varies with color Glycol Ethers, Water 12.6 lbs 1.52 kg 68.3% 51.3% <93 g/l (0.42lbs./gal.) 20 mils 50-100 sq.ft. per gallon Rates will vary based on surface profile — 4-6 hours 24 hours 7 days 3 years >200°F (93°C) Protect from freezing. For additional information, see the SDS
--	--

BENEFITS



Fills Cracks
up to 1/4"



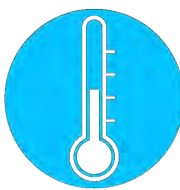
Available in
over 30 Colors



Super Thick
Coating



Weather
Resistant

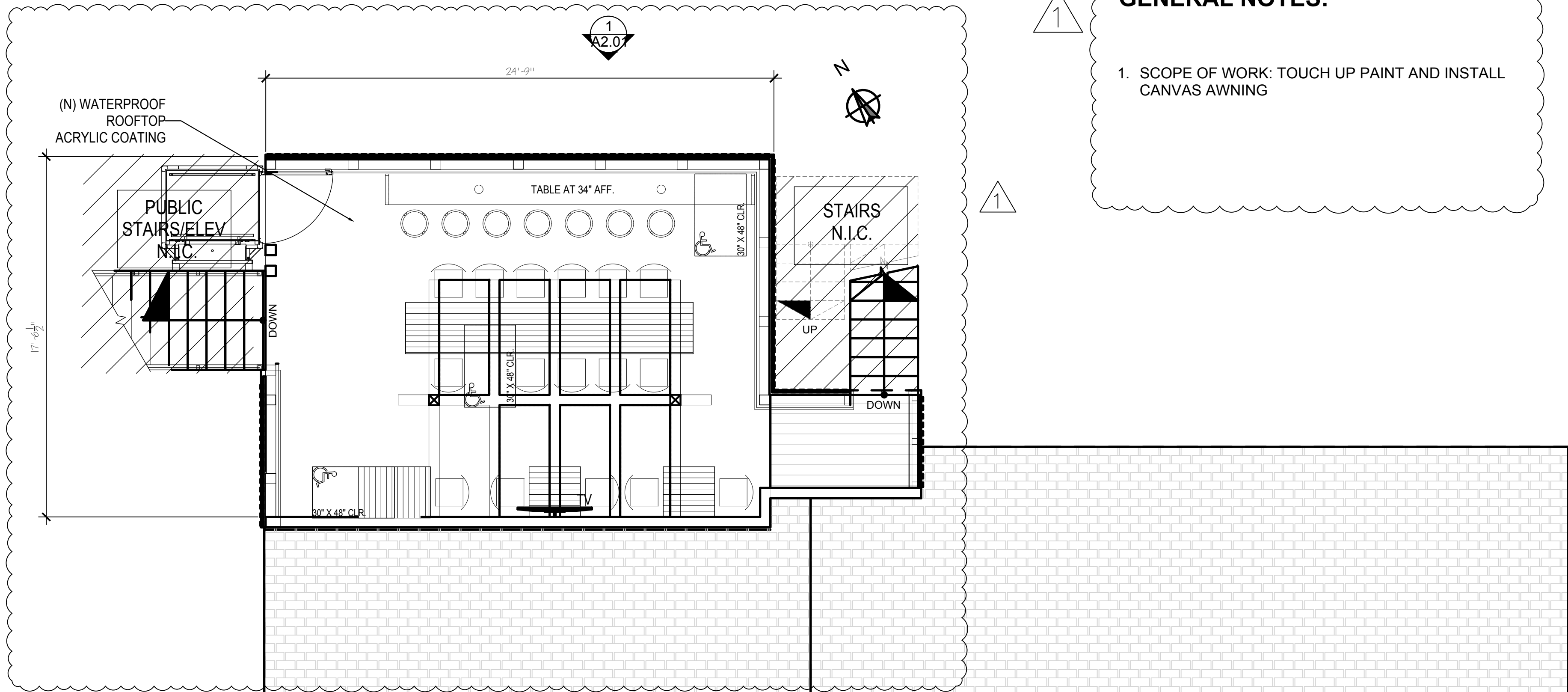


Low Temperature
Application

The technical data and suggestions for use contained herein are correct to the best of our knowledge, and offered in good faith. The statements of this literature do not constitute a warranty, express, or implied, as to the performance of these products. As conditions and use of our materials are beyond our control, we can guarantee these products only to conform to our standards of quality, and our liability, if any, will be limited to replacement of defective materials. All technical information is subject to change without notice.

EXTERIOR

Super Thick Resurfacing Coating

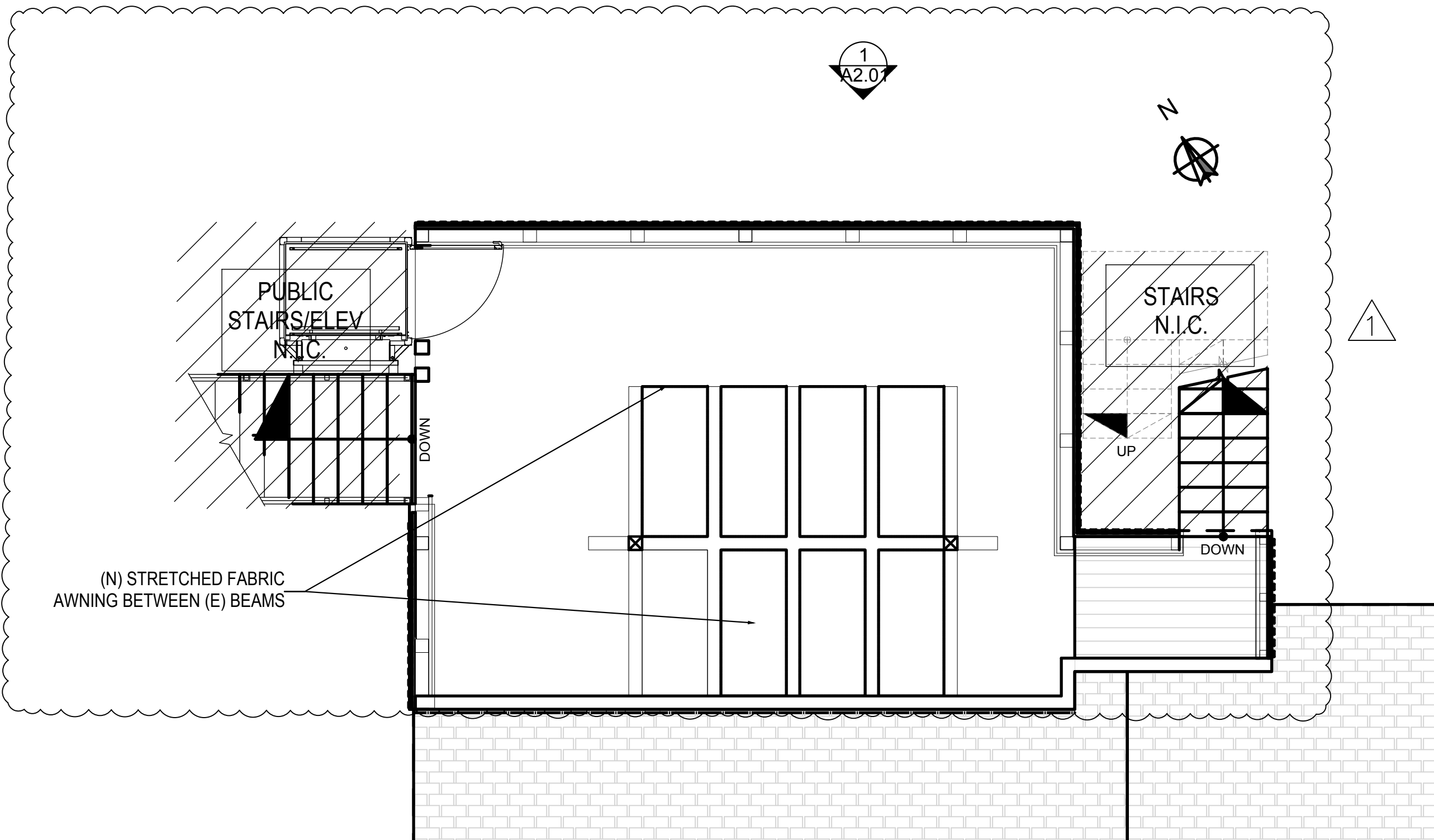


GENERAL NOTES:

1. SCOPE OF WORK: TOUCH UP PAINT AND INSTALL CANVAS AWNING

2
A2.0'

1
SCALE: 1/4" = 1'-0"



2
SCALE: 1/4" = 1'-0"



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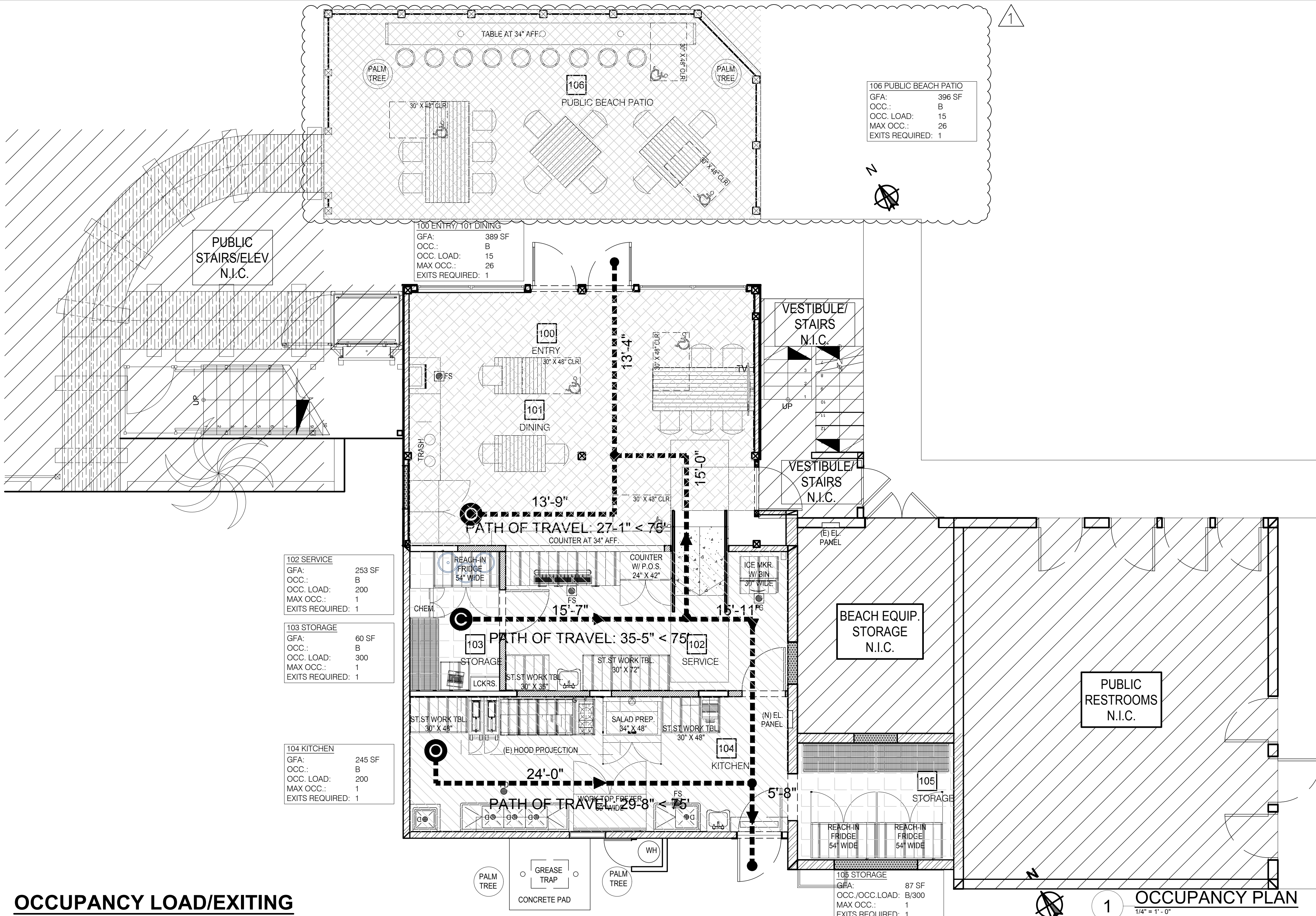
Scale:
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Sheet Description
ROOF TOP DECK— FLOOR PLAN
AND ROOF PLAN

Project No.

Date:
07/23/2021

A1.01



OCCUPANCY CALCS.

- KITCHEN AREA
- STORAGE
- OUTDOOR SEATING (PUBLIC BEACH ACCESS)
- INDOOR DINING (PUBLIC BEACH ACCESS)



OCCUPANCY LOAD/EXITING

FLOOR	USE	OCC. GROUP	SQFT.	ROOM NAME AND NUMBER	OCC. LOAD FACTOR	# OF OCC.	EXITS REQ'D	EXITS PROVIDED	MAXIMUM COMMON PATH OF EGRESS TRAVEL DISTANCE ALLOWED (FEET)	MAXIMUM COMMON PATH OF TRAVEL DISTANCE ACTUAL	MAXIMUM TRAVEL DISTANCE ALLOWED	MAXIMUM TRAVEL DISTANCE ACTUAL (FEET)	WIDTH OF EXIT PASSAGE WAYS (INCHES)
GROUND LEVEL	ASSEMBLY WITHOUT FIXED SEATS	B	389	PUBLIC BEACH ENTRY 100/ DINING 101	15	26	1	1	75	13	300	13	44
	KITCHEN	B	253	SERVICE 102	200	1	1	2	75	21	300	21	44
	ACCESSORY STORAGE	B	60	STORAGE 103	300	1	1	2	75	35	300	35	44
	KITCHEN	B	245	KITCHEN 104	200	1	1	2	75	29	300	29	44
	ACCESSORY STORAGE	B	87	STORAGE 105	150	1	1	2	75	13	300	27	44
	ASSEMBLY WITHOUT FIXED SEATS	B	396	PUBLIC BEACH LEVEL PATIO 106	15	26	-	-	-	-	300	-	44
ROOF TOP DECK	ASSEMBLY WITHOUT FIXED SEATS	B	395	PUBLIC BEACH ROOF TOP DECK 107	15	26	1	2	75	29	300	29	44
	PUBLIC BEACH OUTSIDE TOTAL		791	BEACH PATIO AND ROOF TOP DECK	-	52	-	-	-	-	-	-	-
	INDOOR TOTAL		1034		-	30							
	TOTAL		1851		-	82							
					1004.5	1004.12	1017.2	1006.3,2(1)	1006.3,2(2)				1020.2

I CERTIFY THAT THE PRIMARY PATH OF TRAVEL TO THE SPECIFIC AREA OF ALTERATION, STRUCTURAL REPAIR OR ADDITION FROM THE PUBLIC WAY OR ACCESSIBLE PARKING SPACE AS INDICATED ON THE PLANS DOES NOT INCLUDE STEPS OR A SLOPE EXCEEDING 1:20 EXCEPT WHERE ACCESS IS PROVIDED A RAMP WITH 1:12 MAXIMUM SLOPE. ACCESSIBLE ELEVATOR OR OTHERWISE GRANTED BY AN UNREASONABLE HARDSHIP EXEMPTION. I UNDERSTAND THAT IF THE PRIMARY PATH OF TRAVEL IS FOUND NOT TO BE AS INDICATED, SIGNIFICANT DELAYS MAY RESULT. FURTHERMORE, I CERTIFY THAT THESE PLANS WERE PREPARED UNDER MY DIRECT SUPERVISION AND THAT THE AREA OF SPECIFIC ALTERATION, STRUCTURAL REPAIR OR ADDITION, INDULGING A PRIMARY ENTRANCE TO THE EXISTING BUILDING AND, WHEN APPLICABLE, SANITATION FACILITIES, DRINKING FOUNTAINS, SIGNS AND PUBLIC TELEPHONES SERVING THE AREA COMPLIES WITH CA TITLE 24 ACCESSIBILITY REQUIREMENTS.

Kara Rice
CERTIFIED INTERIOR DESIGNER
SIGNATURE TITLE
KARA RICE 08/22/22
PRINT NAME DATE



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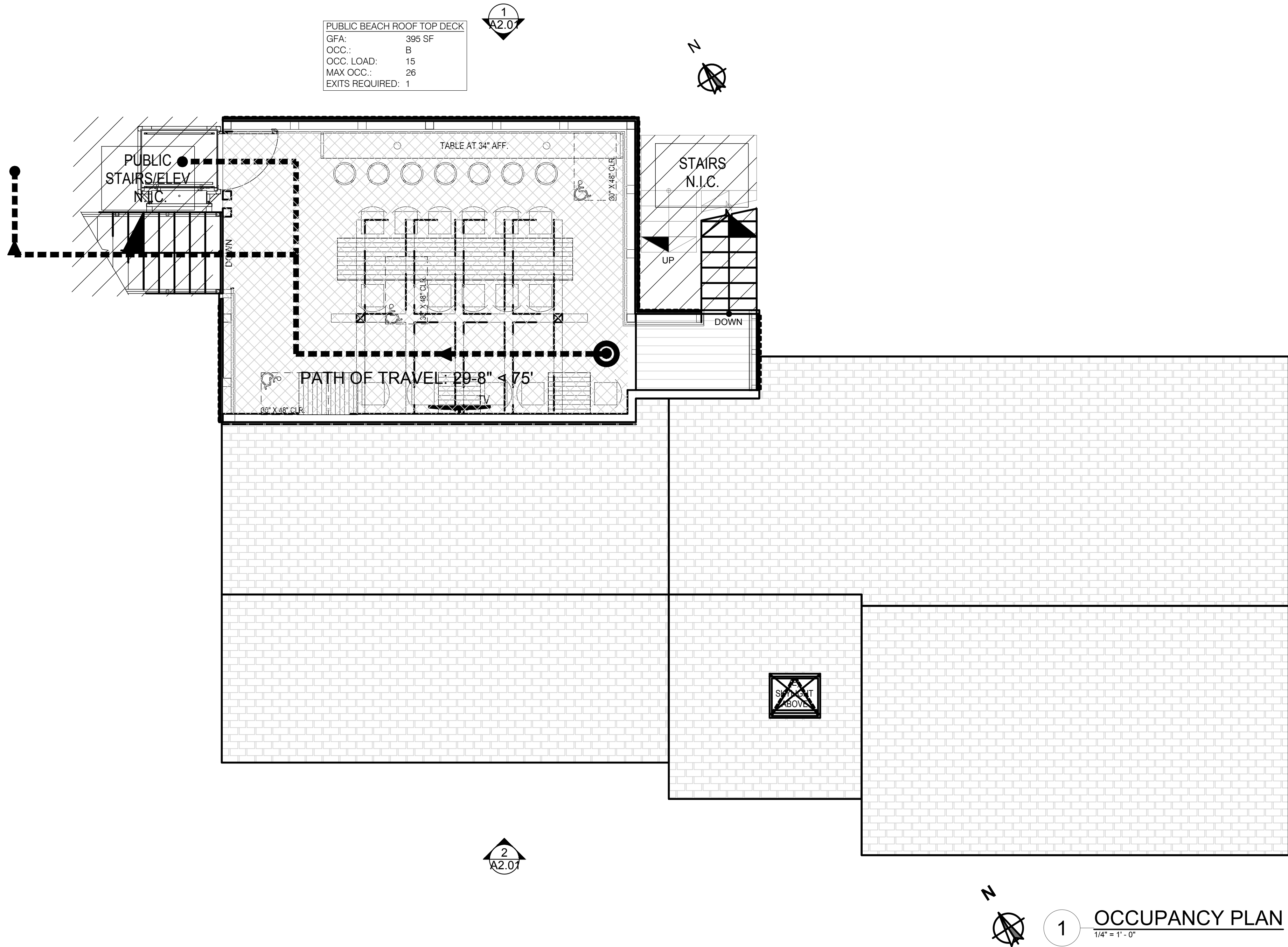
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EXIT ANALYSIS/OCCUPANCY

Project No.

Date: 07/23/2021

A1.02



OCCUPANCY LEGEND

OUTDOOR SEATING (PUBLIC BEACH ACCESS)

OCCUPANCY PLAN
1/4" = 1' - 0"

I CERTIFY THAT THE PRIMARY PATH OF TRAVEL TO THE SPECIFIC AREA OF ALTERATION, STRUCTURAL REPAIR OR ADDITION FROM THE PUBLIC WAY OR ACCESSIBLE PARKING SPACE AS INDICATED ON THE PLANS DOES NOT INCLUDE STEPS OR A SLOPE EXCEEDING 1:20 EXCEPT WHERE ACCESS IS PROVIDED A RAMP WITH 1:12 MAXIMUM SLOPE, ACCESSIBLE ELEVATOR OR OTHERWISE GRANTED BY AN UNREASONABLE HARDSHIP EXEMPTION. I UNDERSTAND THAT IF THE PRIMARY PATH OF TRAVEL IS FOUND NOT TO BE AS INDICATED, SIGNIFICANT DELAYS MAY RESULT. FURTHERMORE, I CERTIFY THAT THESE PLANS WERE PREPARED UNDER MY DIRECT SUPERVISION AND THAT THE AREA OF SPECIFIC ALTERATION, STRUCTURAL REPAIR OR ADDITION, INDULGING A PRIMARY ENTRANCE TO THE EXISTING BUILDING AND, WHEN APPLICABLE, SANITATION FACILITIES, DRINKING FOUNTAINS, SIGNS AND PUBLIC TELEPHONES SERVING THE AREA COMPLIES WITH CA TITLE 24 ACCESSIBILITY REQUIREMENTS.

Kara Rice
CERTIFIED INTERIOR DESIGNER
SIGNATURE TITLE
KARA RICE 08/22/22
PRINT NAME DATE



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Scale: AS NOTED

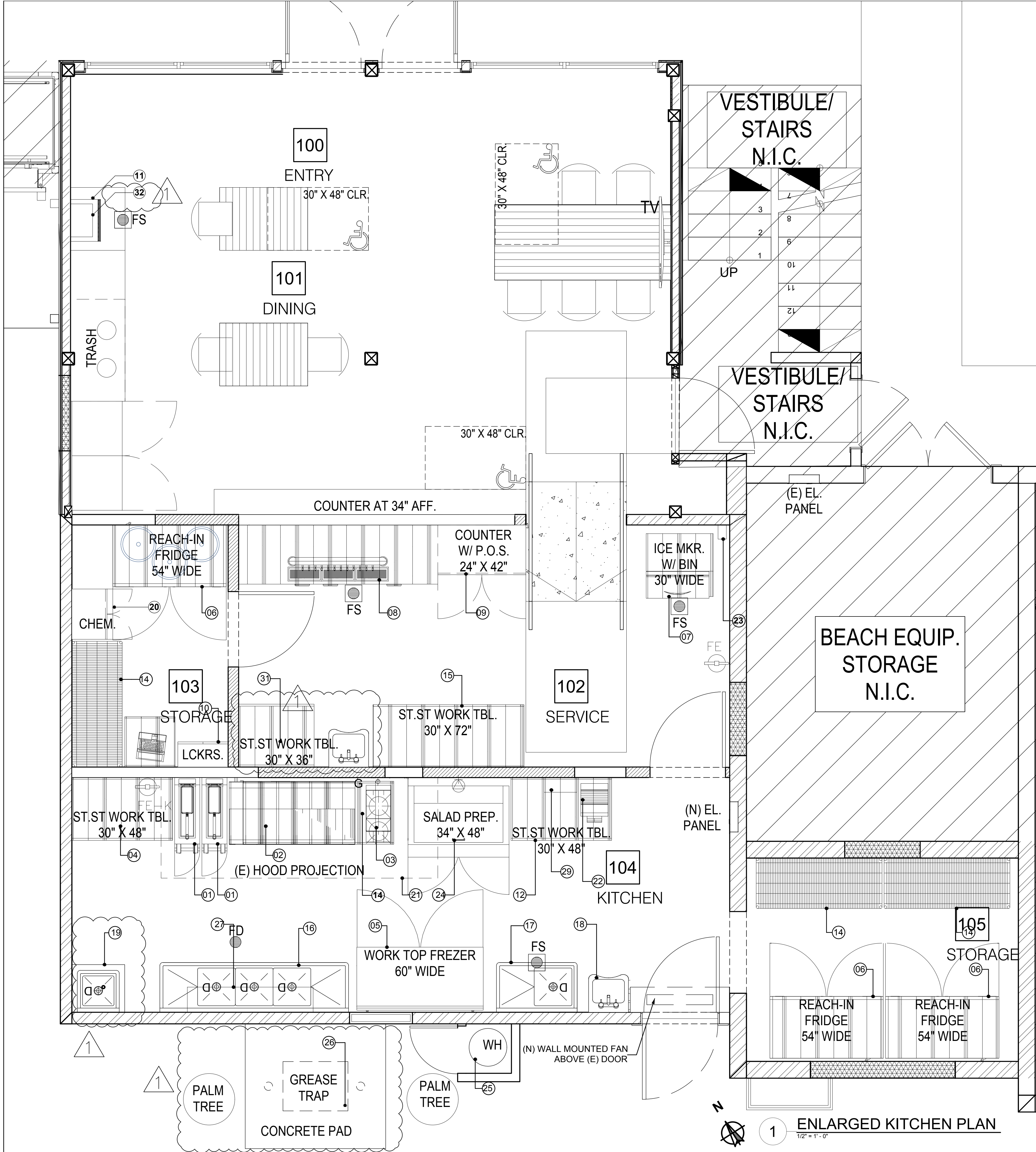
Sheet Description

EXIT ANALYSIS/OCCUPANCY


Project No.

Date: 07/23/2021

A1.03



EQUIPMENT SCHEDULE					
TAG	DESCRIPTION	MANUFACTURE/MODEL	VOLT/HZ/AMPS	QUANTITY	COMMENTS
1	FRYER	MoTak MGF5-P Gas Fryer - (1) 70 lb Vat, Floor Model, Liquid Propane		1	PROVIDED BY TENANT
2	FLAT TOP GRIDDLE	Avantco Chef Series CAG-60-MG 60" Countertop Gas Griddle with Manual Controls - 150,000 BTU		1	PROVIDED BY TENANT
3	2 BURNER COUNTERTOP RANGE	Vollrath 40736 Cayenne 2 Burner Countertop Hot Plate / Range, Natural / LP Gas		1	PROVIDED BY TENANT
4	ST. ST. WORK TABLE 30X48	REGENCY		1	PROVIDED BY TENANT
5	WORK TOP FREEZER	True TWT-48F-HC 48 1/2" W Work Top Freezer w/ (2) Sections & (2) Doors, 115v			PROVIDED BY TENANT
6	REACH IN REFRIGERATOR	Traulsen Model No. G20010		3	PROVIDED BY TENANT
7	ICE MACHINE	Manitowoc Model No. IYT0500A Indigo NXT™ Series		1	PROVIDED BY TENANT
8	12 TAP KEGERATOR WINE DISPENSER WITH RIGHT SIDE COMPRESSOR	BEVERAGE - AIR/ DD94HC-1-S-ALT-12T-WINE		1	PROVIDED BY TENANT
9	POINT OF SALE WORK TOP CABINET	TBD		1	PROVIDED BY TENANT
10	EMPLOYEE LOCKERS	DMCAN 13130 - 4 TIER		1	PROVIDED BY TENANT
11	SODA MACHINE	TBD		1	PROVIDED BY TENANT
12	ST. ST. WORK TABLE 30X48	REGENCY		1	PROVIDED BY TENANT
13	ST. ST. WORK TABLE 30X72 (LOWER HEIGHT)	REGENCY		1	PROVIDED BY TENANT
14	DRY STORAGE	METRO SHELVING; 5 24X60 (75 LIN FT)		3	PROVIDED BY TENANT
15	ST. ST. WORK TABLE 30X72	REGENCY		1	PROVIDED BY TENANT
16	THREE COMPARTMENT SINK	GSW USA Model No. SEE18183D		1	PROVIDED BY TENANT; 13X18 SHEET PANS
17	SINGLE COMPARTMENT SINK	GSW USA Model No. SEE18181L		1	PROVIDED BY TENANT
18	HAND SINK	GSW USA Model No. HS-1217S		2	PROVIDED BY TENANT
19	MOP SINK CABINET WITH MOP RACK	ADVANCE TABCO Model #: 9-DPC-84 (16X20)		1	PROVIDED BY TENANT
20	CHEMICAL CABINET	TBD		1	PROVIDED BY TENANT
21	(E) HOOD TO REMAIN	EXISTING		1	EXISTING
22	COUNTER TOP LABEL PRINTER	TBD		1	PROVIDED BY TENANT
23	WATER FILTER 1 ICE MACHINE	Curtis 10"		1	PROVIDED BY TENANT
24	WORK TOP SALAD PREP	Avantco A Plus APST-48-12 48" 2 Door Stainless Steel Refrigerated Sandwich / Salad Prep Table		1	PROVIDED BY TENANT
25	WATER HEATER	(SEE PLUMBING PLANS) SMITH CONSERVATIONIST RT-80	VOL: 74, BTU/HR: 75 /100	1	PROVIDED BY TENANT
26	GREASE INTERCEPTOR, BELOW GRADE	ENDURA 50 - SEE PLUMBING PLANS		1	PROVIDED BY TENANT
27	WALL STORAGE	REGENCY 16 GAUGE STAINLESS SHELVING, 4', 5', 6' LENGTHS		32 linear feet	PROVIDED BY TENANT
28	TV	TBD		2	PROVIDED BY TENANT
29	FRENCH FRY CUTTER	Garde FC38WM 3/8" Heavy-Duty French Fry Cutter with Wall Mount Bracket		1	PROVIDED BY TENANT
30	NOT USED				
31	ST. ST. WORK TABLE 30X60 WITH (16X20) SINK	REGENCY		1	PROVIDED BY TENANT
32	Soda Dispenser- Carbonated Backflow Preventer	Zurn model 740 " Carbonated Beverage Backflow Preventer		1	PROVIDED BY TENANT




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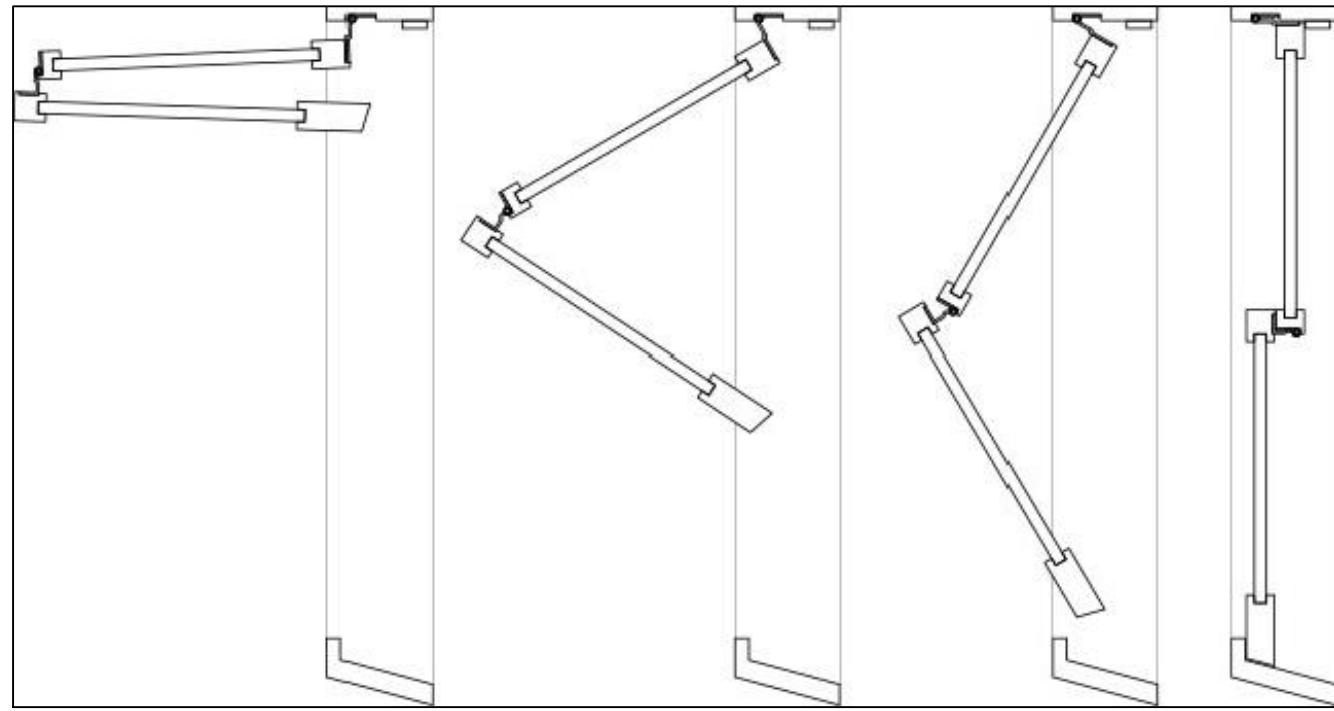
Sheet Description

ENLARGED KITCHEN PLAN

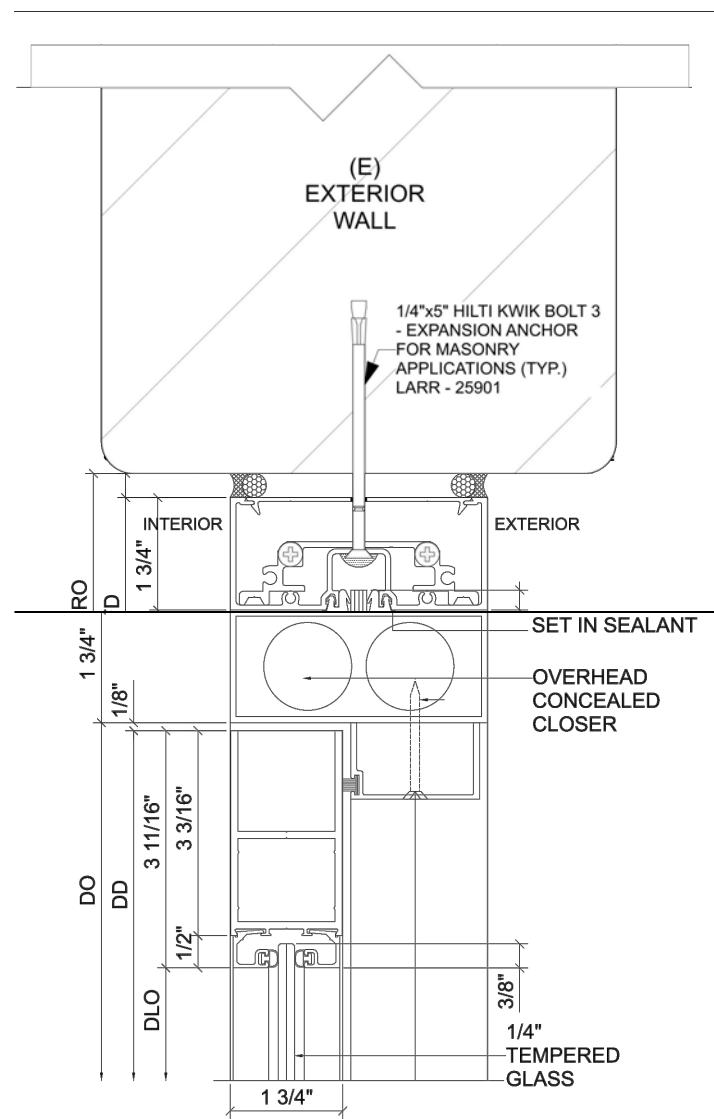
Project No.

Date: 07/23/2021

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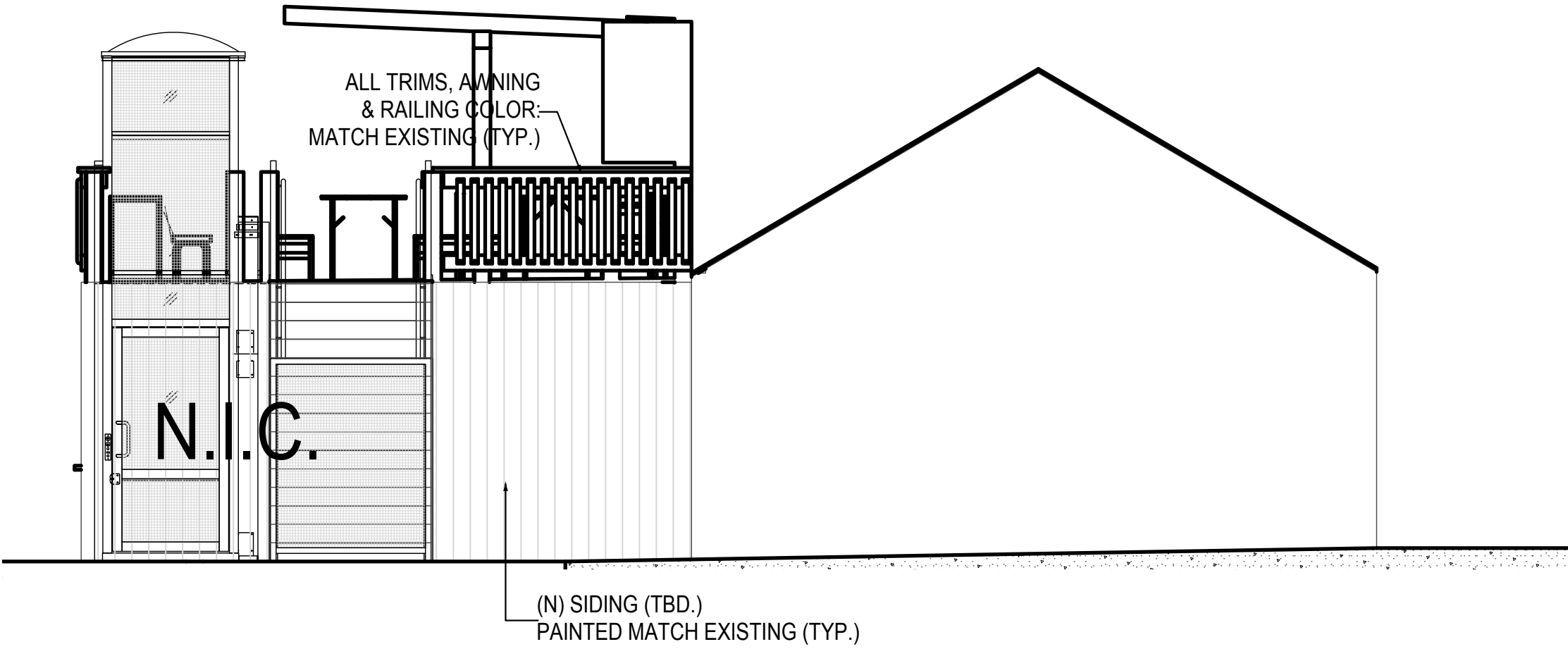
A WINDOW DETAIL
SCALE: NTS



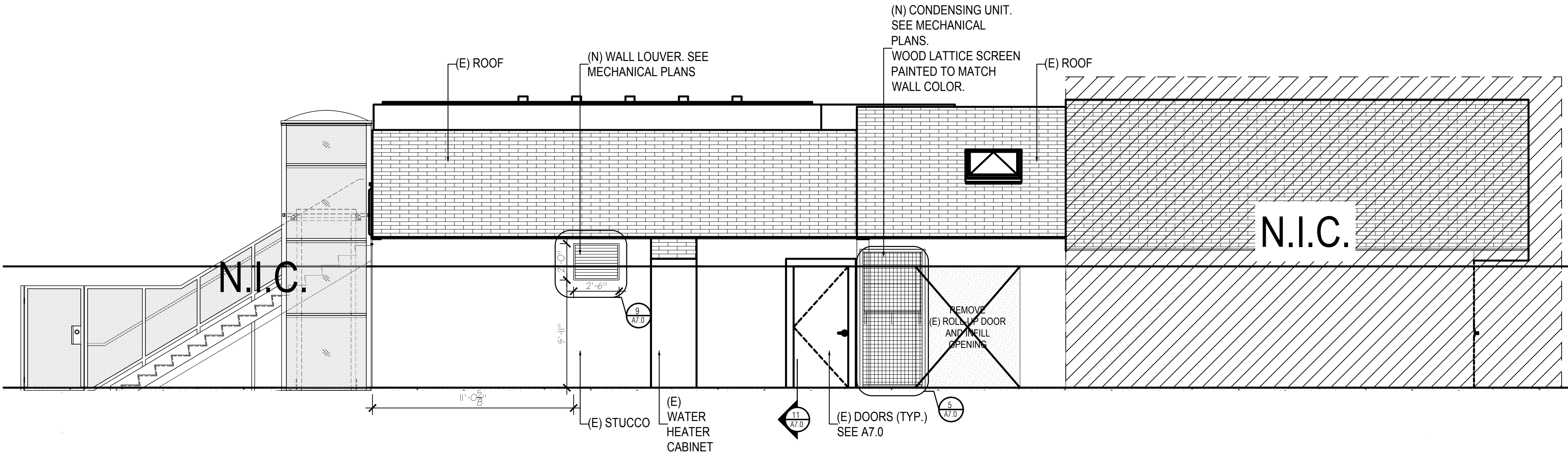
B DOOR HEAD DETAIL
SCALE: 6" = 1'-0"

WINDOW AND GLAZING NOTES:

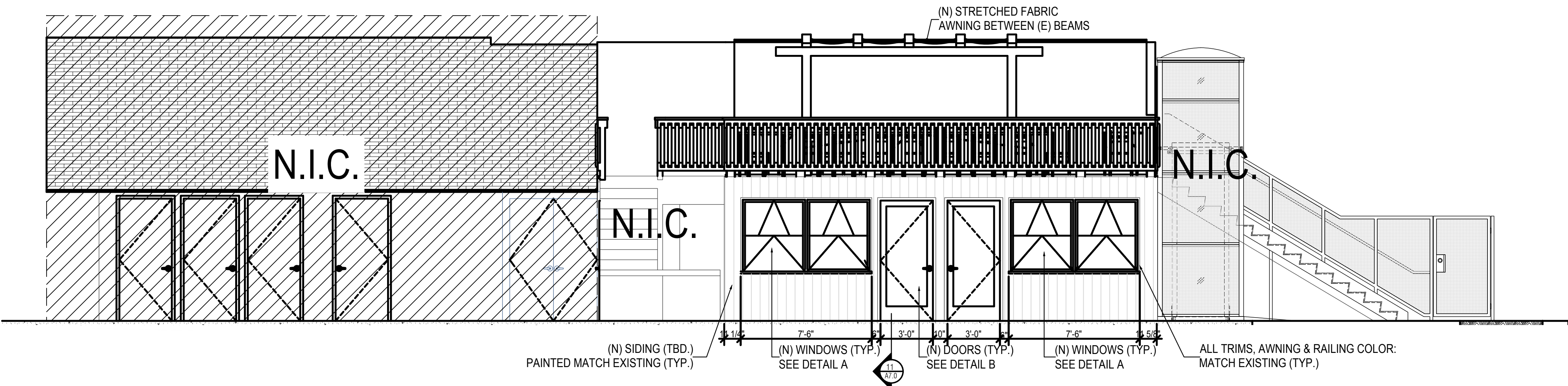
- 1) FOLD UP +IN WINDOW TYPE OR SIMILAR
- 2) GLAZING FILM TREATMENT REQUIREMENTS:
 - 2)1) LOW REFLECTIVITY,
 - 2)2) TREATED FOR BIRD SAFETY, AND
 - 2)3) RESISTANT TO ETCHING AND GRAFFITI



3 WEST ELEVATION
SCALE: 1/4" = 1'-0"



2 SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



1 NORTH ELEVATION
SCALE: 1/4" = 1'-0"

EXTERIOR FINISH SCHEDULE					
	ROOF TOP DECK FLOOR	TRIM	ROOF TOP DECK RAILINGS, COLUMNS AND BEAMS	WALLS	AWNING
EXTERIOR FACADE	ACRYLIC COATING - MAN.: ARMOR POXY; PRODUCT:ARMOR RENEW TEXTURED; COLOR: WHITE	EXTERIOR PAINT- MATCH EXISTING WHITE COLOR	EXTERIOR PAINT - MATCH EXISTING	EXTERIOR PAINT - MATCH EXISTING	STRETCHABLE OUTDOOR CANVAS - WHITE



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GRILLE MALL

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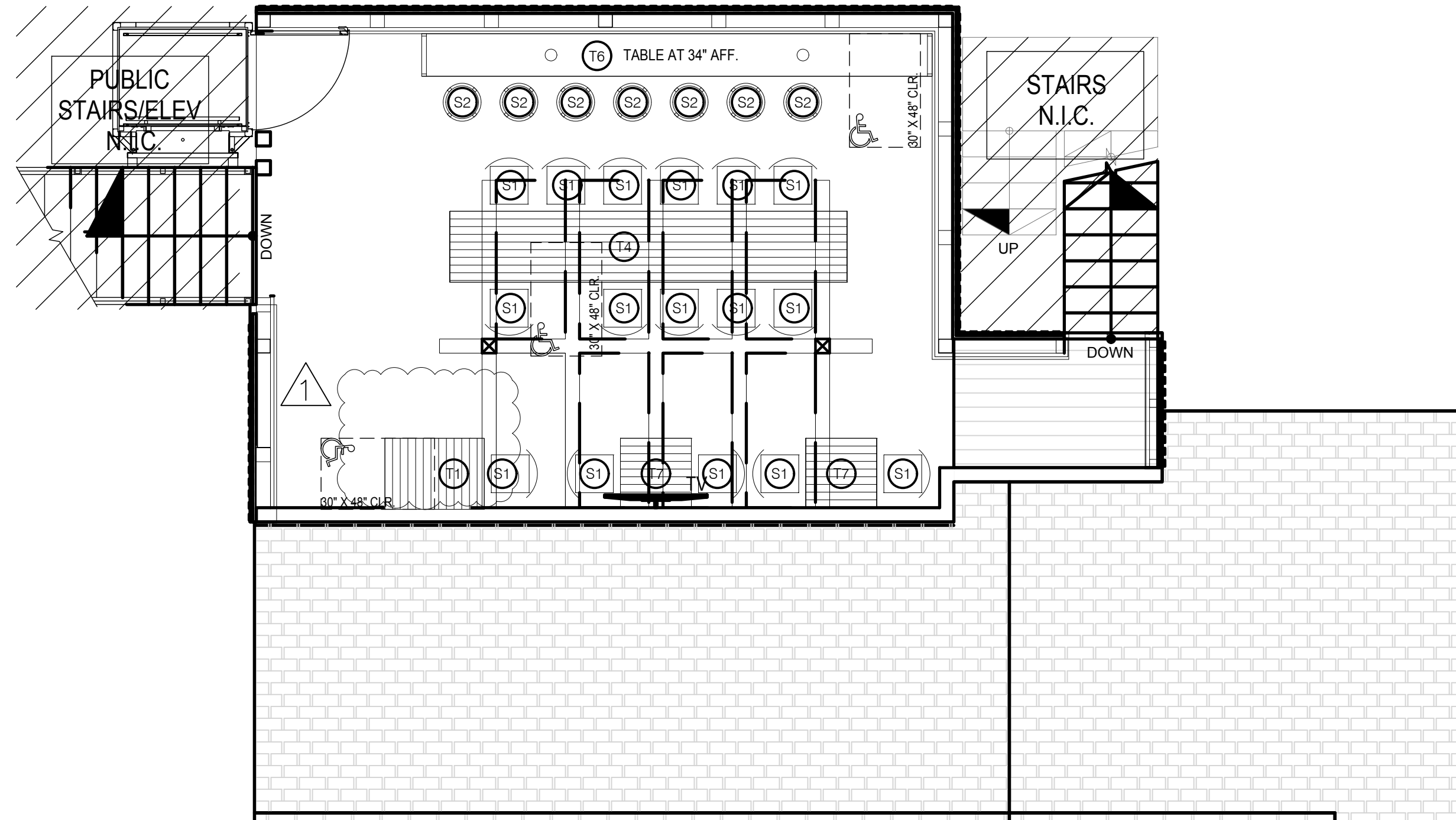
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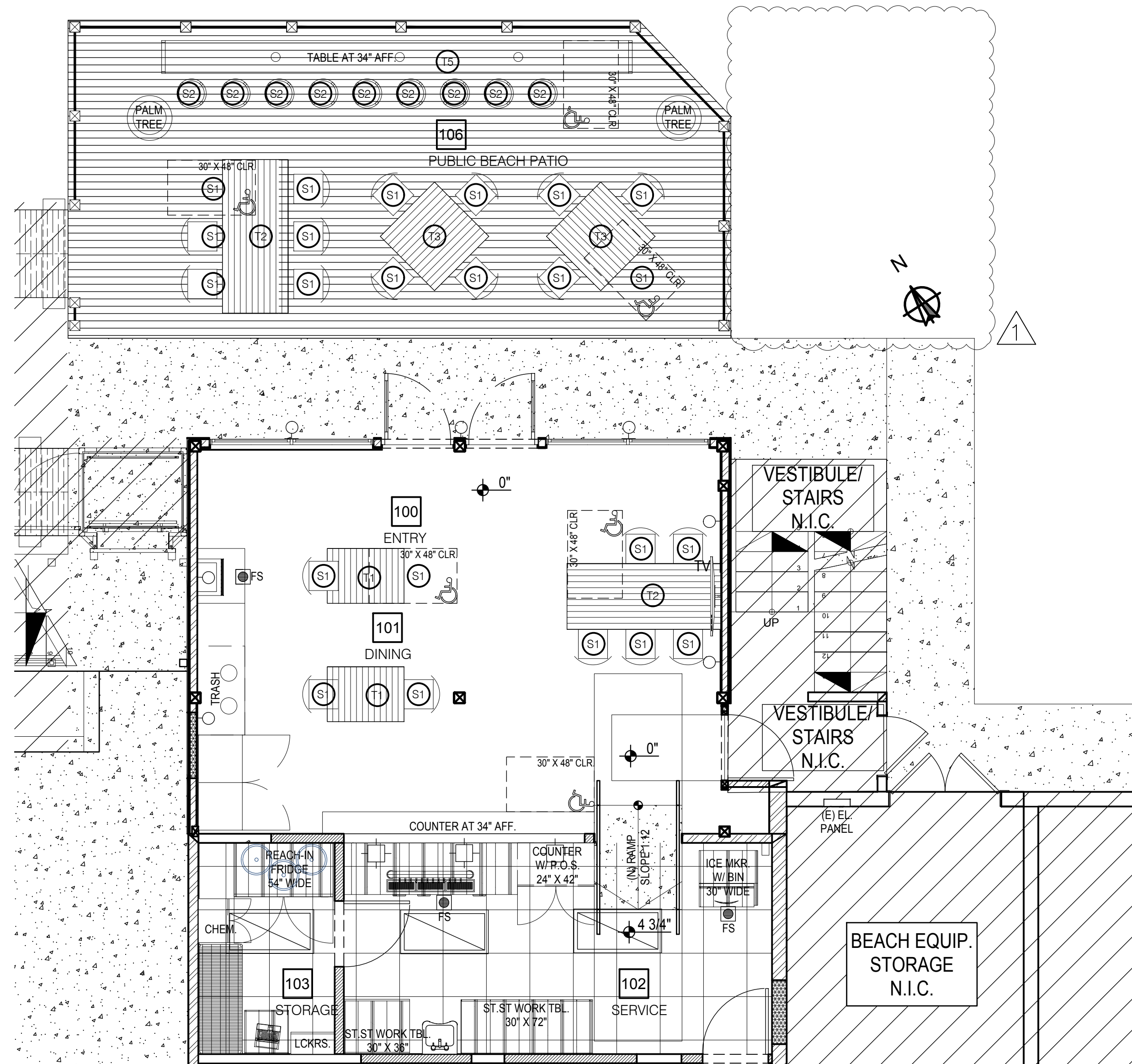
EXTERIOR ELEVATIONS
Project No.

Date: 07/23/2021

A2.1



2 UPPER DECK
FURNITURE PLAN
1/4" = 1'-0"



1 GROUND LEVEL
FURNITURE PLAN
1/4" = 1'-0"

GENERAL NOTES:

1:

TABLE AND SEAT COUNT							
TAG	DESCRIPTION	SIZE	TOP AFF.	TABLE COUNT	SEAT COUNT	ADA SEAT COUNT	COMMENTS
INDOOR DINING							
T2/S1	6 TOP DINING	18"H/30X96	34"	1	5	1	
T1/S1	2 TOP DINING	42X30	34"	2	3	1	
	SUBTOTAL			3	8	2	
OUTDOOR BEACH PATIO							
T2/S1	6 TOP DINING	18"H/30X96	34"	1	5	1	
T5/S2	COUNTER SEATING	18'	34"	1	9	1	
T3	DINING TABLE	42X42	34"	2	7	1	
	SUBTOTAL			4	21	3	
OUTDOOR ROOFOP DECK							
T1/S1	2 TOP DINING	42X30	34"	1	1	1	
T7/S1	2 TOP DINING	30X30	34"	2	4	0	
T4	COMMUNAL TABLE	30X168	34"	1	11	1	
T6	COUNTER SEATING	27'	34"	1	7	1	
	SUBTOTAL			5	23	3	
	TOTAL			12	52	8	



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FURNITURE PLAN

Project No.

Date:
07/23/2021

A2.02

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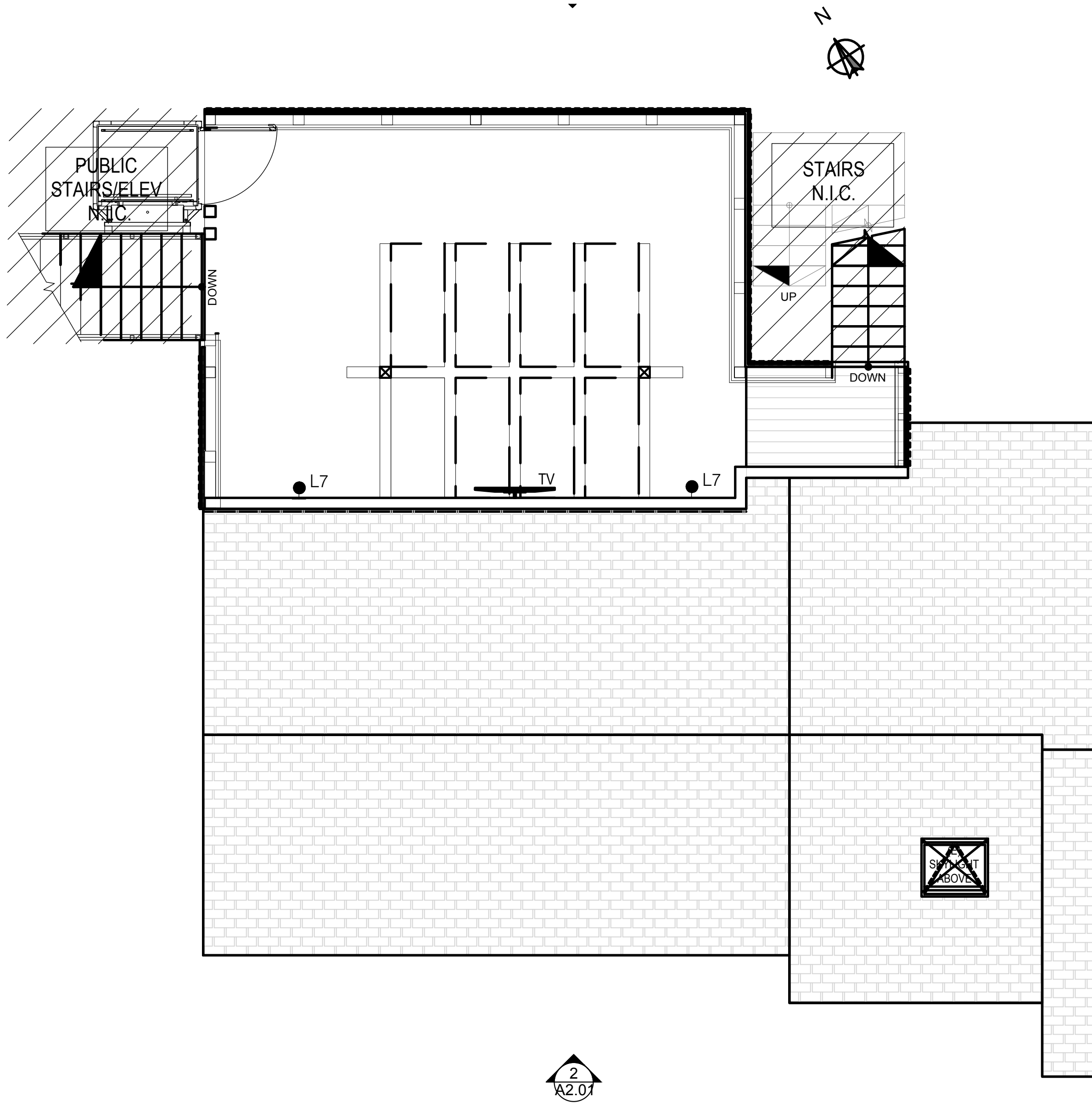
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REFLECTED CEILING PLAN
Project No.

Date:
07/23/2021

A3.00



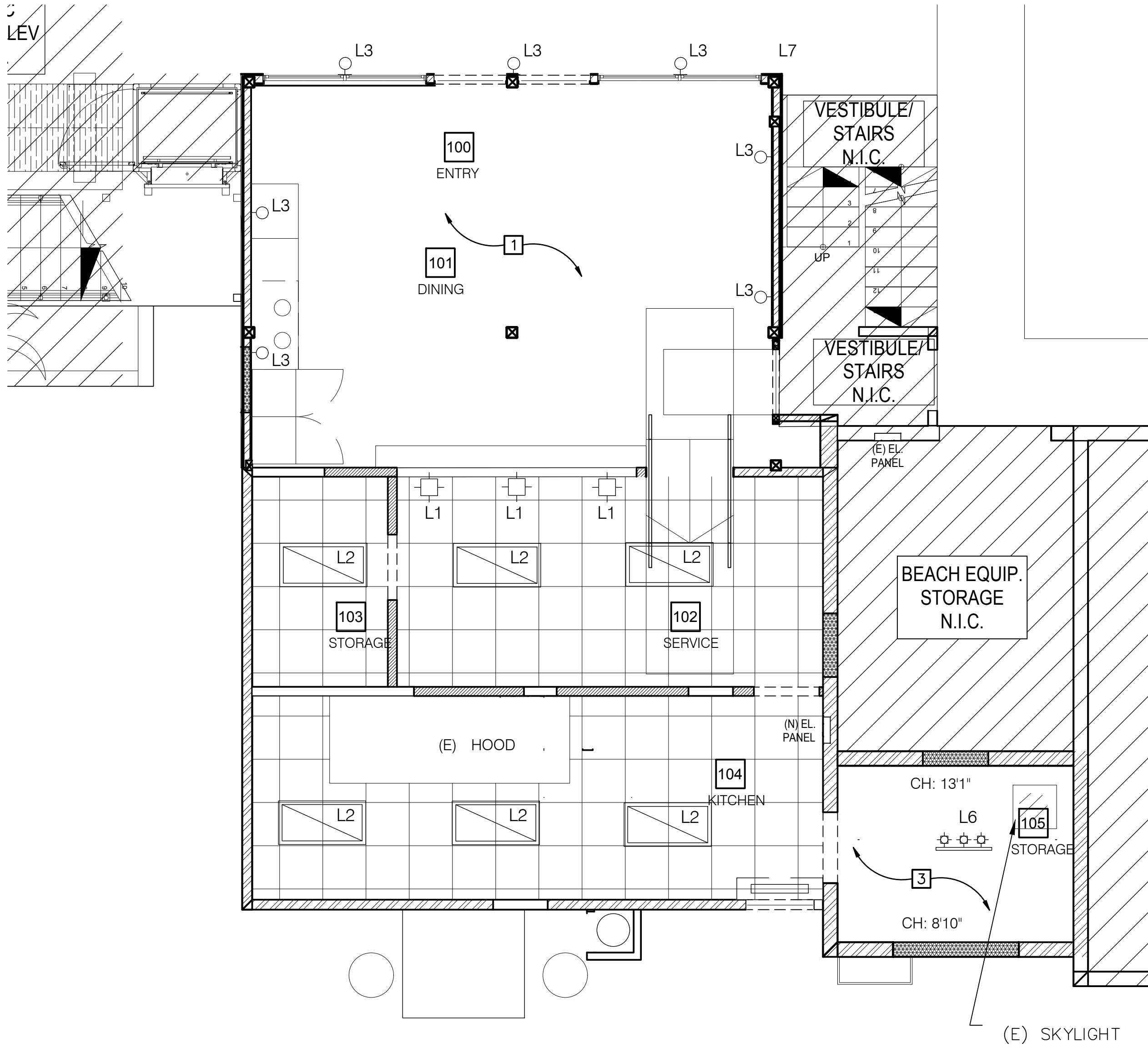
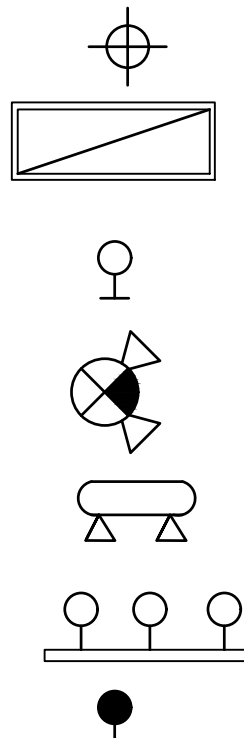
1 ROOF TOP DECK
REFLECTED CEILING PLAN
1/4" = 1'-0"

GENERAL NOTES

- EXITS SIGNS SHALL BE ILLUMINATED AT ALL TIMES. TO ENSURE CONTINUED ILLUMINATION FOR A DURATION OF NO LESS THAN 90 MINUTES IN CASE OF PRIMARY POWER LOSS, THE SIGN ILLUMINATION MEANS SHALL BE CONNECTED TO AN EMERGENCY POWER SYSTEM PROVIDED FROM STORAGE BATTERIES, UNIT EQUIPMENT OR AN ON-SITE GENERATOR. THE INSTALLATION OF THE EMERGENCY POWER SYSTEM SHALL BE IN ACCORDANCE WITH SECTION 604. (CFC 1013.6.3)
- SEE ENGINEERING DRAWINGS FOR LIGHTING SPECIFICATIONS.

SEE ELECTRICAL PLANS FOR EXACT LOCATIONS

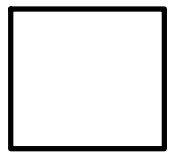
- L1 PENDANT LED
- L2 2X4 LED
- L3 LED INDOOR/OUTDOOR WALL SCONCE
- L4 EXIT SIGN W/ EMERGENCY LIGHTING - 90 MIN BATTERY BACKUP
- L5 LED EMERGENCY PACK LIGHT W/ 90MIN BATTERY BACKUP
- L6 LED TRACK LIGHTING
- L7 LED STRING LIGHTING

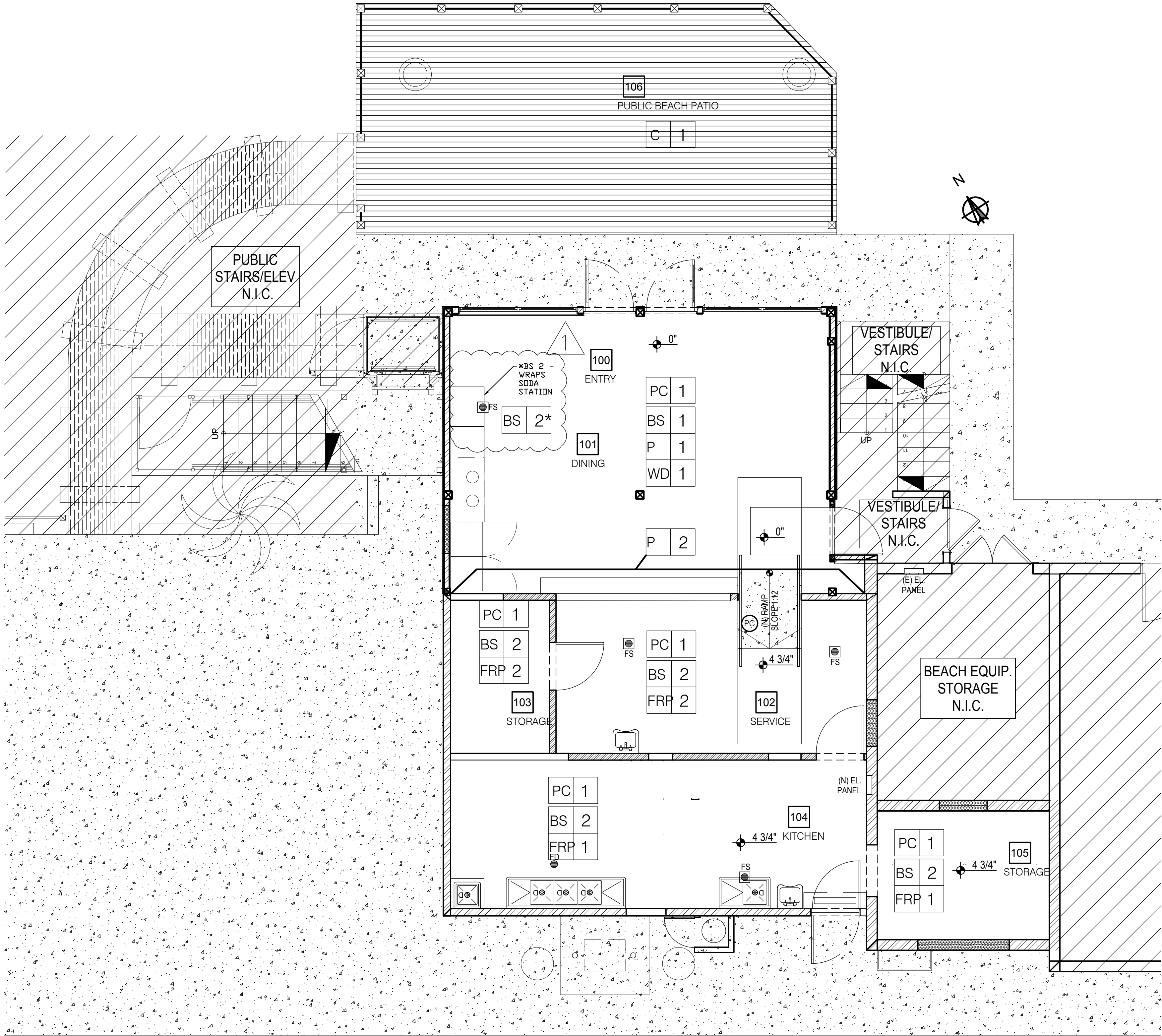


1 MAIN LEVEL
REFLECTED CEILING PLAN
1/4" = 1'-0"

SYMBOLS

- EXISTING EXPOSED CEILING JOISTS TO (+/- 7'-2") TO BOTTOM OF (E) DECK.
- KITCHEN RATED 24X24 ACOUSTICAL CEILING TILES AT 7'-10" AFF
- EXISTING EXPOSED SLOPED ROOF JOISTS WITH (E) SKYLIGHT. COVER WITH GYPSUM BOARD HARD LID CEILING.





1 FINISH PLAN
1/4" = 1' - 0"

FINISH SCHEDULE				
	FLOOR	FLOOR BASE OR COVE	WALLS	CEILING
KITCHEN	POLISHED CONCRETE	CERAMIC TILE SANITARY COVE BASE UP WALLS 6", 8" RADIUS COVE	FRP	SMOOTH, WASHABLE, NON-ABSORBENT LAY IN CEILING PANELS
DINING/GRAB N GO	POLISHED CONCRETE	4" H WOOD BASE WITH GLOSSY ENAMEL PAINT	BEADBOARD WALL WITH GLOSSY ENAMEL PAINT	OPEN CEILING, WITH ENAMEL PAINT
SERVICE COUNTER	POLISHED CONCRETE	CERAMIC TILE SANITARY COVE BASE, UP WALLS 6", 8" RADIUS COVE*	FRP	SMOOTH, WASHABLE, NON-ABSORBENT LAY IN CEILING PANELS

INTERIOR WALL AND CEILING FINISH REQUIREMENTS BY OCCUPANCY			
NON SPRINKLERED			
GROUP	INTERIOR EXIT STAIRWAYS AND INTERIOR EXIT RAMPS AND EXIT PASSAGEWAYS	CORRIDORS AND ENCLOSURE FOR EXIT ACCESS STAIRWAYS AND EXIT ACCESS RAMP	ROOMS AND ENCLOSED SPACES
B	B	C	C

* LOBBY AREAS IN THIS OCCUPANCY GROUP SHALL NOT BE LESS THAN CLASS B MATERIALS
* CLASS C INTERIOR FINISH MATERIALS SHALL BE ALLOWED IN GROUP A OCCUPANCIES WITH AN OCCUPANT LOAD OF 300 PERSON OR LESS

CLASS A: FLAME SPREAD INDEX 0-25; SMOKED-DEVELOPED INDEX 0-450
CLASS B: FLAME SPREAD INDEX 26-75; SMOKED-DEVELOPED INDEX 0-450
CLASS C: FLAME SPREAD INDEX 76-200; SMOKED-DEVELOPED INDEX 0-450

FLOOR AND WALL FINISH LEGEND

BS 1	ITEM MANUFACTURER STYLE/SIZE COLOR NOTES	WOOD BASE 4" PAINT TO MATCH WALL COLOR FINISH: SEMIGLOSS
BS 2	ITEM MANUFACTURER STYLE/SIZE COLOR NOTES	CERAMIC SANITARY COVE BASE DALTILE S3619T/6X6 SLIM FOOT TBD
PC 1	ITEM MANUFACTURER STYLE/SIZE COLOR REPRESENTATIVE NOTES	POLISHED CONCRETE EXISTING SEE PERFORMANCE SPEC FOR SEALANT REQUIREMENTS
P 1	ITEM MANUFACTURER STYLE/SIZE COLOR REPRESENTATIVE NOTES	PAINT DUNN EDWARDS DEW358 - MILK GLASS -LRV 93 FINISH: GYP BOARD CEILING: SEMIGLOSS/ WALLS: GLOSS
P 2	ITEM MANUFACTURER STYLE/SIZE COLOR REPRESENTATIVE NOTES	PAINT DUNN EDWARDS TBD: (BLACK) FINISH: GLOSS; RAMP RAILING
FRP 1	ITEM MANUFACTURER STYLE/SIZE COLOR REPRESENTATIVE NOTES	STANDARD FRP MARLITE SMOOTH SURFACE/ 4X8 S100/S/2/S/ WHITE
FRP 2	ITEM MANUFACTURER STYLE/SIZE COLOR REPRESENTATIVE NOTES	STANDARD FRP MARLITE SMOOTH SURFACE/ 4X8 S100/S/2/S/ BLACK
WD 1	ITEM MANUFACTURER STYLE/SIZE COLOR REPRESENTATIVE	WOOD SHIPLAP PAINTED

MILLWORK FINISHES

Q 1	ITEM MANUFACTURER STYLE/SIZE COLOR REPRESENTATIVE NOTES	QUARTZ EUROSTONE QUARTZ STONE ORANGE
PL 1	ITEM MANUFACTURER STYLE/SIZE COLOR REPRESENTATIVE	LAMINATE WILSON ART TBD

PATIO AND UPPER DECK FINISHES

C 1	ITEM MANUFACTURER STYLE/SIZE COLOR REPRESENTATIVE NOTES	DECK FLOORING WOOD, TREX OR SIMILAR TBD
P 3	ITEM MANUFACTURER STYLE/SIZE COLOR REPRESENTATIVE NOTES	PAINT (SEE A2.01 FOR FULL DETAILS) ARMOR POXY WATERPROOF ACRYLIC, EXTERIOR GRADE

EXTERIOR FINISHES
SEE A2.01

NOTES

- WALL, FLOOR AND CEILING SHALL NOT EXCEED FLAME SPREAD CLASSIFICATIONS CBC T-803.9
- INTERIOR FINISH AND FLOOR COVERING MATERIALS SHALL COMPLY WITH CBC 804.2 / 804.4.1
- DECORATIVE MATERIALS AND TRIM INSTALLED IN BUILDINGS GOVERNED BY THE SFM SHALL COMPLY WITH PROVISIONS OF CBC 806
- P-1: THROUGHOUT, UNLESS OTHERWISE NOTED
- CEILING SHALL BE PAINTED (P-1).
- LEVEL ALL CONCRETE FLOORING AND FILL IN HOLES AND PREP FOR POLISHING.
- WALLS SMOOTH TO RECEIVE PAINT.



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Revision Schedule		
1	02/15/22	DESIGN DEVELOPMENT
	08/24/22	PC SUBMITTAL 1
1	01/11/23	PC SUBMITTAL 2



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Sheet Description

FINISH PLAN

Project No.

Date: 07/23/2021

A4.00



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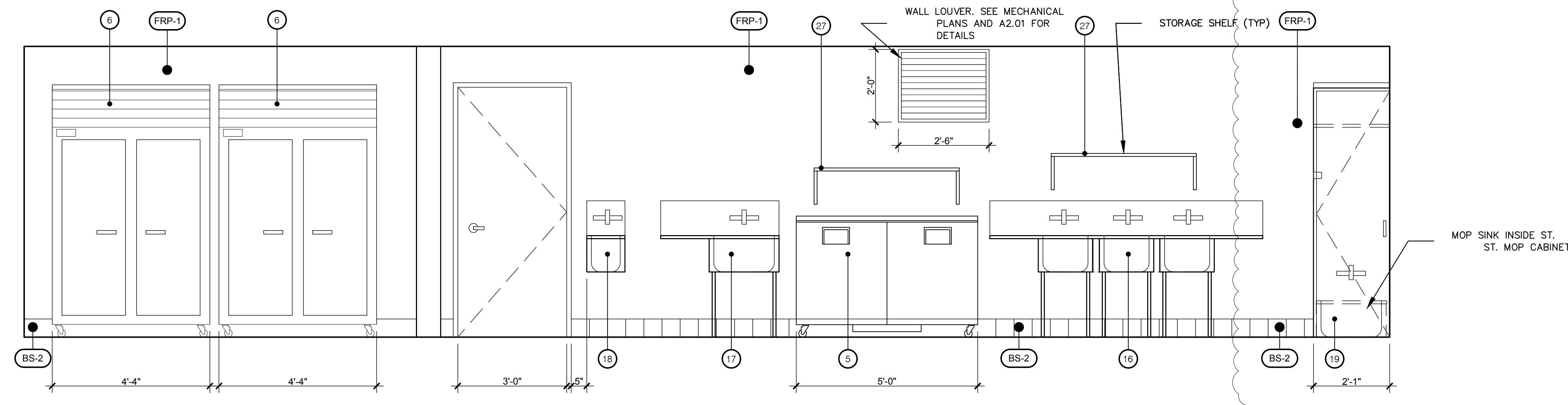
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ELEVATIONS

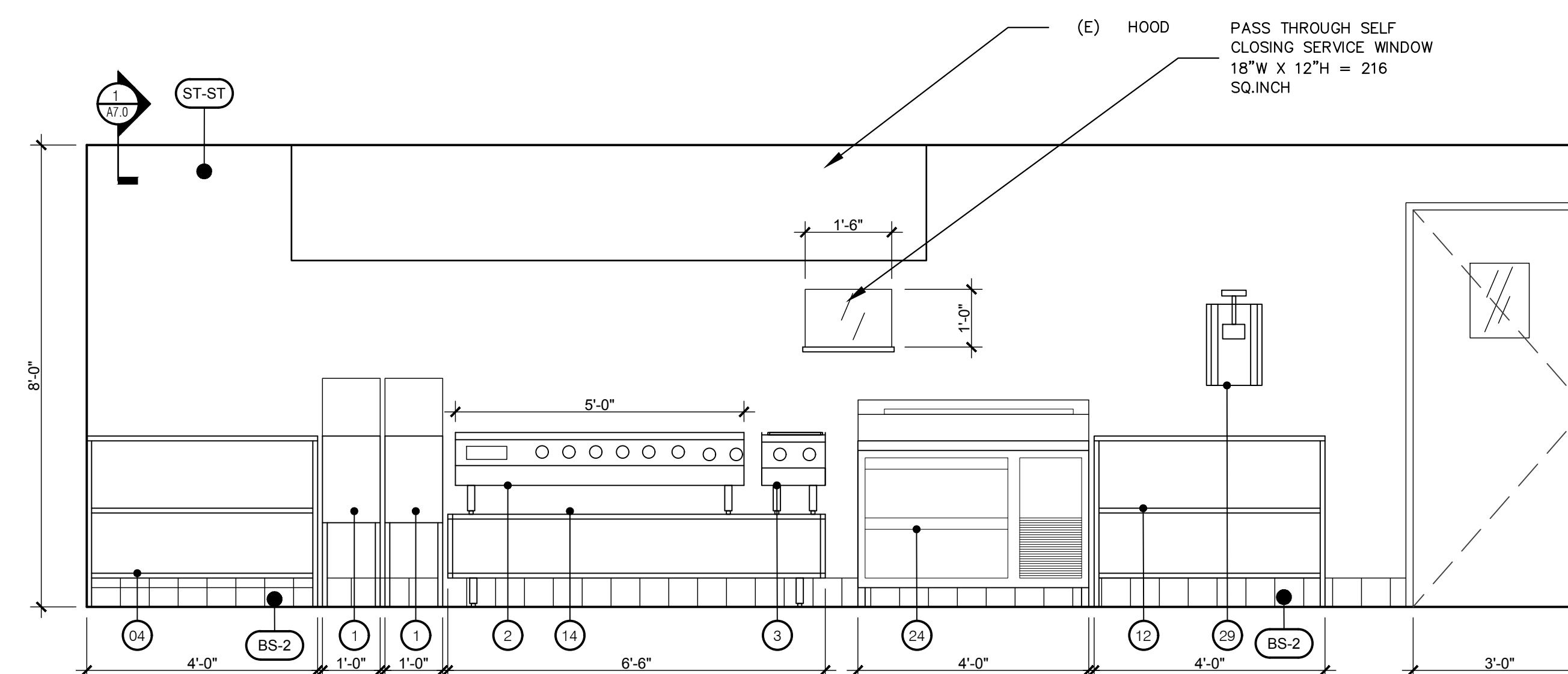
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Date: 07/23/2021

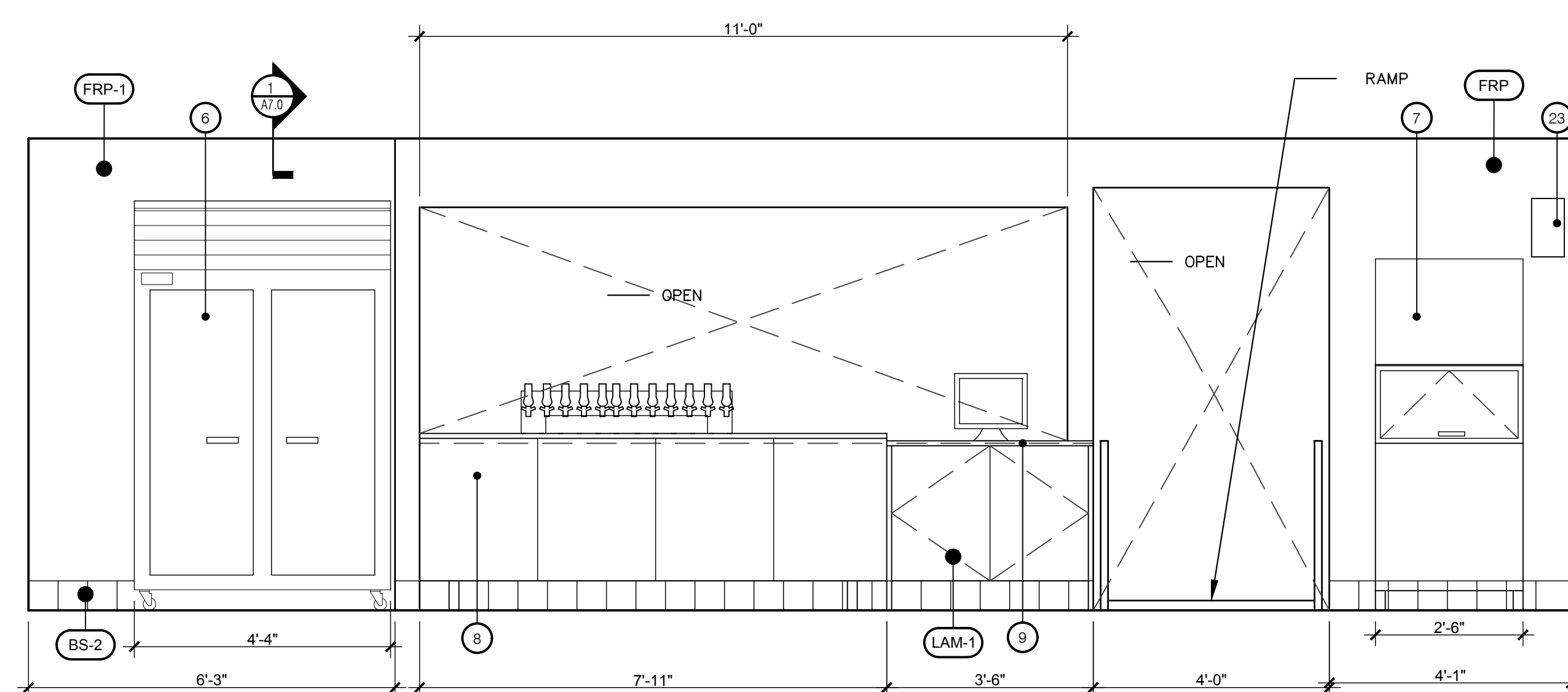
A5.00



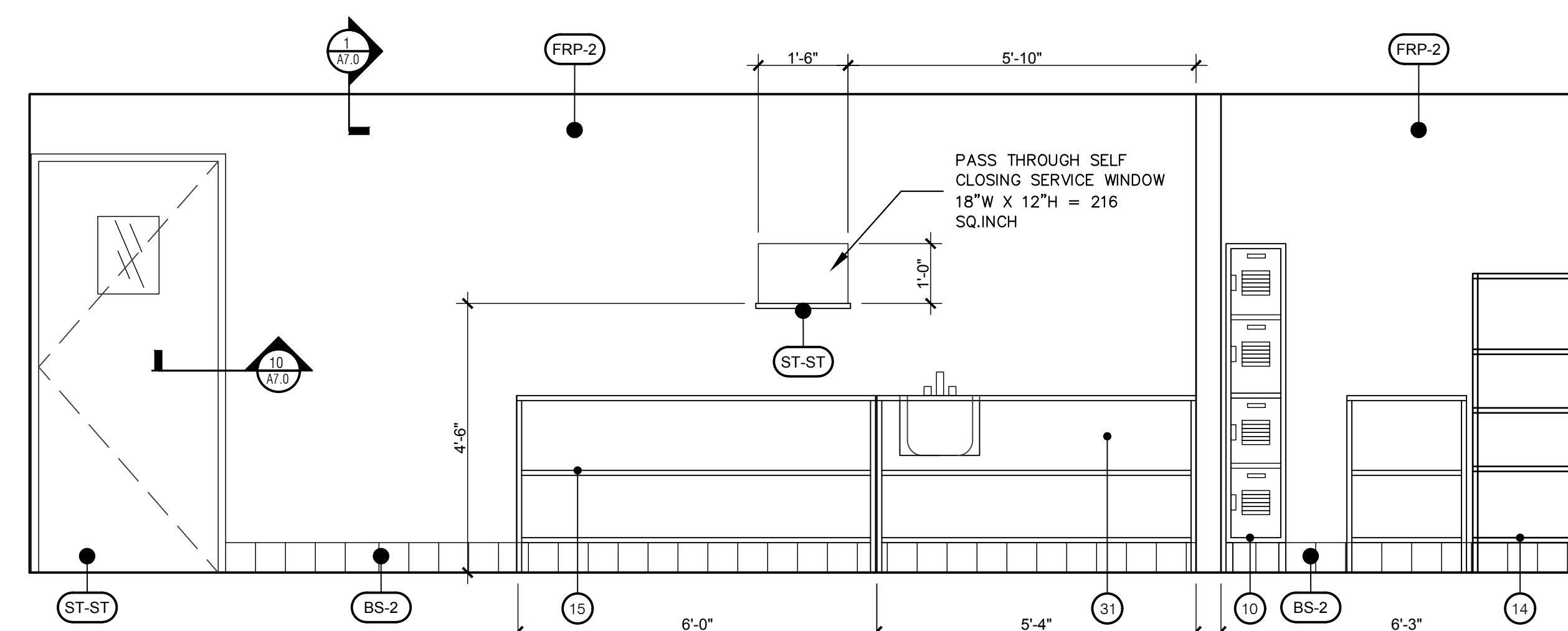
1A ELEVATION KITCHEN
1/2" = 1' - 0"



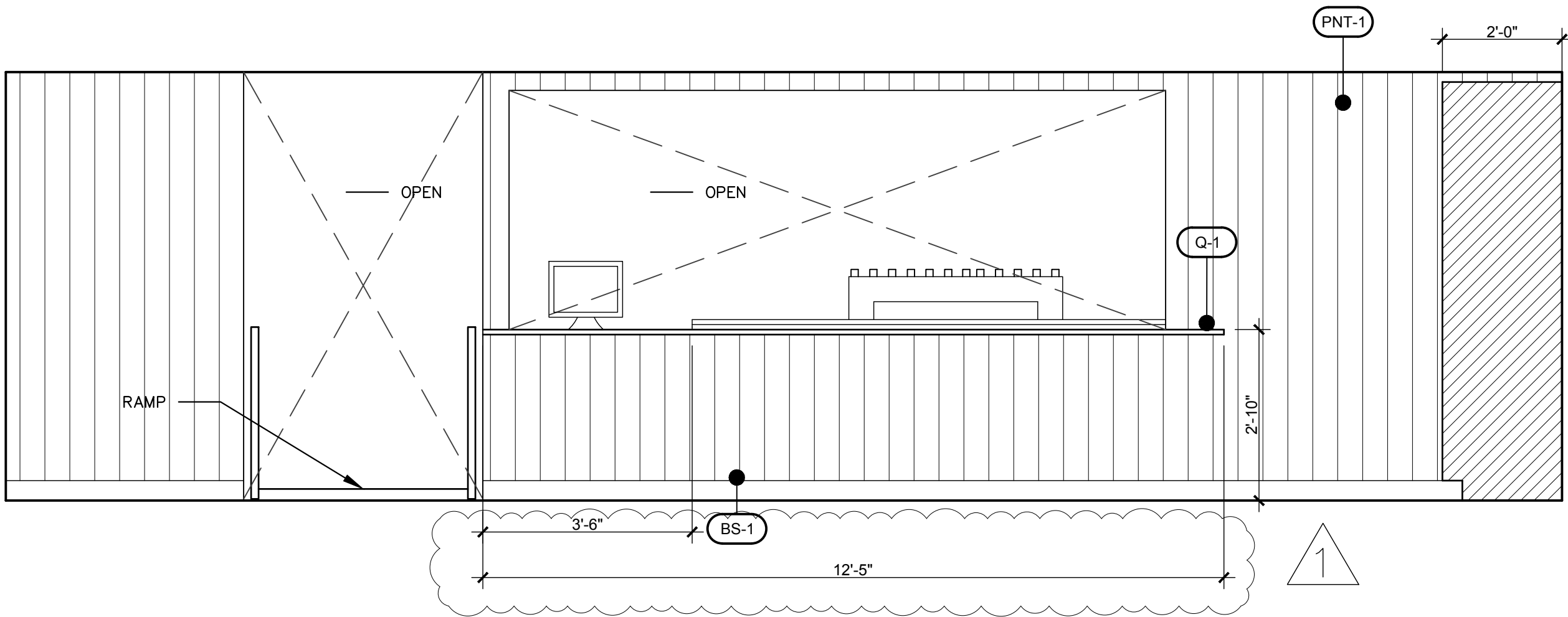
1B ELEVATION KITCHEN



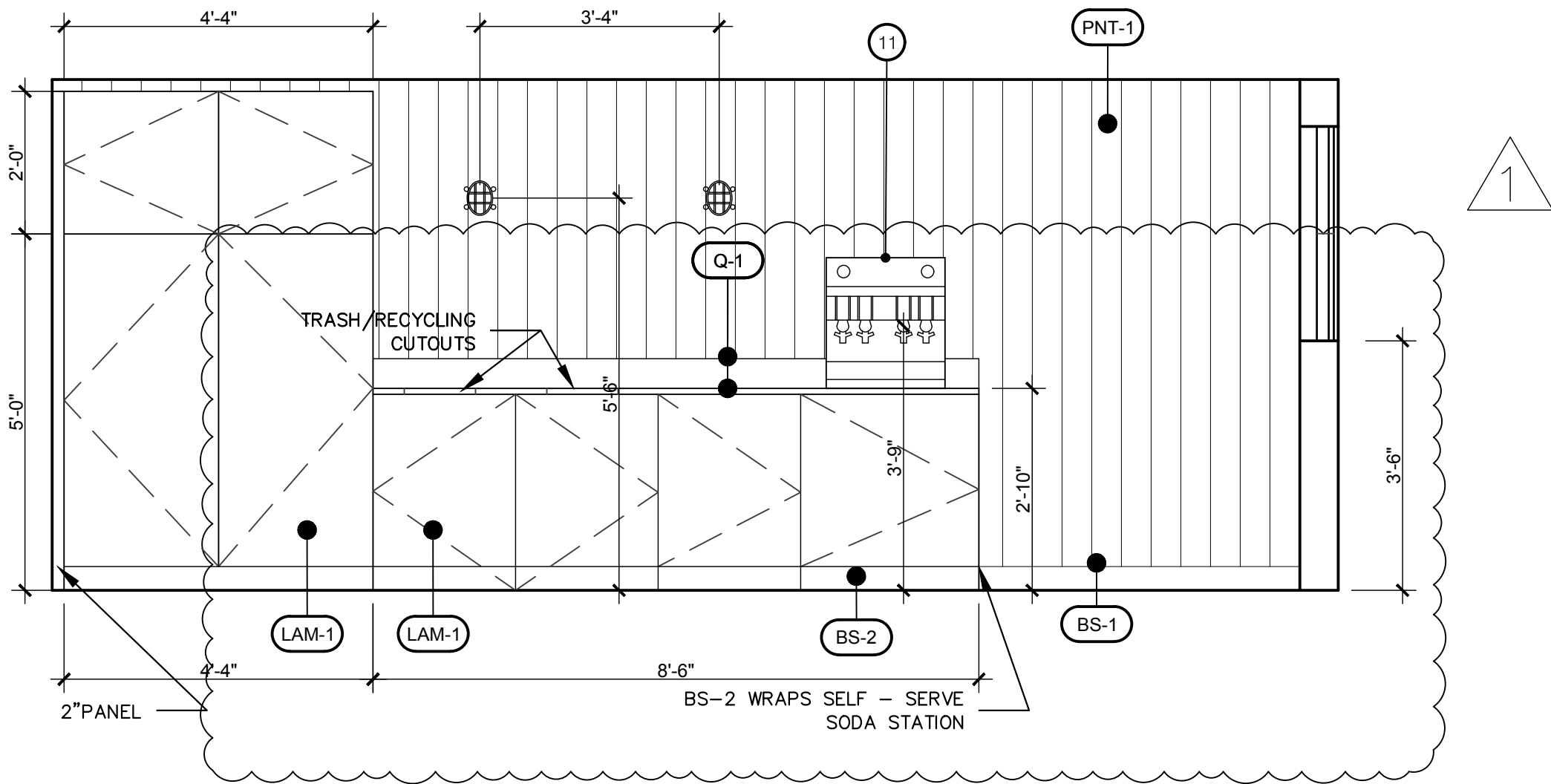
2B ELEVATION SERVICE COUNTER



2A ELEVATION SERVICE COUNTER



1A ELEVATION SERVICE COUNTER
1/2" = 1' - 0"



1B ELEVATION DINING/DRINK COUNTER
1/2" = 1' - 0"



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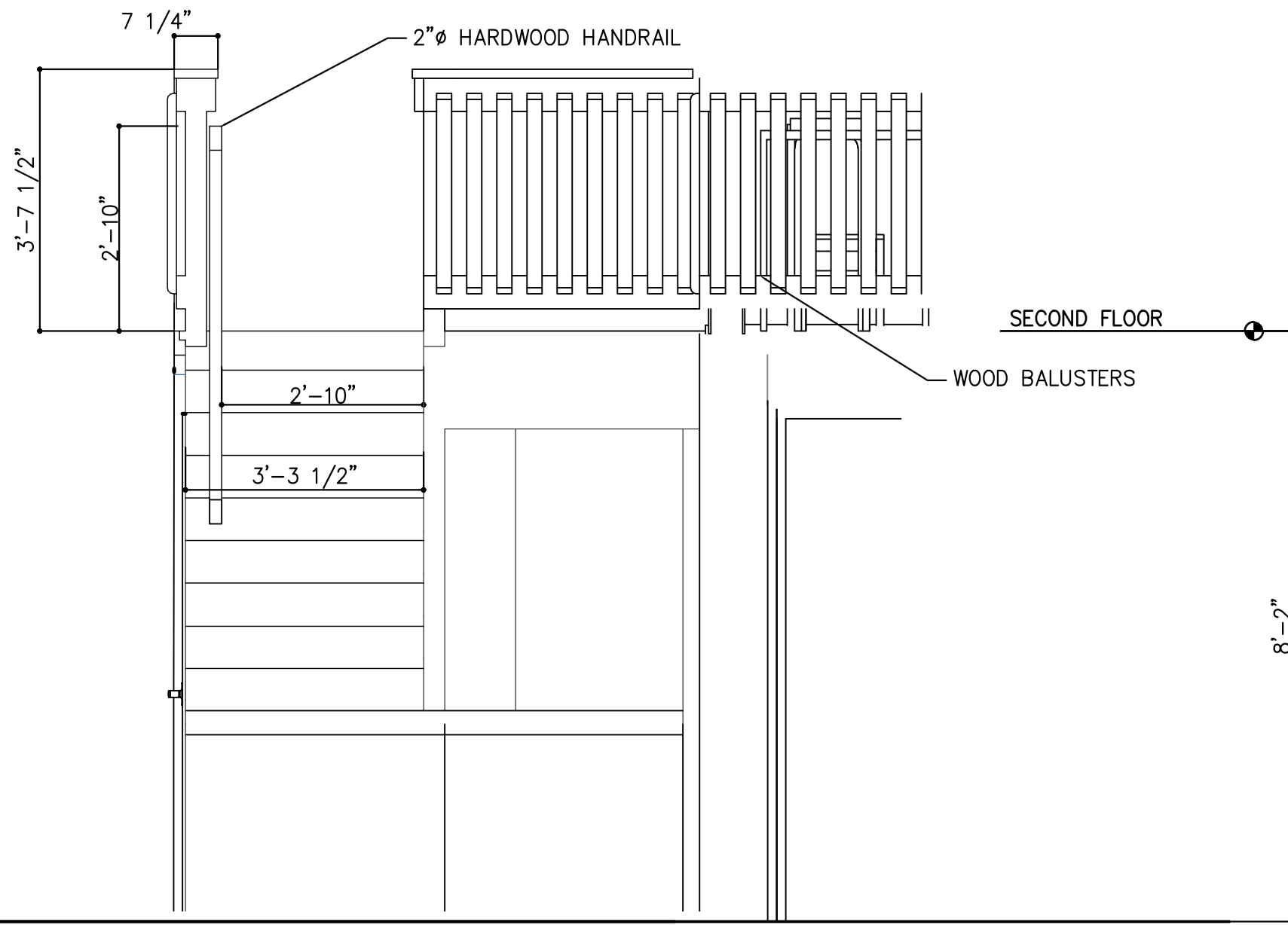
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ELEVATIONS

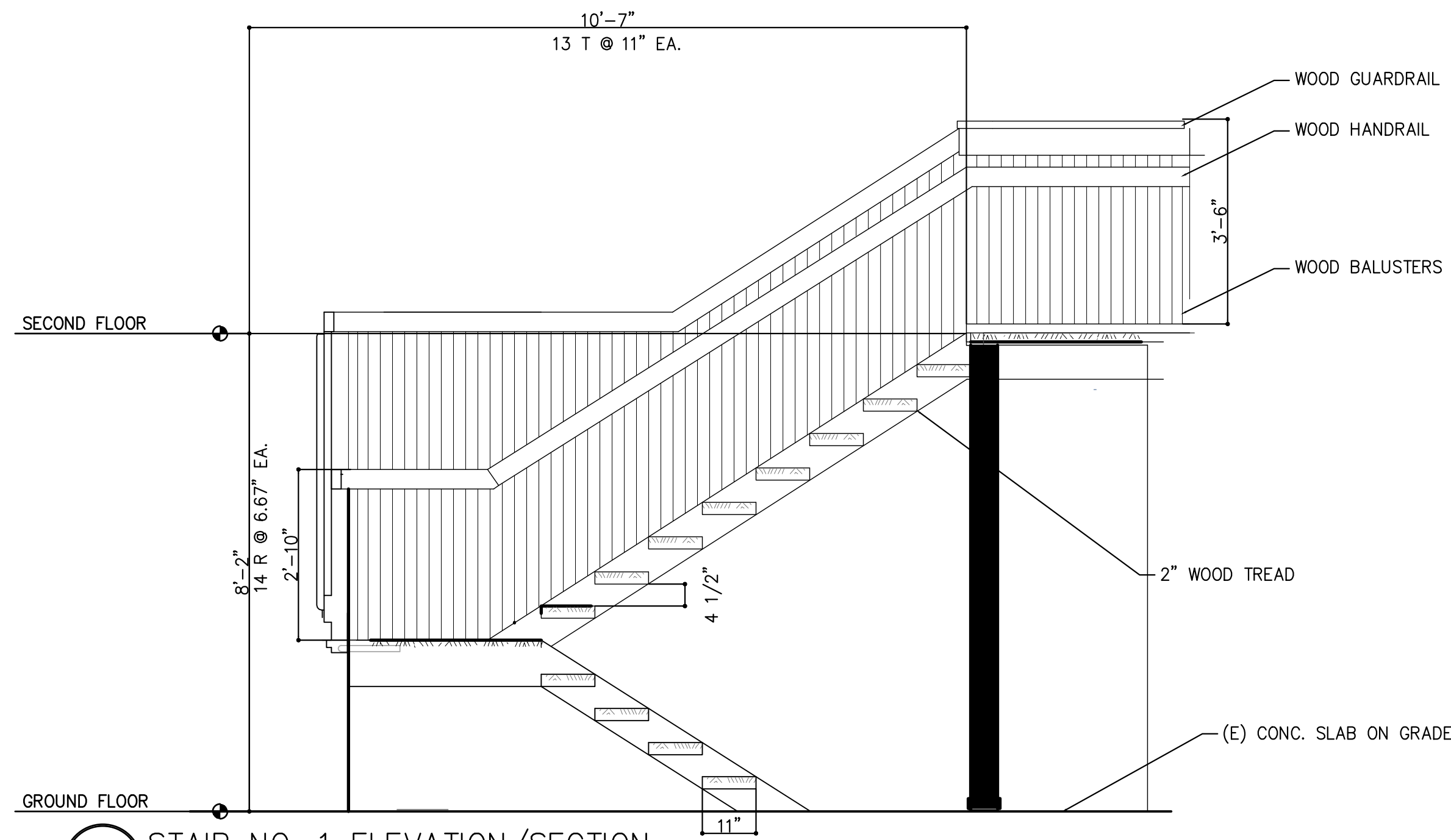
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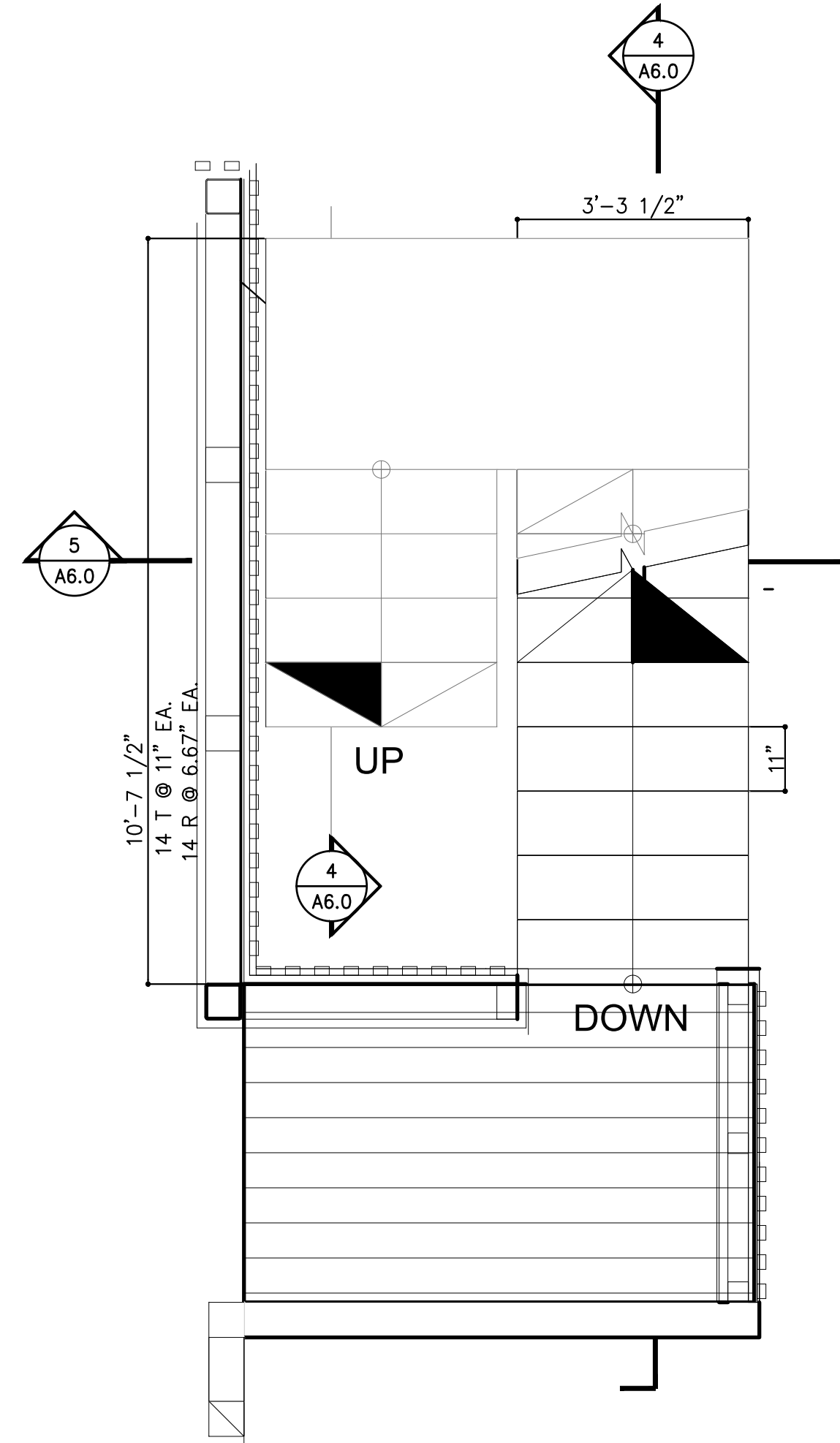
A5.01



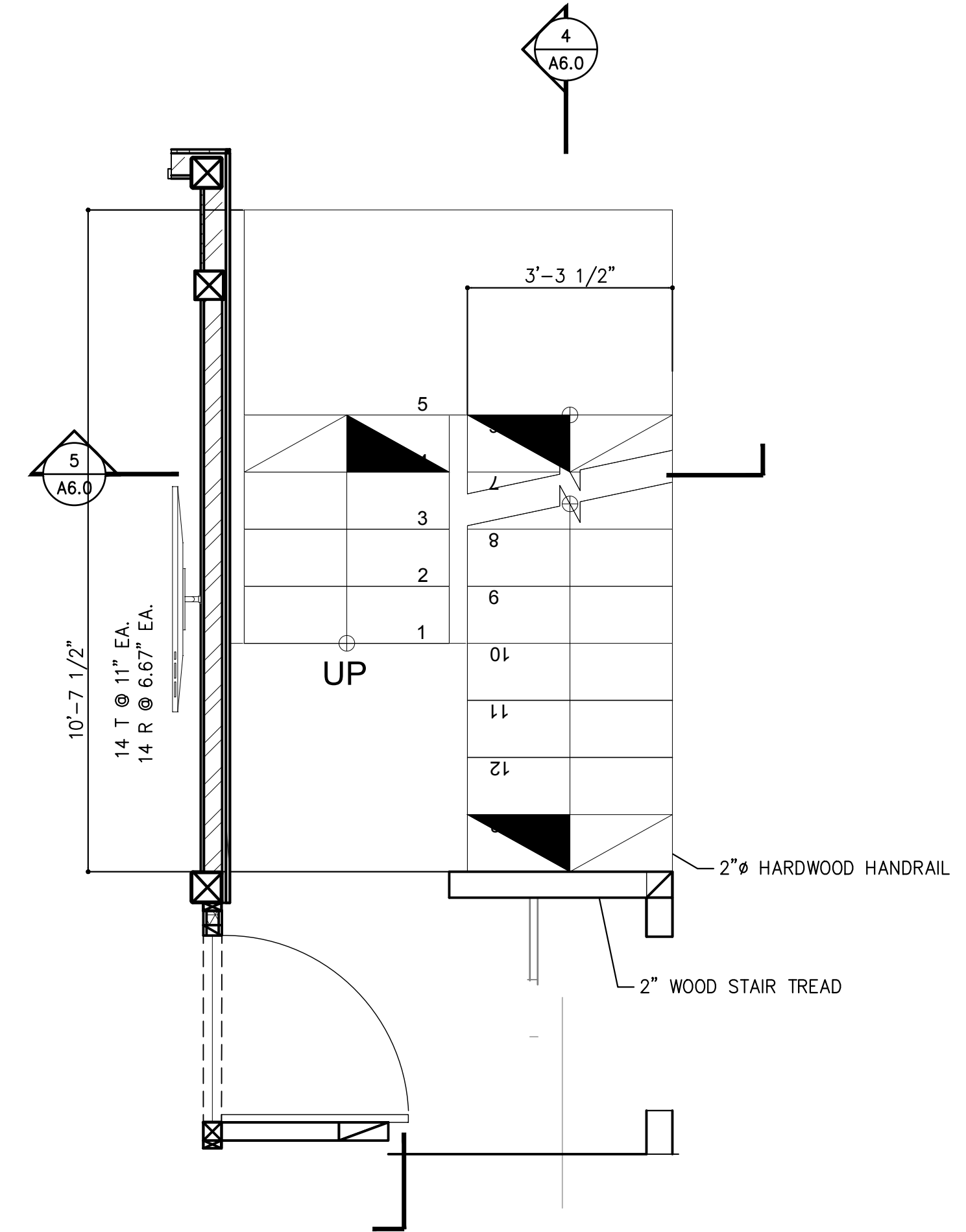
5 CROSS SECTION THRU STAIR/FRONT ELEVATION
A6.0 SCALE: 1/2" = 1'-0"



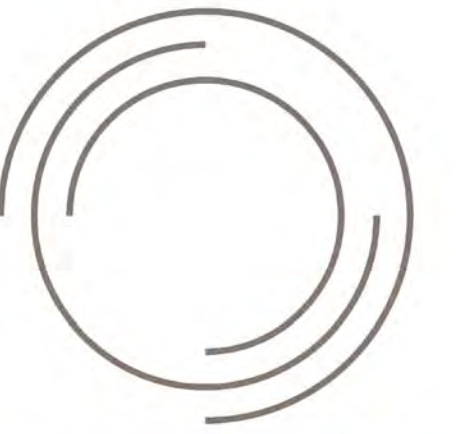
4 STAIR NO. 1 ELEVATION/SECTION
A6.0 SCALE: 1/2" = 1'-0"



2 STAIR NO. 1 SECOND FLOOR PLAN
A6.0 SCALE: 1/2" = 1'-0"



1 STAIR NO. 1 GROUND FLOOR PLAN
A6.0 SCALE: 1/2" = 1'-0"



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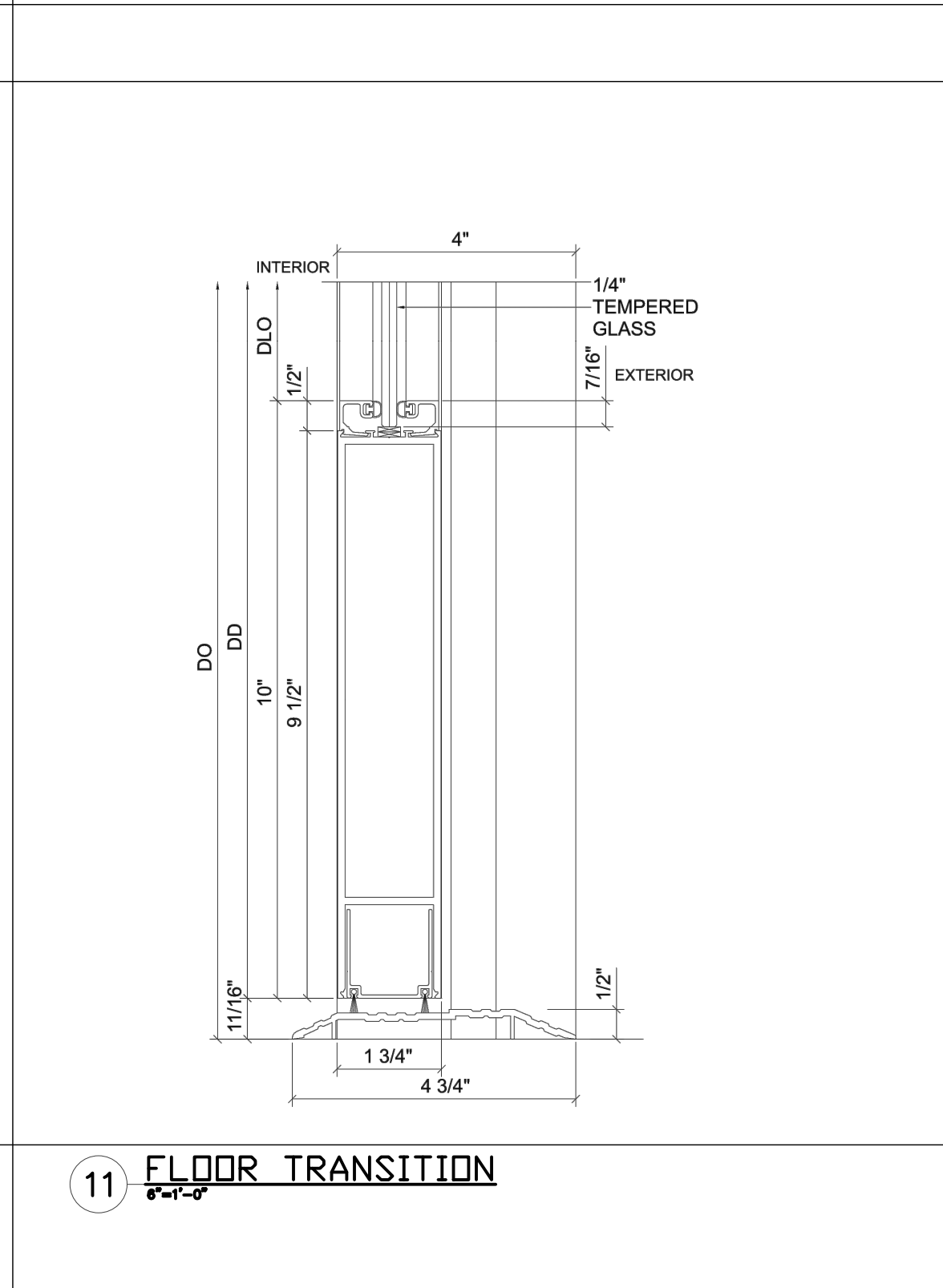
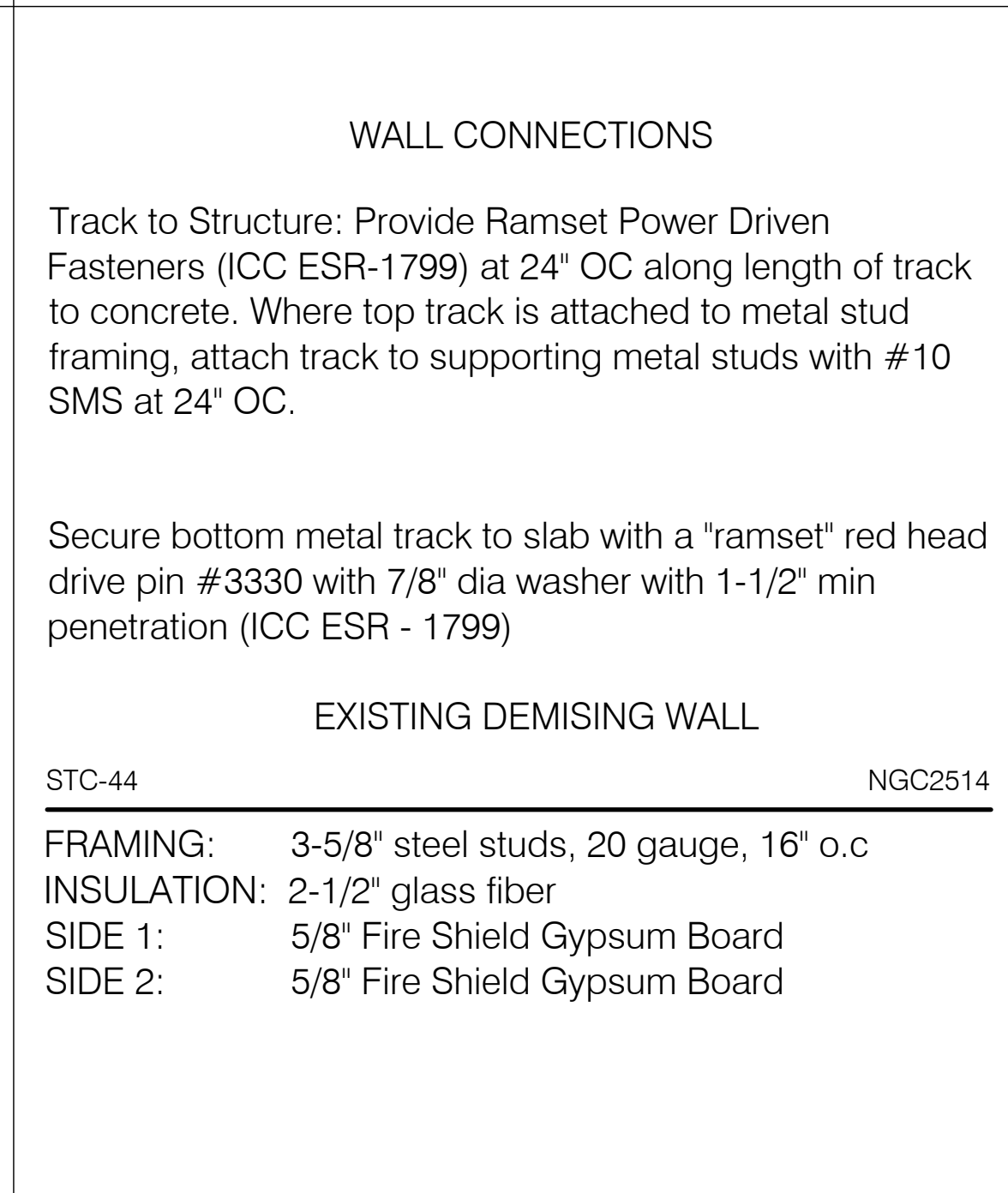
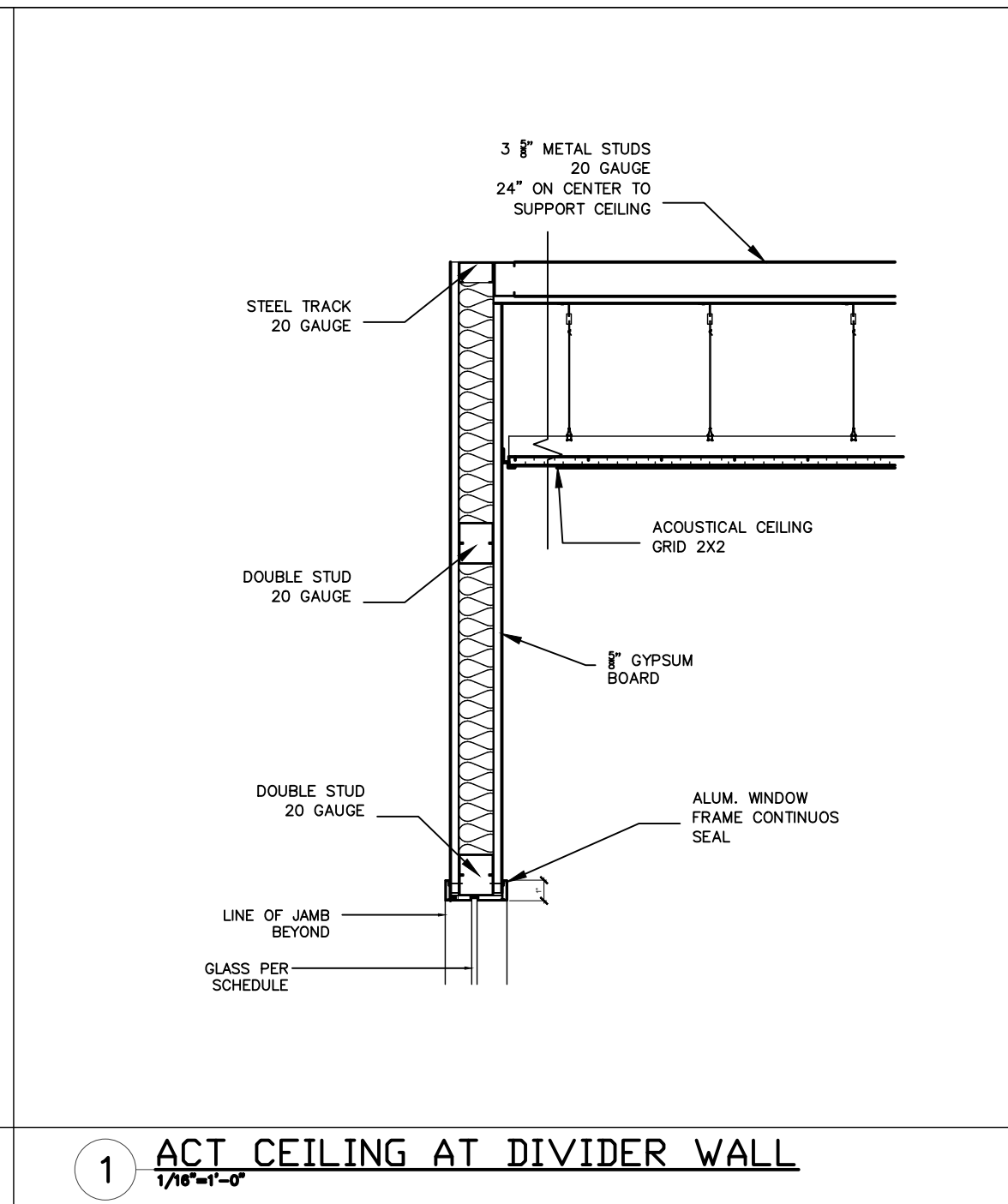
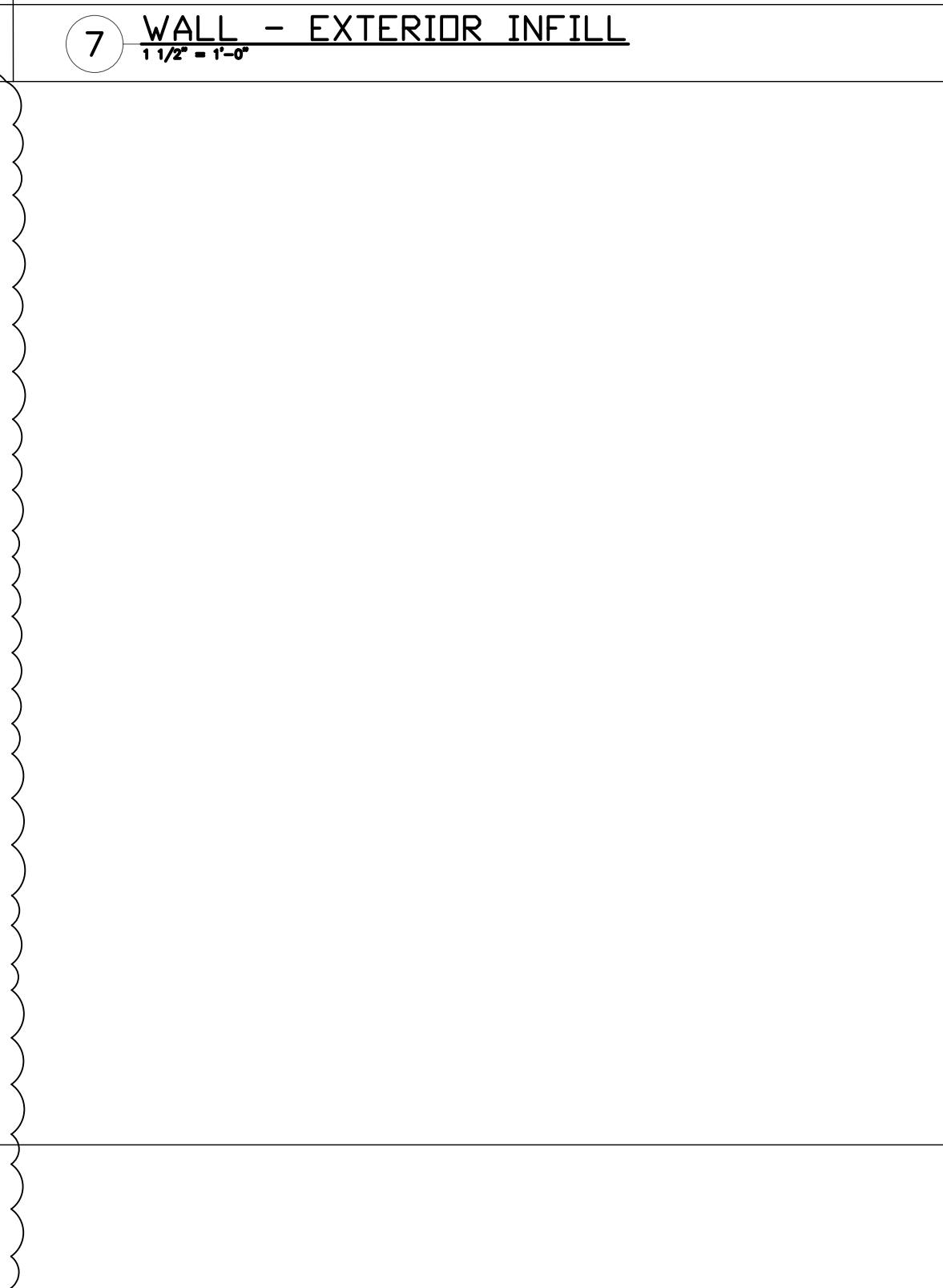
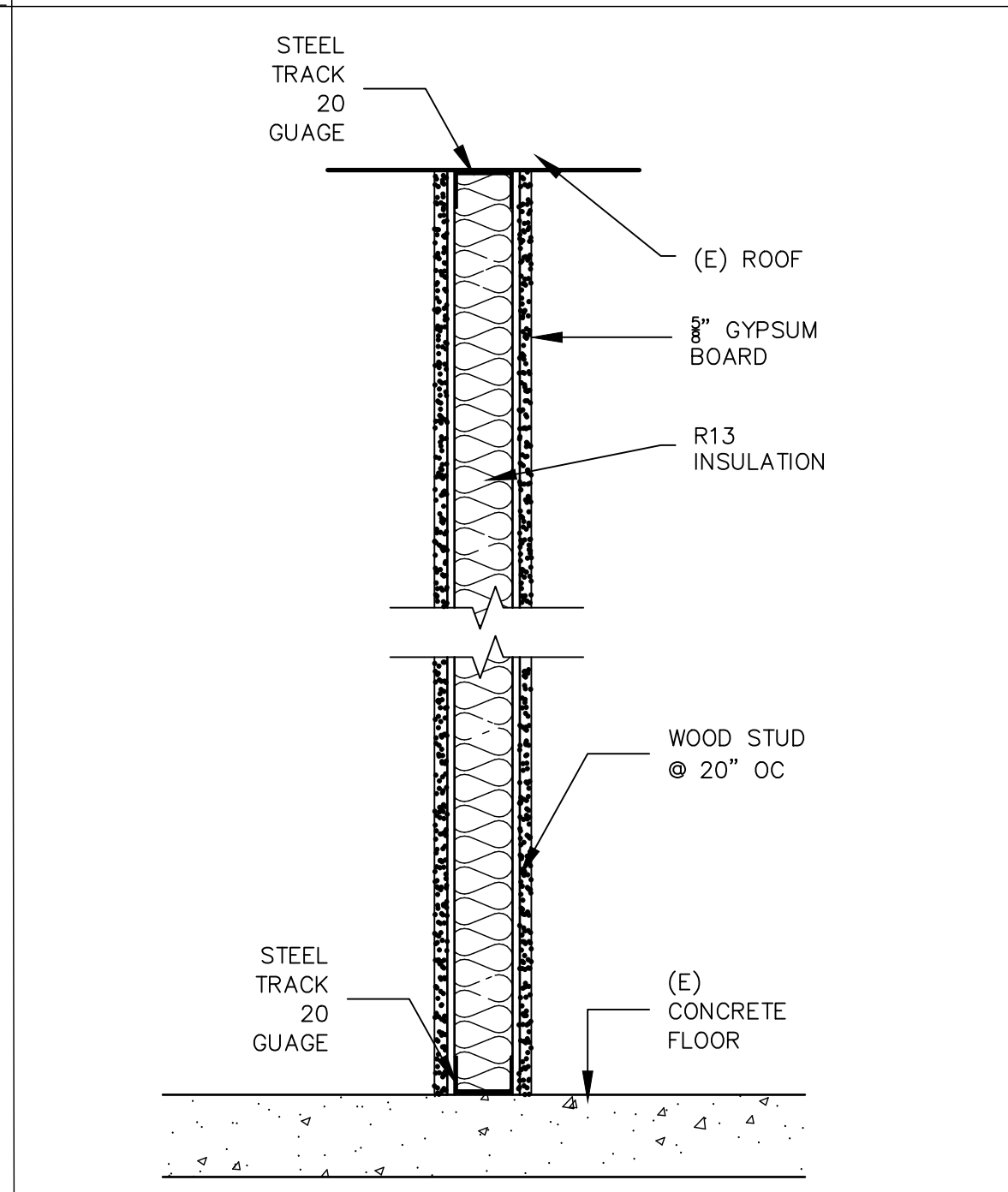
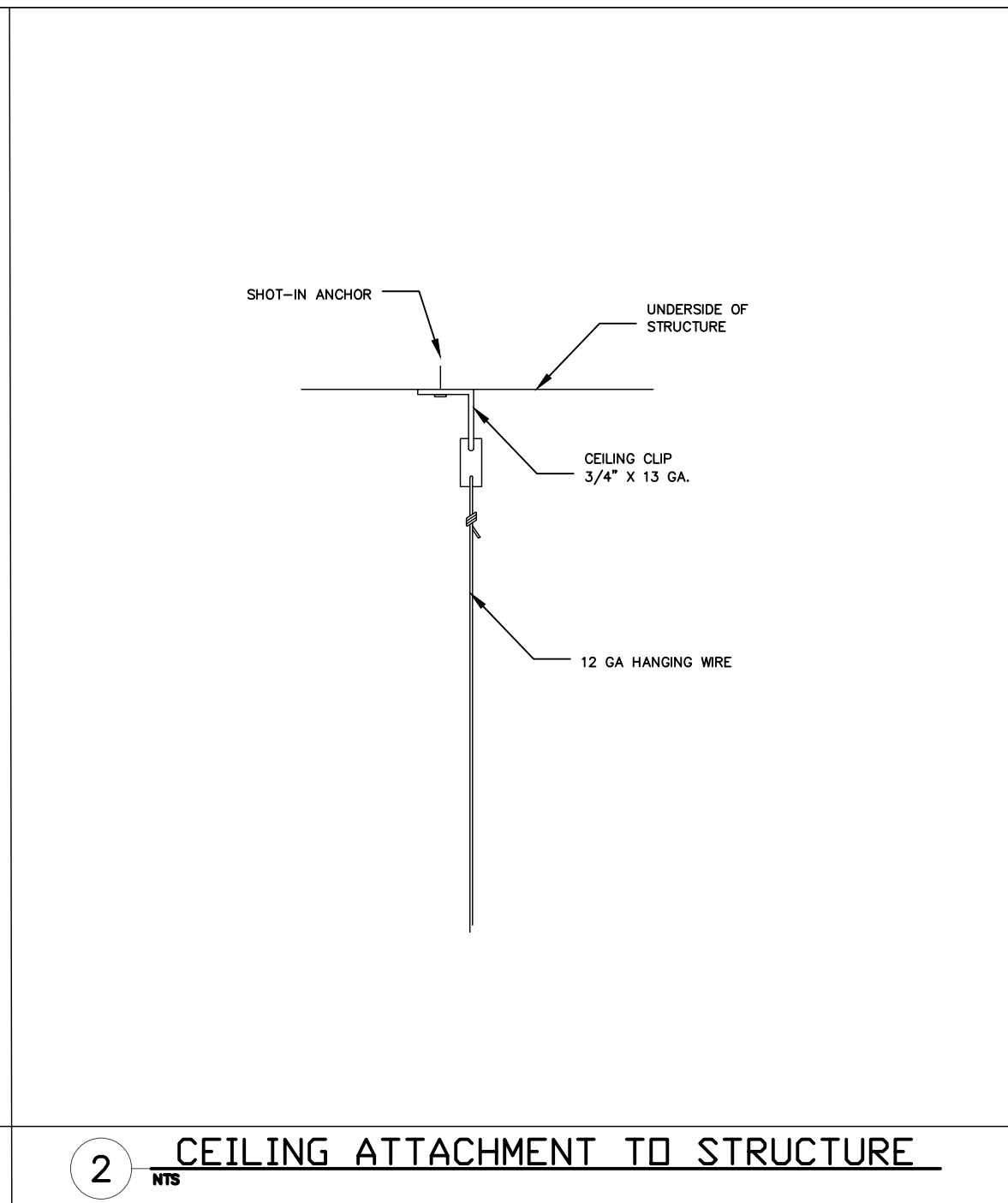
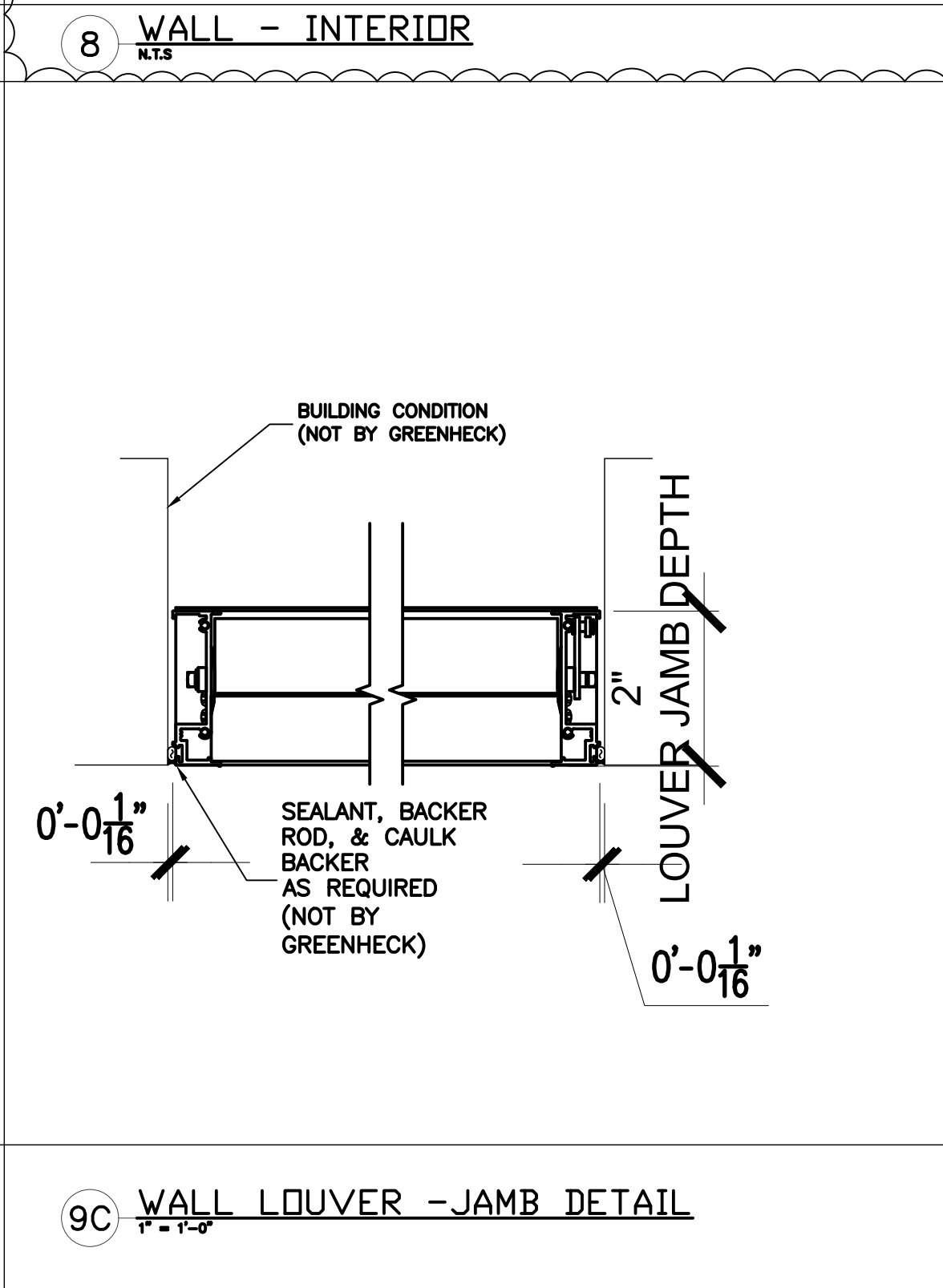
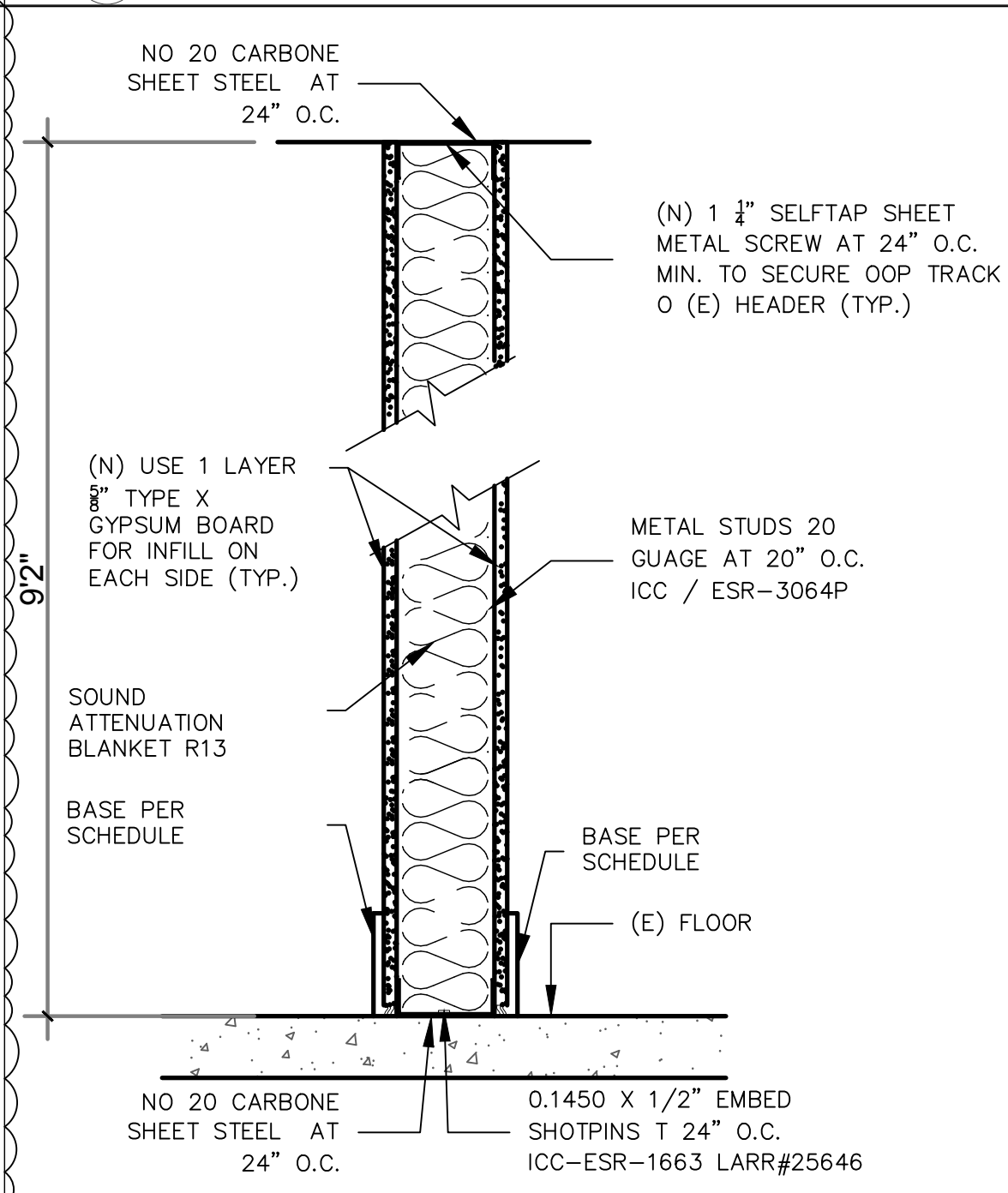
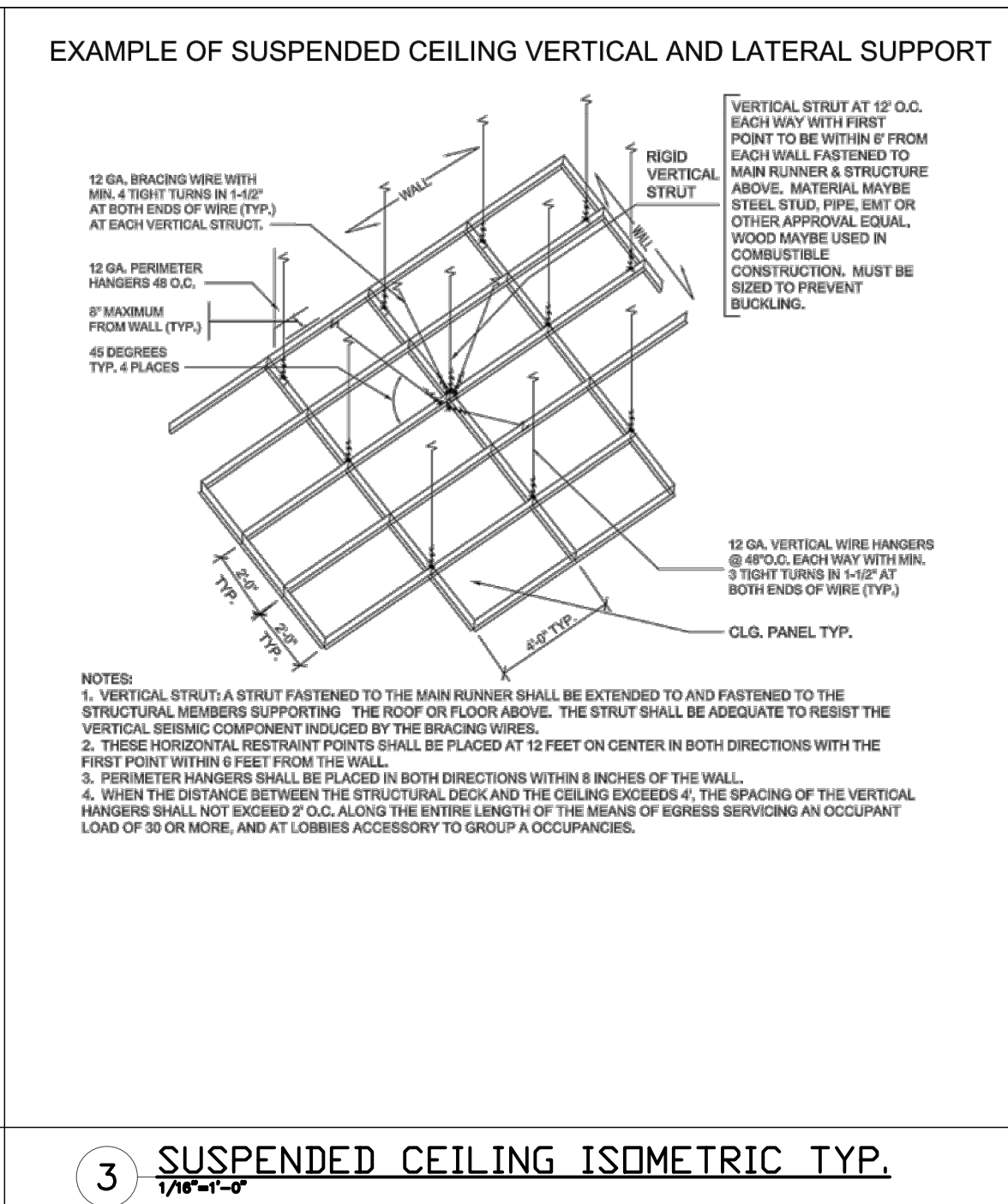
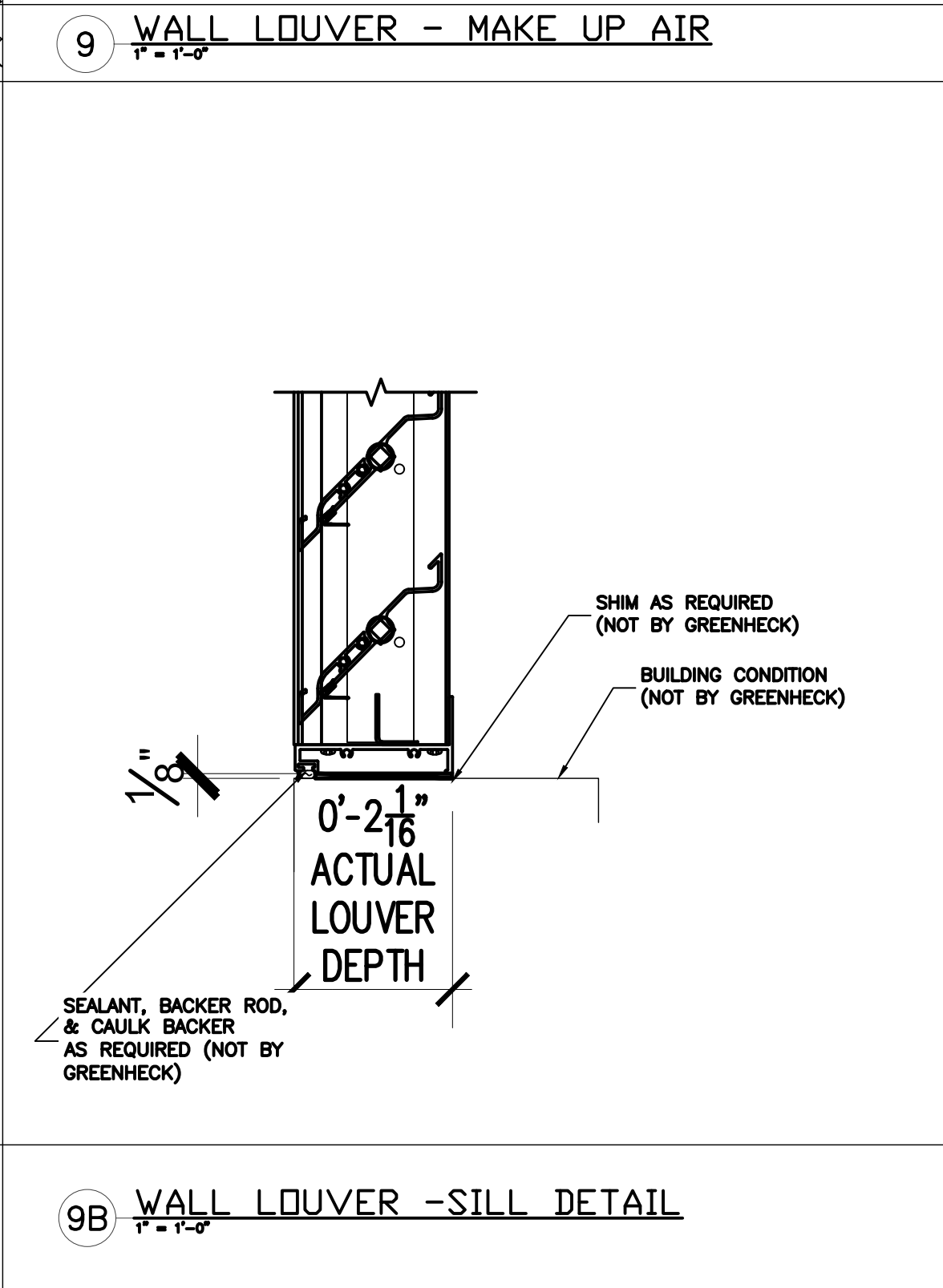
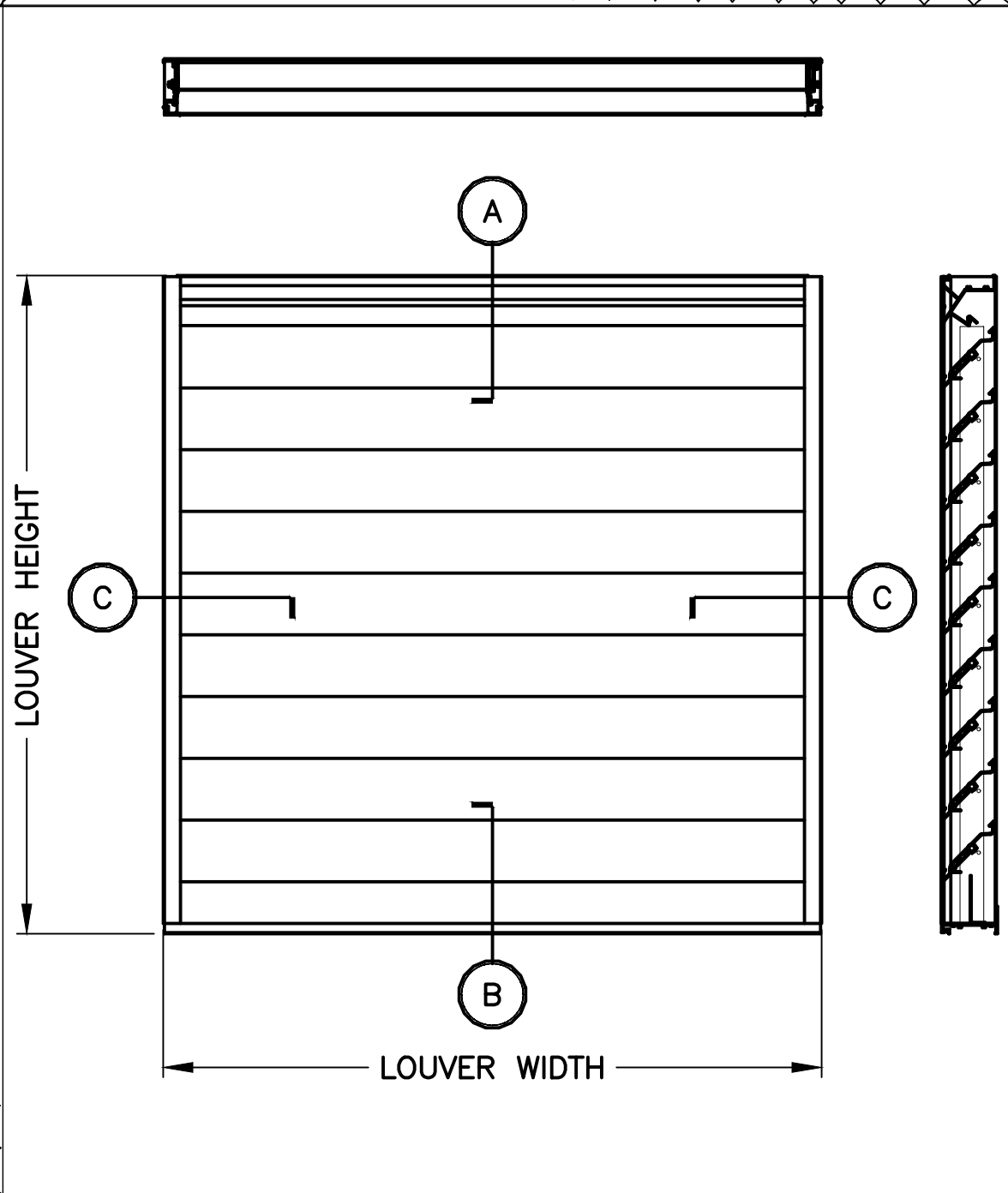
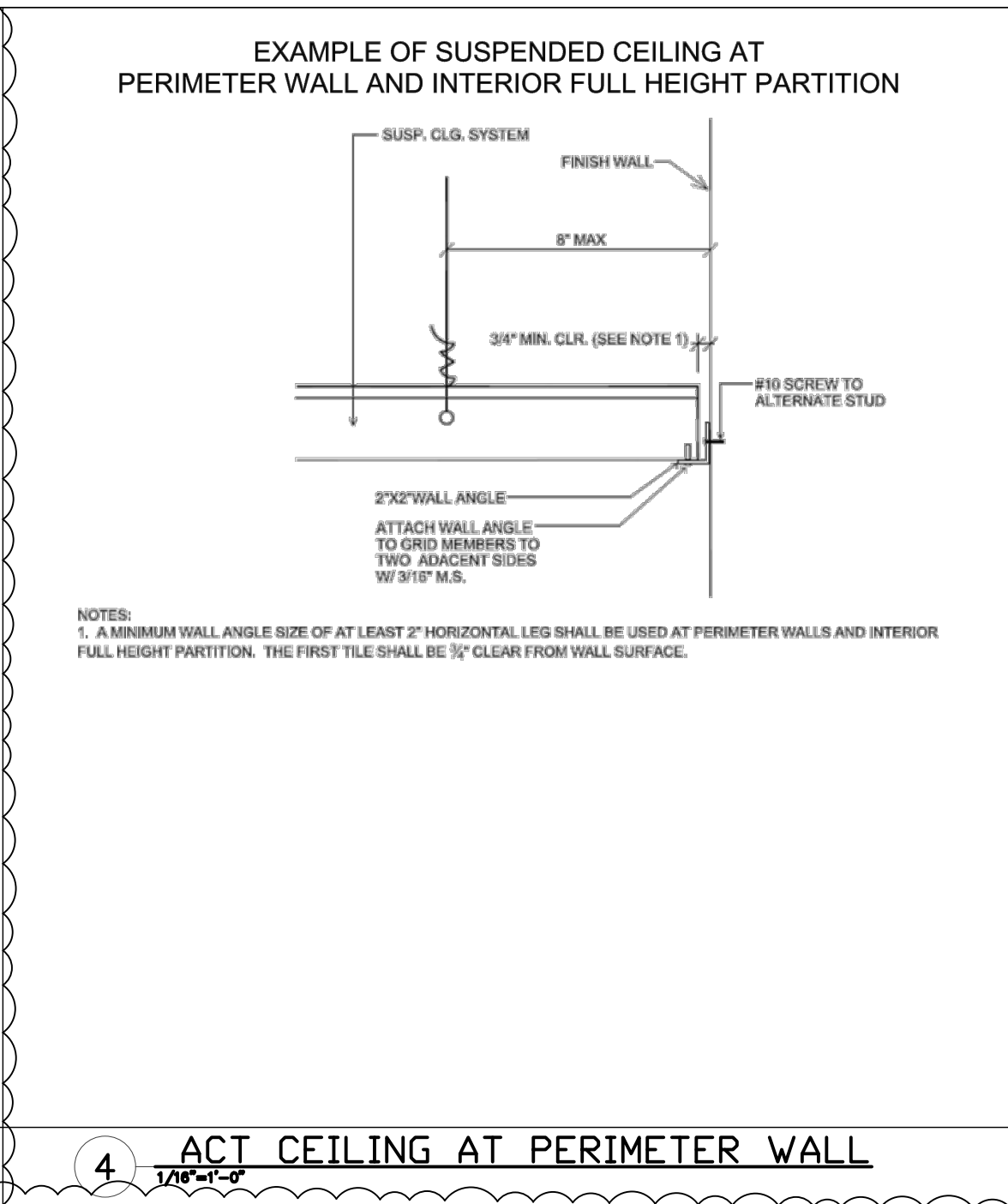
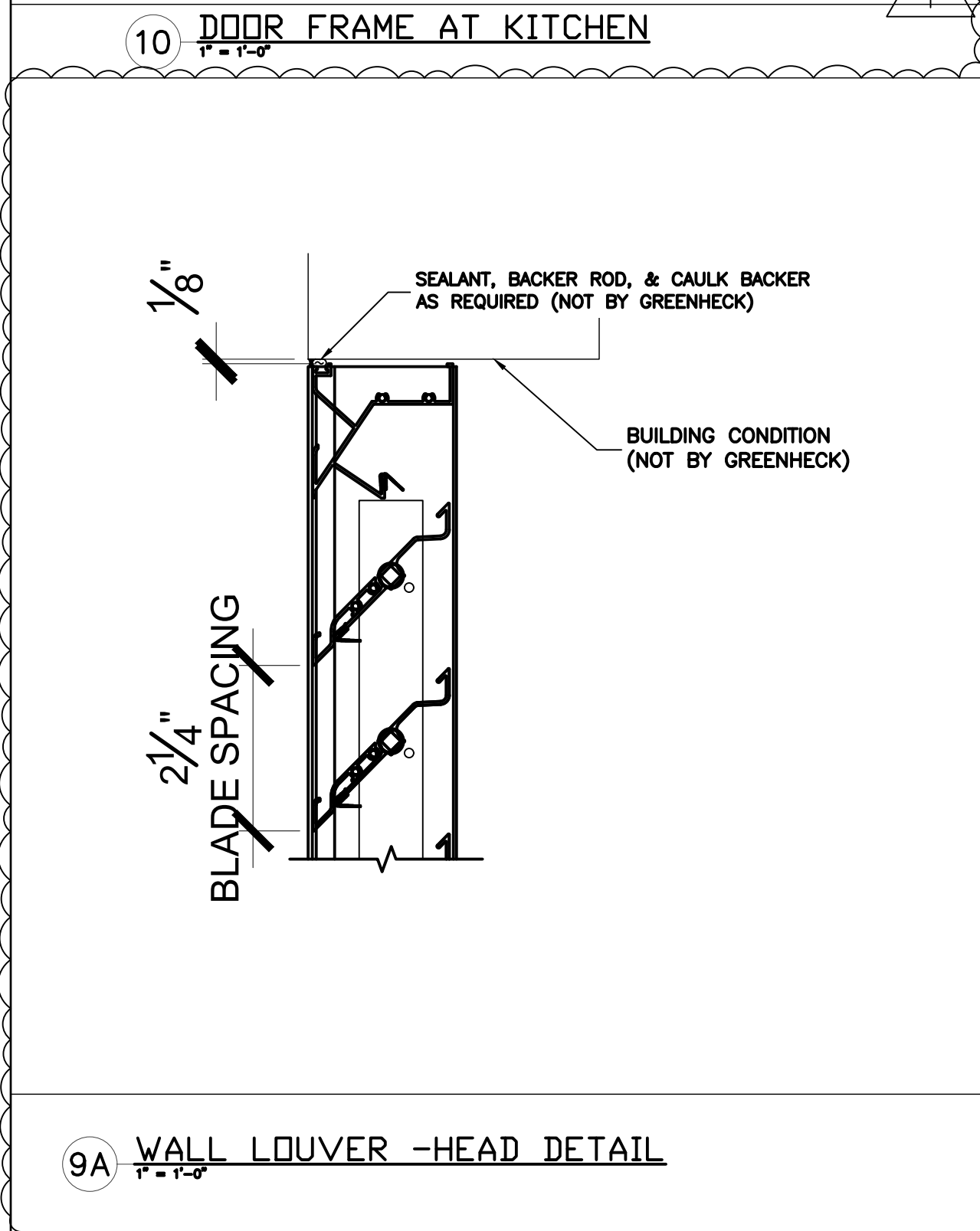
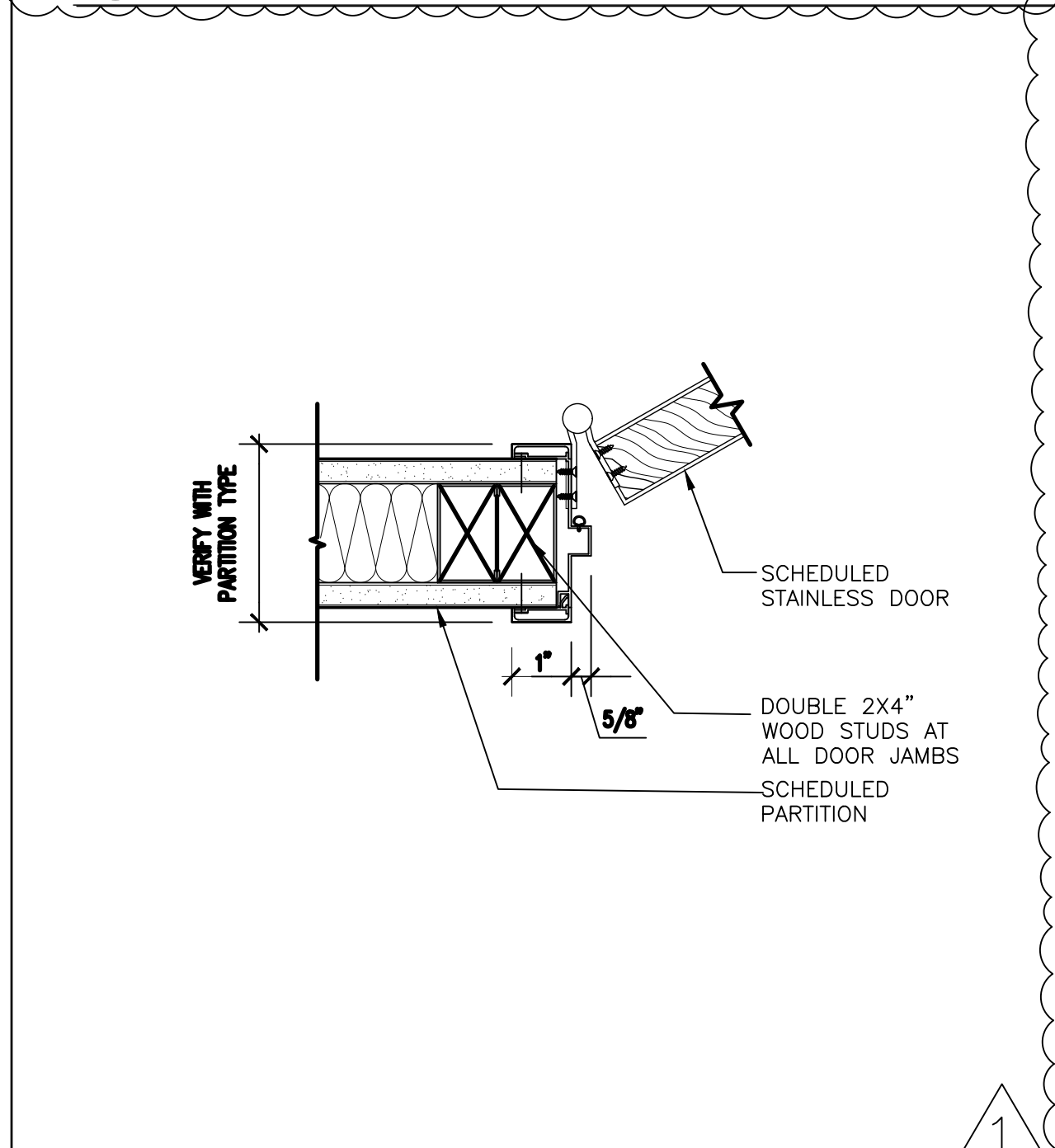
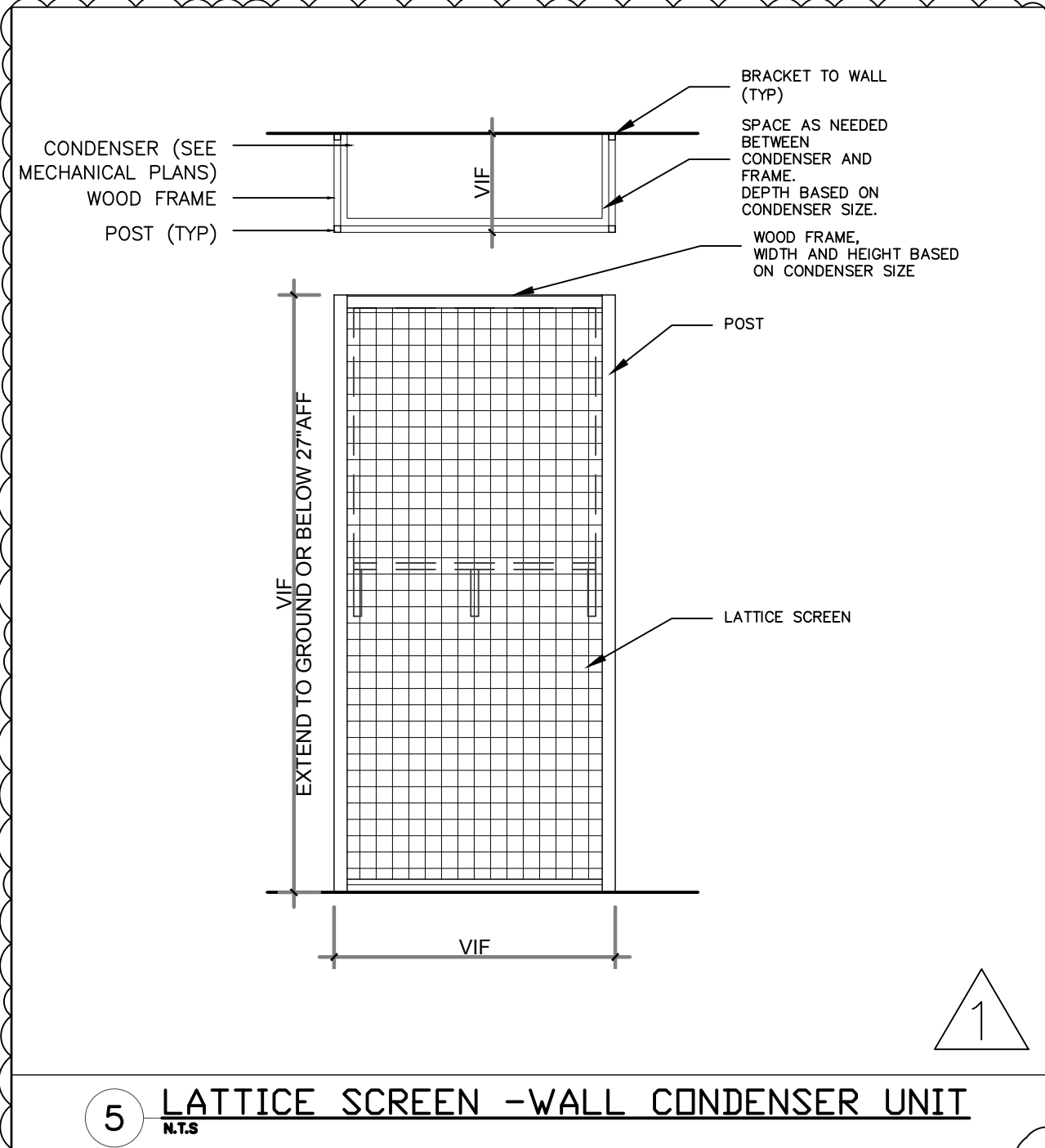
Sheet Description

STAIRS

Project No.

Date:
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SECTION/DETAILS

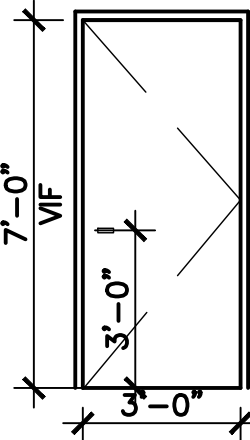
Project No.

Date: 07/23/2021

A7.00

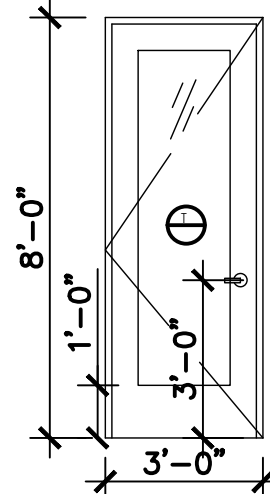
DOOR SCHEDULE												
DOOR NO.	TYPE	HIGH	WIDTH	THICKNESS	MATERIALS	FINISH	FIRE RATING	FRAME MATERIAL	HARDWARE	DOORSTOP	COMMENTS	GLAZING REQUIREMENTS
1	B	8'-0"	3'-0"	0'-1 3/4"	WOOD/GLASS	PAINTED	NR	WOOD	PUSH PULL/LOCK	IVES-FS436	EXIT DOOR	MARINE SAFE BIRD SAFETY; ANTIVANDALISM FILM
1A	B	8'-0"	3'-0"	0'-1 3/4"	WOOD/GLASS	PAINTED	NR	WOOD	PUSH PULL/LOCK	IVES-FS436	EXIT DOOR	MARINE SAFE BIRD SAFETY; ANTIVANDALISM FILM
2	A	8'-0"	3'-0"	0'-1 3/4"	WOOD	PAINTED	NR	METAL	PUSH PULL/LOCK	IVES-FS436	DOUBLE SWING DOOR	N/A
3	D	8'-0"	3'-0"	0'-1 3/4"	ALUM./GLASS	POWDER COATED	NR	N/A	-	-		N/A
4	C	8'-0"	3'-0"	0'-1 3/4"	WOOD	PAINTED	NR	METAL	LEVER/LOCK	IVES-FS436		N/A
5	E/F	8'-0"	3'-0"	0'-1 3/4"	ALUMINUM/ STEEL	PAINTED/ POWDER COATED	NR	METAL	PUSH PULL/LOCK	IVES-FS436	EXISTING, DELIVERY DOOR	N/A

DOOR SCHEDULE



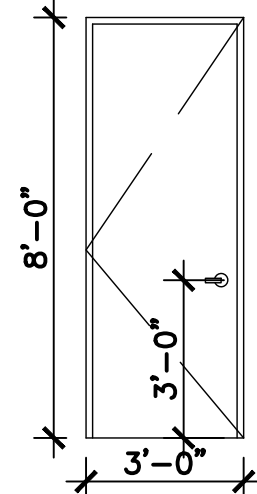
TYPE A

(N) EXTERIOR WOOD DOOR



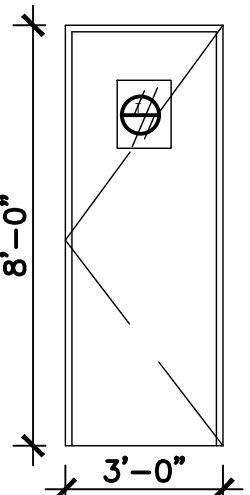
TYPE B

(N) GLASS WOOD DOOR



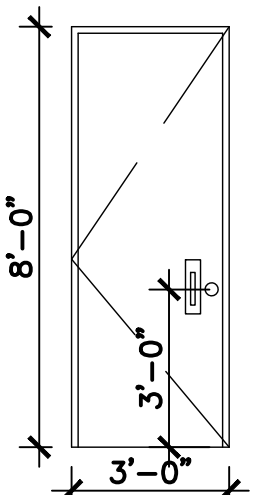
TYPE C

(N) INTERIOR DOOR



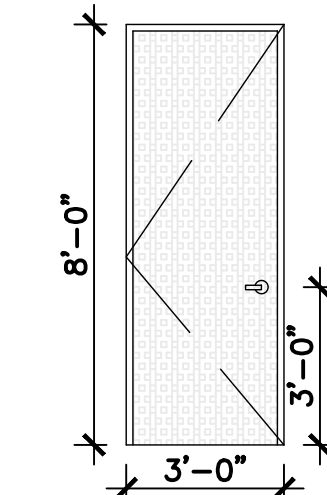
TYPE D

(N) SWINGING DOOR



TYPE E

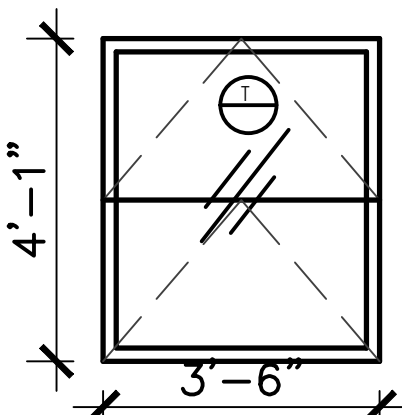
(E) EXTERIOR DOOR



TYPE F

(E) EXTERIOR SCREEN DOOR

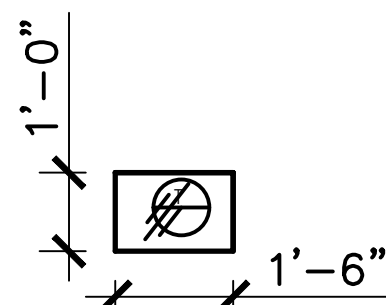
WINDOW SCHEDULE											
WINDOW NO.	TYPE	HIGH	WIDTH	WALL/THIC KNESS	MATERIALS	FINISH	FIRE RATING	FRAME MATERIAL	HARDWARE	COMMENTS	GLAZING REQUIREMENTS
1	A	4'1	3'-6"	5"	ALUMINUM/GLASS	CLEAR	NR	METAL	N/A		MARINE SAFE BIRD SAFETY; ANTIVANDALISM FILM
2	A	4'1	3'-6"	5"	ALUMINUM/GLASS	CLEAR	NR	METAL	N/A		MARINE SAFE BIRD SAFETY; ANTIVANDALISM FILM
3	A	4'1	3'-6"	5"	ALUMINUM/GLASS	CLEAR	NR	METAL	N/A		MARINE SAFE BIRD SAFETY; ANTIVANDALISM FILM
4	A	4'1	3'-6"	5"	ALUMINUM/GLASS	CLEAR	NR	METAL	N/A		MARINE SAFE BIRD SAFETY; ANTIVANDALISM FILM
5	B	12"	18"	3"	ALUMINUM/GLASS	BLACK	NR	METAL		SELF CLOSING	N/A
6	C	VIF	VIF	8" VIF	ALUMINUM/GLASS	BLACK	NR	METAL	N/A	EXISTING SKYLIGHT	N/A



TYPE A

(N) EXTERIOR WINDOW

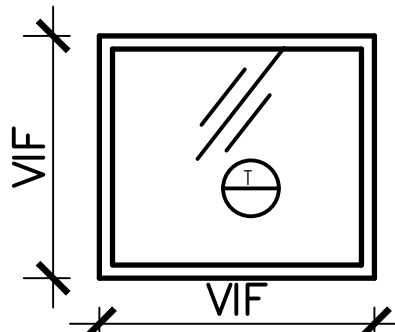
MAKE: FOLDUP
MODEL: FOLDUP + IN DH, SERIES 5000



TYPE B

(N) SELF CLOSING SERVICE WINDOW

MAKE: C.R. LAURENCE
MODEL: CRL 5680 PASS THRU WINDOW - CUSTOM SIZE



TYPE C

(E) SKYLIGHT

DOOR NOTES

- SUBMIT HARDWARE TO ARCHITECT FOR REVIEW.
- FOR HARDWARE VERIFY COMPLIANCE WITH CODE REGULATIONS.
- PROVIDE OR VERIFY THRESHOLDS AT EXTERIOR DOORS OR AS SPECIFIED. SEE DETAILS FOR ACCESSIBILITY.
- VERIFY MANUFACTURING SIZE AND ROUGH OPENINGS PRIOR TO ORDERING DOORS
- PROVIDE COMMERCIAL-QUALITY DOOR STOPS WHERE REQUIRED BY CONFIGURATION
- PROVIDE ALL ACCESSIBILITY SIGNAGE PER CBC CHAPTER 11B AND DETAILS, INCLUDING AT ACCESSIBLE RESTROOMS AND ENTRANCE DOORS
- HANDLES, PULLS, LATCHES, LOCKS, AND OTHER OPERABLE PARTS ON DOORS AND GATES SHALL COMPLY WITH 11B-3094 OPERATION. OPERABLE PARTS OF SUCH HARDWARE SHALL BE 34 INCHES MINIMUM AND 44 INCHES MAXIMUM ABOVE THE FINISH FLOOR OR GROUND. WHERE SLIDING DOORS ARE IN THE FULLY OPEN POSITION, OPERATING HARDWARE SHALL BE EXPOSED AND USABLE FROM BOTH SIDES. (11B-404.2.7)
- OPERABLE PARTS SHALL BE OPERABLE WITH ONE HAND AND SHALL NOT REQUIRE TIGHT GRASPING, PINCHING, OR TWISTING OF THE WRIST. FORCE REQUIRED TO ACTIVATE OPERABLE PARTS SHALL BE 5 POUNDS MAXIMUM. (11B-309.4)
- SWINGING DOOR AND GATE SURFACES WITHIN 10 INCHES OF THE FINISH FLOOR OR GROUND MEASURED VERTICALLY SHALL HAVE A SMOOTH SURFACE ON THE PUSH SIDE EXTENDING THE FULL WIDTH OF THE DOOR OR GATE. PARTS CREATING HORIZONTAL OR VERTICAL JOINTS IN THESE SURFACES SHALL BE WITHIN 1/16 INCH OF THE SAME PLANE AS THE OTHER AND BE FREE OF SHARP OR ABRASIVE EDGES. CAVITIES CREATED BY ADDED KICK PLATES SHALL BE CAPPED. (11B-404.2.10)
- ALL EXIT DOORS SHALL BE OPENABLE FROM THE INSIDE WITHOUT THE USE OF A KEY OR ANY SPECIAL KNOWLEDGE OR EFFORT. THE MAIN EXTERIOR DOORS SHALL HAVE KEY OPERATED HARDWARE AND SHALL BE LABELED "THIS DOOR TO REMAIN UNLOCKED WHEN THIS SPACE IS OCCUPIED" IN BLOCK LETTERS A MINIMUM OF 1" HIGH ON CONTRASTED BACKGROUND.
- PROVIDE UPDATE KEYS FOR THE KNOX BOX.
- REAR EXIT DOORS SHALL BE PROVIDED WITH SIGNAGE STATING: EXIT DOOR DO NOT BLOCK
- REAR EXIT NUMBERS: ALL MULTI TENANT BUILDINGS SHALL BE PROVIDED WITH ADDRESS NUMBERS AND/OR SUITE NUMBERS ON THE REAR DOOR TO EACH TENANT SPACE.
- NO THUMB TURN LOCKS
- MAIN ENTRANCE DOOR IS THE ONLY DOOR WITH THE ""THIS DOOR TO REMAIN UNLOCKED WHEN THIS SPACE IS OCCUPIED,"" SIGN AND DOUBLE KEYED LOCKING SYSTEM.
- ALL REQUIRED EXITS SHALL HAVE THE FOLLOWING TYPES OF HARDWARE:
 - SELF-RELEASING DOOR HARDWARE WITH INTERCONNECTED SINGLE LOCKING HARDWARE: SINGLE DEADBOLT PROTECTION WITH A SINGLE MOTION EXITING (CO-ACTIVATION) WHEN THE LEVER IS TURNED. THE DEADBOLT RETRACTS WHEN THE INTERIOR LEVER IS TURNED.
 - SELF-RELEASING DOOR HARDWARE: THE OUTSIDE LEVER IS LOCKED AND UNLOCKED BY A KEY FROM THE EXTERIOR. THE INSIDE LEVER IS ALWAYS UNLOCKED AND PROVIDES A SINGLE MOTION EXITING WHEN THE INTERIOR LEVER IS TURNED.
- OTHER THAN THE MAIN ENTRANCE, REQUIRED EXITS DOORS AND DOOR SCHEDULES SHALL MATCH EITHER NUMBER 1 OR 2 OPTIONS NOTED ABOVE.
- IF ONLY ONE EXIT IS REQUIRED AND THEY HAVE A 2ND DOOR, THE SECOND DOOR SHOULD NOT HAVE AN EXIT SIGN ABOVE AND DOUBLE KEYED LOCKING HARDWARE.
- IF ONLY ONE EXIT IS REQUIRED AND 2 EXITS ARE PROVIDED. THE MAIN ENTRANCE SHALL HAVE THE SIGN AND DOUBLE KEYED LOCKING SYSTEM. THE SECOND DOOR WITH AN EXIT SIGN SHALL BE PROVIDED WITH HARDWARE TYPE 1. OR 2.""

WINDOW SCHEDULE NOTES

- DIMENSIONS SHOWN ON THIS SHEET ARE NOMINAL U.N.O.
- OPERABLE WINDOWS SHALL BE EQUIPPED WITH LOCKING DEVICES AND SHALL BE CERTIFIED AND DOCUMENTED AS BEING SECURE AND TAMPER PROOF.
- APPROVED SAFETY GLASS SHALL BE INSTALLED AT ALL HAZARDOUS LOCATIONS PER THE REQUIREMENTS OF CBC. AND AUTHORITIES HAVING JURISDICTION.
- GENERAL CONTRACTOR TO REFER TO ACOUSTICAL REQUIREMENTS FOR ALL WINDOWS.
- ALL WINDOWS SHALL HAVE A MINIMUM STC RATING OF 30 .
- REFER TO THIS SHEET FOR WINDOW SIZES & TYPES.
- ALL DIMENSIONS SHALL BE FIELD VERIFIED PRIOR TO FABRICATION AND INSTALLATION.

SCHEDULE LEGEND

ALUM. = ALUMINUM	MTL. = METAL
AN. = ANODIZED	P.M. = PER MANUFACTURER
ARD. = ACOUSTICAL RATED DOOR	PT. = PAINT (SEE FINISH SCHEDULE)
CL. = CENTERLINE	R.O. = ROUGH OPENING
CLR. = CLEAR	S.C. = SOLID CORE
CLR. = POLYURETHANE SEALER	ST. = STAIN
CSMT. = CASEMENT	STL. = STEEL
F.F. = FACTORY FINISH (PER SPECS.)	Ⓣ/T.G. = TEMPERED GLASS
FG. = FIBERGLASS	VN. = VINYL
GL. = GLASS	W. = 1/4" WIRE GLASS
TRANSLUCENT FILM	WD. = WOOD
H.C. = HOLLOW CORE	
H.M. = HOLLOW METAL	

GLAZING LEGEND

GLAZ. NO.	GLAZING TYPE	DESCRIPTION	FULLY TEMPERED	NFRC	MAX. U-FACTOR	MAX. SHGC	MAX. VT
GL-1	MONO.	1/4" CLR. FLOAT GLASS	AS REQ'D.	Y	0.36	0.25	.42



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SCHEDULES

Project No.

Date: 07/23/2021

A7.01

PROPOSED MENU

Grill Em All – Beach Concession Stand Proposed Menu

Half pound burgers

Behemoth - grilled cheese buns, bacon, bbq, grilled onion, bacon, cheddar

Napalm Death - jalapeno poppers, cream cheese, habanero aioli, sriracha, jalapenos

Powerslave - brie, apples, field greens

High on Fire - pulled buffalo chicken, blue cheese, wing sauce

Winger - american, lettuce, tomato, pickle, thousand island

Dee Snider - peanut butter, jelly, bacon, sriracha

Metallica - Avocado, ranch, lettuce, tomato, bacon, red onion

FTW - american cheese, meat and bun

Fries

House cut Fries

High on Fries - buffalo chicken, blue cheese, wing sauce

Primate Fries - thousand island, grilled onion, cheddar

kids

Corn dog bites

Hot Dog

Grilled cheese

Chicken Tenders

APPS

Wings

Salads

Side Salad

Earth Crisis Add grilled chicken upsell

Drinks - non alcoholic

Coca Cola products from machine
Sparkling water (canned)

Drinks - alcohol

Craft Beer - 8-10 rotating on tap

1

LONG BEACH FIRE DEPARTMENT DOOR HARDWARE REQUIREMENTS:

NEVER ALLOWED ON ANY "EXIT" DOOR



ALLOWED ON MAIN ENTRANCE ONLY, ALONG WITH THE FOLLOWING SIGN:

THIS DOOR TO REMAIN UNLOCKED WHEN SPACE IS OCCUPIED



VALID EXIT DOOR HARDWARE WHERE ANIC IS NOT REQUIRED.

SELF-RELEASING DOOR HARDWARE WITH INTERCONNECTED SINGLE LOCKING HARDWARE.

SINGLE DEADBOLT PROTECTION WITH A SINGLE MOTION EXITING (C/O ACTIVATING). WHEN THE LEVER IS TURNED, THE DEADBOLT RETRACTS WHEN THE INTERIOR LEVER IS TURNED.

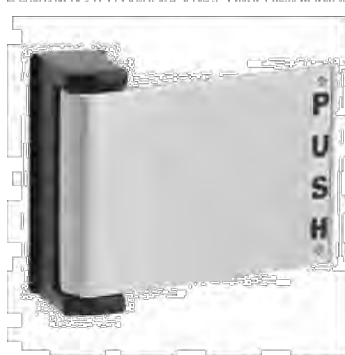


SELF-RELEASING DOOR HARDWARE:

THE OUTSIDE LEVER IS LOCKED AND UNLOCKED BY A KEY FROM THE EXTERIOR. THE INSIDE LEVER IS ALWAYS UNLOCKED AND PROVIDES A SINGLE MOTION EXITING WHEN THE INTERIOR LEVER IS TURNED.



COMMERCIAL DOOR EXIT HARDWARE:



Long Beach City - CODE COMPLIANT DOOR HARDWARE

Door Hardware Hardware Requirements:

- All other required exits except Main Entrance shall have valid exit door hardware.
- Self-releasing door hardware with interconnected single locking hardware: Single deadbolt protection with a single motion exiting (on-activation) when the lever is turned. The deadbolt retracts when the interior lever is turned.
- Self-releasing door hardware: The outside lever is locked and unlocked by a key from the exterior. The inside lever is always unlocked and provides a single motion exiting when the interior lever is turned.
- Other than the main entrance, required exits doors and door schedules shall match either number 1 or 2 above as applicable.
- If only one exit is required and a second (2nd) door is provided. The second door should not have an exit sign above and double keyed locking hardware.
- If only one exit is required and they are calling out 2 exits provided. The main entrance shall have the sign and double keyed locking system. The second door with an exit sign shall be provided with hardware type 1. or 2.
- No thumb turn locks are allowed.



1444 E 4th Street
Long Beach
California, 90802

PH: (562) 450 0495

GRILL EM ALL

5411 E. OCEAN BLVD.
LONG BEACH, CA 90803

Revision Schedule		
	02/15/22	DESIGN DEVELOPMENT
	08/24/22	PC SUBMITTAL 1
1	01/11/23	PC SUBMITTAL 2



Drawn by: CITRON DESIGN GROUP

Scale: AS NOTED

Sheet Description

SCHEDULES

Project No.

Date: 07/23/2021

A7.02

Conditions of Approval
Application No.: 2210-23 (PRP2-114, LCPD22-064)
5411 E Ocean Blvd (Bayshore Concession Stand)
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a qualified biologist within three days of such activities to determine the presence/absence, location, and status of any active nests on-site or within 100 feet of the site. The findings of the survey should be summarized in a report to be submitted to the City of Long Beach prior to undertaking construction activities at the site.

ii. If nesting birds are found on-site, a construction buffer of 500 feet for nesting raptors or threatened or endangered species and 100 feet of all other nesting birds should be implemented around the active nests and demarcated with fencing or flagging. Nests should be monitored at a minimum of once per week by the qualified biologist until it has been determined that the nest is no longer being used by either the young or adults. No ground disturbance should occur within this buffer until the qualified biologist confirms that the breeding/nesting is completed and all the young have fledged. If project activities must occur within the buffer, they should be conducted at the discretion of the qualified biologist.

b. If no nesting birds are observed during pre-construction surveys, no further actions would be necessary.

17. The Applicant is hereby advised that no encroachments in the public right-of-way shall be constructed, unless specifically approved by the Director of Public Works and Director of Development Services, or through the approval of a Local Coastal Development Permit or coastal approval by the California Coastal Commission. An encroachment is any private improvement which extends beyond the subject property boundaries. Only certain minor encroachments such as native landscape and hardscape that do not impede access to the coast may be approved. Encroachments in the public right-of-way that impede access to the coast shall not be installed.

18. To ensure notification of all interested parties and successors in interest, that the City of Long Beach issued an approval of a Local Coastal Development Permit at subject property, the current property owner shall record the conditions of approval on the property title, in a form approved by the City Attorney, with the Los Angeles County Registrar-Recorder/County Clerk prior to the issuance of building permits. The Notice of Restriction shall include a complete property description, the conditions of approval as an exhibit, and contain the notarized signature of the property owner(s). The Notice shall not be removed or amended without the prior written approval of the Director of Development Services.

19. The Applicant is hereby advised that sea-level rise could potentially cause physical hazards, such as beach erosion, flooding, and saltwater intrusion upon the subject property. This condition of approval serves in an advisory capacity and does not constitute a vulnerability assessment. The Applicant is encouraged to include adaptive capacity in development with measures

Findings
5411 E Ocean Blvd (Bayshore Concession Stand)
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conditioned, the concession stand exterior would be consistent with the surrounding City facilities and continue to serve the general public.

3. **THE DESIGN WILL NOT REMOVE SIGNIFICANT MATURE TREES OR STREET TREES UNLESS NO ALTERNATIVE DESIGN IS POSSIBLE;**

The site is currently developed with a concession stand building and other City facilities, including restrooms, kayak rentals, lifeguard station, sailing center, and recreational courts. The proposed project plans would protect all existing trees. Conditions of approval have been added to ensure non-native or invasive vegetation or trees would be prohibited onsite.

4. **THERE IS AN ESSENTIAL NEXUS BETWEEN THE PUBLIC IMPROVEMENT REQUIREMENTS ESTABLISHED BY THIS ORDINANCE AND THE LIKELY IMPACTS OF THE PROPOSED DEVELOPMENT; AND**

The Project consists of a facade remodel to an existing building. Improvements related to Americans with Disabilities Act (ADA) paths of travel and roof deck access were completed as part of Application No. 2111-45. As confirmed, the Project would require compliance with the previous staging plan that preserves access to the coast during construction.

5. **THE PROJECT CONFORMS WITH ALL REQUIREMENTS SET FORTH IN CHAPTER 21.64 (TRANSPORTATION DEMAND MANAGEMENT), WHICH REQUIREMENTS ARE SUMMARIZED IN TABLE 25.1 AS FOLLOWS:**

Table 25-1
Transportation Demand Ordinance Requirements

TDM Requirements	25,000+ Square Feet	New Nonresidential Development 50,000+ Square Feet	100,000+ Square Feet
Transportation Information Area	+	+	+
Preferential carpool/vanpool parking	+	+	+
Parking designed to admit vanpools		+	+
Bicycle parking		+	+
Carpool/vanpool loading zones		+	+
Efficient pedestrian access		+	+
Bus stop improvements		+	+
Safe bike access from street to bike parking		+	+
Transit review	For all residential and nonresidential projects subject to EIR		

The project is a remodel of an existing structure and contains less than 25,000 square feet of new non-residential development. Therefore, this finding does not apply to the proposed project.

Findings
5411 E Ocean Blvd (Bayshore Concession Stand)
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The project entails a remodel of an existing concession stand. The project has no relation to the prohibition of short-term rentals. This finding does not apply to the project.

Conditions of Approval
Application No. 22-10-023 (SPR22-14, LCDP22-064)
5411 E Ocean Blvd (Bayshore Concession Stand)
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8. The final selection of windows shall include details and specifications for the following:
 - a. Bird-safe film applied to exterior of all glass exterior treatments
 - b. Use of Low-reflection glass for all glass exterior treatments
 - c. Graffiti and scratch-proof glazing or film
9. The replacement patio cover shall not extend higher than the existing rear deck wall and shall remain open on all sides.
10. The location of the flag pole shall conform to the applicable Municipal Code Requirements pertaining to zoning and building code requirements.
11. Prior to the issuance of a building permit, the Applicant shall depict final location of utility apparatus, such as, but not limited to, backflow devices and Edison Transformers, on both the site plan and the landscape plan. Wherever feasible, these devices shall not be located in any front, side, or rear yard area that is adjacent to a street. Furthermore, these devices shall be screened to the greatest extent feasible by landscaping or other screening method approved by the Director of Development Services.
12. The Applicant shall provide the following in accordance with the Green Building Standards of Section 21.45-04.01 of the Zoning Regulations:
 - a. A designated area for the collection of recyclables and organics refuse shall be provided adjacent to the area for the collection of waste.
13. Any exterior lights to be provided within the development or adjacent public right-of-way shall be subject to review by the Director of Development Services prior to issuance of building and electrical permits. All lights shall be adequately shielded so as to prevent the intrusion of light and glare upon any adjacent property or structure, in compliance with the appropriate background/lightglare (BLG) rating requirements of the Illuminating Engineering Society of America (IESNA) equivalent to the previous standard for certified full-cutoff fixtures, or meeting IESNA specifications for full-cutoff fixtures.
14. No trees within the project site, sandy beach area, and public right-of-way shall be trimmed or removed as part of this Local Coastal Development Permit.
15. The use of invasive plant species, such as those listed by the California Invasive Plant Council, shall be prohibited in the Coastal Zone.
16. If initial construction activities take place during the bird nesting season (January through September), a nesting bird survey shall be performed by

Findings
5411 E Ocean Blvd (Bayshore Concession Stand)
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facilities located near 54th Place, and recreational resources for kayak rentals, handball courts, basketball courts, and sailing amenities, including boat storage.

The Area E Policy Plan identifies plan recommendations that there be no further visitors serving facilities permitted on the Peninsula except as expressly designated in the plan and to continue to preserve as much as possible the present utility of the visitors serving and recreational facilities which would not be damaging adverse impact to the present community and the Peninsula's natural resources. The proposed remodel of the Bay Shore Concession Stand would not detract from the continued use of this important visitor-serving resource within Area E.

As the proposed project is consistent with the City color palette and is open to the general public, both residents and visitors will benefit from the remodelled concession stand. Therefore, the proposed project is consistent with the LCP.

As conditioned, the project is compatible in design, character, and scale with its surroundings, which include the existing concession stand of the structure. The project will continue to use the one-story building and rooftop deck. The incorporation of retractable windows at the ground floor dining areas provides architectural interest to the concession stand allowing natural light during inclement weather, which did not exist previously. Therefore, the project is consistent and compatible with the community for which it is located.

2. THE DESIGN CONFORMS TO ANY APPLICABLE SPECIAL DESIGN GUIDELINES ADOPTED BY THE PLANNING COMMISSION FOR SPECIFIC PLAN REQUIREMENTS, SUCH AS THE DESIGN GUIDELINES FOR R-3 AND R-4 MULTIFAMILY-APARTMENTS, THE DOWNTOWN DESIGN GUIDELINES, PD GUIDELINES OR THE GENERAL PLAN;

The project is in the Park (P) Zoning District, which requires all buildings to be designed, treated, and finished to blend with the open and landscaped surroundings pursuant to Section 21.35-02.01 of the Municipal Code. Under existing conditions, the concession stand is presently painted a City-approved blue color palette. As conditioned, the color of the remodelled concession stand would feature a City-authorized color to complement the nearby City-owned structures to ensure emphasis that the concession stand is a City facility and is open to the public. The railing and rooftop patio would be painted a white color to provide slight contrast to the overall structure. The retractable windows of the remodel roof deck include bird-safe and graffiti-safe treatments to ensure the longevity of the improvements. Furthermore, as required by the California Building Code, the concession stand signage to inform the public that no purchase is necessary to sit in all outdoor areas.

As such, the proposed remodel would maintain the exterior cladding to be painted a new color add new elements such as retractable windows and a replacement rooftop patio structure to ensure the ongoing success of the structure. As

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The project entails the remodel of an existing concession stand, including new exterior paint, installation of new windows at existing openings, and the replacement of the existing patio cover at the roof deck. As conditioned, all construction will comply with all applicable local, regional, state, and federal water quality permits. Therefore, adherence to permit requirements would minimize the transport of pollutants and runoff that could impact coastal resources

5. FOR AN APPLICATION TO RESTRICT SHORT-TERM RENTALS IN ACCORDANCE WITH THE PROVISIONS AND PROCEDURES OUTLINED IN CHAPTER 5.77 (SHORT-TERM RENTALS) OF THE CRED CODE, THE PROJECT SHALL CONFORM WITH THE CERTIFIED LOCAL COASTAL PROGRAM, INCLUDING THE RESTRICTIONS ON OVERNIGHT ACCOMMODATION ACCESS AND RECREATION. THE REQUIRED FINDINGS MUST INCLUDE A CUMULATIVE IMPACTS ANALYSIS INFORMED, AT LEAST IN PART, BY MONITORING DATA COLLECTED ON APPROVED PROJECTS THAT RESTRICT STRS AND ON STRS THROUGHOUT THE COASTAL ZONE. THE RESPONSIBLE HEARING BODY SHALL ALSO FIND:

I. THE PROPOSED RESTRICTION WOULD NOT RESULT IN THE SUBSTANTIAL LOSS OF VISITOR-SERVING ACCOMMODATIONS (I.E., A REDUCTION IN AVAILABLE OVERNIGHT ACCOMMODATION ROOMS, INCLUDING BUT NOT LIMITED TO SHORT-TERM RENTALS, HOTELS, AND/OR MOTELS, WITHIN 1/4 MILE OF VISITOR-SERVING RECREATIONAL USES, THE BEACH, BAY, OCEAN, OR TIDELANDS).

II. THE PROPOSED RESTRICTION WOULD NOT RESULT IN THE LOSS OF LOWER-COST OVERNIGHT ACCOMMODATIONS. LOWER-COST OVERNIGHT ACCOMMODATIONS SHALL BE DEFINED AS THOSE CHARGING APPROXIMATELY TWENTY FIVE PERCENT (25%) LESS THAN THE STATEWIDE AVERAGE DAILY ROOM RATE OR LESS.

III. THE PROPOSED RESTRICTION WOULD NOT RESULT IN THE NET LOSS OF SHORT-TERM RENTALS OR IN-LAW FOUR HUNDRED TWENTY-FIVE (425) SHORT-TERM RENTAL UNITS (BOTH HOSTED AND UN-HOSTED AND/OR PRIMARY OR NON-PRIMARY) HISTORICALLY OCCURRING IN THE COASTAL ZONE.

IV. THE PROPOSED RESTRICTION WOULD BE NECESSARY TO PROTECT THE NEIGHBORHOOD STABILITY, HOUSING ACCESS, AND WOULD BE CONSISTENT WITH THE NEIGHBORHOOD CHARACTER ESTABLISHED IN THE LOCAL COASTAL PROGRAM (LCP).

**SITE PLAN REVIEW AND LOCAL COASTAL DEVELOPMENT PERMIT
CONDITIONS OF APPROVAL.**
5411 E Ocean Blvd (Bayshore Concession Stand)
Application No. 2210-23 (SPR22-114, LCPD22-064)
January 23, 2023

Special Conditions:

- This approval is for the facade remodel of the Bayshore Concession Stand at 5411 E Ocean Boulevard in the Park (P) Zoning District. The remodel includes upgraded windows, new paint color, and replacement rooftop patio cover, shown on plans received by the Department of Development Services – Planning Bureau on January 23, 2023. These plans are on file in this office, except as amended herein.
- The project shall be developed in substantial conformance with the plans reviewed by the Zoning Administration on January 23, 2023 except as amended herein. The project shall be designed and constructed as depicted on these plans, maintaining the same architect style, quality of materials, and consistency of design. Minor changes to the approved project design consistent with the project goals shall require, at a minimum, an additional review by Planning staff for Substantial Conformance to the approved plan set, or review by the Director of Development Services for the approval of minor modifications. Significant alterations (as defined in Section 21.1.4.05) shall require additional review by the Zoning Administration.
- Unless superseded by conditions included in this approval, the existing conditions of approval Application No. 9810-13 and 2111-45 remain in full force and effect. The required public access signage included under Application No. 2111-45 for the deck areas shall be installed prior to the issuance of a Certificate of Occupancy for work covered under this application.
- Construction staging, equipment, and materials shall not impede public access to the coast for both vehicular, pedestrian, and bicycle traffic and shall comply with the Construction Management Plan (CMP) required under Application No. 2111-45.
- During construction, the developer shall implement Best Management Construction methods minimize water runoff and debris in accordance with all applicable state, regional, and local requirements.
- The exterior of the concession stand shall be painted a color explicitly listed in the City of Long Beach approved color palette (see Appendix A). The final paint selection shall complement the approved color scheme of the surrounding city facilities.
- The retractable awning windows at the existing window openings shall open to the interior of the concession stand dining area.

**SITE PLAN REVIEW
FINDINGS**
5411 E Ocean Blvd (Bayshore Concession Stand)
Application No. 2210-23 (SPR22-114)
December 14, 2022

Pursuant to Section 21.2.5.06 of the Long Beach Municipal Code, the Modification to the Approved Site Plan Review shall not be approved unless the following findings are made. The findings and conclusions are presented for consideration, adoption, and incorporation into the record of proceedings:

- THE DESIGN IS HARMONIOUS, CONSISTENT AND COMPLETE WITHIN ITSELF AND IS COMPATIBLE IN DESIGN, CHARACTER, AND SCALE, WITH SURROUNDING STRUCTURES AND THE COMMUNITY IN WHICH IT IS LOCATED;**

The project scope subject to a Site Plan Review entitlement for the facade remodel of the Bayshore Concession Stand at 5411 East Ocean Boulevard in the Park (P) Zoning District. The remodel includes upgraded windows, new paint color, and replacement rooftop patio cover. No new floor area would be added as part of the project. All existing trees onsite would be protected in place.

The subject site is in the 1989 General Plan Land Use District No. 11(Open Space¹), the Park (P) zoning district, and the Coastal Zone (Appealable Area). The P zoning district uses the development standards codified in Title 21 of the Long Beach Municipal Code.

The General Plan Land Use Element (1989) identifies this land use district as a valuable resource for open space and recreational resources. The P zoning district implements the intent of UUD No. 11 of the 1989 General Plan Land Use Element. The existing concession stand would remain as an accessory use to the Bayshore Beach area and continue to serve a variety of visitor-serving recreational uses, including the abutting kayak and stand up paddle board rental concessionaire and the nearby Lewey Sailing Center. There would be no change in building area and the remodels building footprint would be consistent with the building deck. The proposed architectural modifications and site improvements would be consistent with the general plan and zoning intent for accessory concession stand uses to support passive and active recreational uses in the park and on beaches.

The Local Coastal Program (LCP) identifies the subject site in Area A (Naples Island and The Peninsula). As indicated in the LCP, beach areas along Alhambra Bay and Bay Shore Avenue are popular beach areas. The Bay Shore Beach area features existing structures that house the public restroom and concession

¹The General Plan Land Use Element was updated in 2019 and has not yet been certified as part of the City of Long Beach General Plan. Therefore, the 1989 General Plan Land Use Element (1989) designation of Land Use District (LUD) No. 11 remains applicable to the project site.

Findings
5411 E Ocean Blvd (Bayshore Concession Stand)
Application No. 2210-23 (SPR22-114, LCPD22-064)
January 23, 2023

2. THE PROPOSED DEVELOPMENT CONFORMS TO THE PUBLIC ACCESS AND RECREATION REQUIREMENTS OF CHAPTER 3 OF THE COASTAL ACT. THIS SECOND FINDING APPLIES ONLY TO DEVELOPMENT LOCATED SEAWARD OF THE NEAREST PUBLIC HIGHWAY TO THE SHORELINE.

Chapter 3 of the Coastal Act deals with the public's right to use beach and water resources for recreational purposes. The chapter provides the basis for local and local government to require beach access dedication and to prohibit development, which restricts public access to the beach or/and water resources.

As proposed, the intent of the project is to provide facade enhancements to a publicly accessible beach area. The project would not provide the basis for public approvals at this site, the concession stand seating areas to remain open to all patrons and no purchase is necessary. The proposed exterior changes would not change the existing use, building footprint, or the use of the coast for all people. No additional square footage would be added as part of the project. Furthermore, the existing conditions related to accessible paths of travel, roof deck access, and public access signage would remain applicable to the project and consistent with the intent of the Chapter 3 of the Coastal Act. As conditioned, a staging plan and provisions for construction methods for the project to mitigate potential public access to the coast. As conditioned, this project would not impede access to recreation and visitor serving facilities along the coast pursuant to Chapter 3 of the Coastal Act.


3. FOR AN APPLICATION FOR A RELIGIOUS ASSEMBLY USE, IF AN EXCEPTION OR WAIVER OF LCP REQUIREMENTS IS SOUGHT UNDER SECTION 21.52.219.6-8, THAT THE EXCEPTION OR WAIVER ALLOWS THE MINIMUM DEVIATION FROM LCP REQUIREMENTS NECESSARY TO COMPLY WITH RLUPA, AND IF THE DECISION MAKER HAS IMPOSED ALL CONDITIONS NECESSARY TO COMPLY WITH ALL PROVISIONS OF THE LCP, WITH THE EXCEPTION OF THE PROVISION(S) FOR WHICH IMPLEMENTATION WOULD VIOLATE RLUPA.

The project does not include a religious assembly use; therefore, this finding is not applicable to the proposed project.

4. THE PROPOSED DEVELOPMENT IS DESIGNED, ENGINEERED AND MANAGED TO MINIMIZE THE TRANSFER OF POLLUTANTS FROM THE COAST TO THE COASTAL WATERS AND GROUNDWATER, AND TO MINIMIZE INCREASES IN RUNOFF VOLUME AND VELOCITY FROM THE SITE WHICH MAY ADVERSELY IMPACT COASTAL RESOURCES OR COASTAL STRUCTURE STABILITY. BEST MANAGEMENT PRACTICES SHALL BE IMPLEMENTED, AS APPLICABLE, INCLUDING BUT NOT LIMITED TO, EROSION CONTROL, LOCAL, REGIONAL, STATE AND FEDERAL WATER QUALITY PERMITS, STANDARDS AND GUIDANCE PROVIDED IN THE LCP, BEST PRACTICES AND OTHER MEASURES AS MAY BE RECOMMENDED BY THE CITY ENGINEER.

CITY OF
LONG BEACH

411 W. Ocean Boulevard, 2nd Floor, Long Beach, CA 90802
562.576.6194 | longbeach.gov/build


MC

Conditions of Approval Acknowledgement

February 2, 2023

Application No.: 2210-23 (SPR22-114, LCPD22-064)

Project address: 5411 E Ocean Blvd (Bayshore Concession Stand) (APN: 7245-010-000)

Citron Design Group
c/o Kara Rice/Shawna Schmidt
380 Junipero Ave., Suite 100
Long Beach, CA 90814

Dear Applicant:

Please have the owner(s) of the project sign this document. It is vital to your project that this form be returned promptly to the project planner so that it can be placed in the case file and you can initiate the plan review process. Please feel free to make a copy for your files.

"We have read the attached Conditions of Approval and will comply with all such conditions. I realize that the approval is based on specific building plans, as indicated in the Conditions of Approval, and that any deviation from these plans without prior written approval from the Site Plan Review Committee will result in denial of final construction approval until such time that the construction is restored to the approved design. Finally, I will notify all architects, designers, contractors, sub-contractors employed by me, and I will notify any successors in interest of all these conditions and of this acknowledgement."

Applicant's Signature

Date

Owner's Signature

Date

Owner's Signature

Date

Conditions of Approval
Application No.: 2210-23 (SPR22-114, LCPD22-064)
5411 E Ocean Blvd (Bayshore Concession Stand)
January 23, 2023
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a. Weekdays: 7:00 a.m. to 7:00 p.m.;
b. Saturday: 9:00 a.m. - 6:00 p.m.; and
c. Sundays and Federal Holidays: not permitted

36. Any off-site improvements found to be damaged shall be replaced to the satisfaction of the Director of Public Works.

37. All unused curb cuts shall be replaced with full height curb, gutter and sidewalk and shall be reviewed, approved and constructed to the specifications of the Director of Public Works.

38. As a condition of any City approval, the applicant shall defend, indemnify, and hold harmless City and its agents, officers, and employees from any claim, action, or proceeding against City, its agents, officers, and employees to attack, set aside, void, or annul the approval of City concerning the processing of the proposal/information or any action relating to, or arising out of, such approval. At the discretion of the City and with the approval of the City Attorney, a deposit of funds by the applicant may be required in an amount sufficient to cover the anticipated litigation costs.

Findings
5411 E Ocean Blvd (Bayshore Concession Stand)
Application No.: 2210-23 (SPR22-114, LCPD22-064)
January 23, 2023
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facilities permitted on the Peninsula except as expressly designated in the LCP and to continue to preserve as much as possible the present utility of the visitors serving and recreational facilities without causing a damaging adverse impact to the present community and the Peninsula's natural resources. The proposed remodel of the Bay Shore Concession Stand would allow for the continued use of this important visitor-serving resource within Area E. The beaches are regional serving, and the concession stand serves to provide food and beverages. The concession stands are located in areas that are relatively remote from commercial districts. The onsite sale of food and beverages at the concession stand enables visitors to remain at the beach, rather than departing the coastal beach areas to seek commercial areas for restaurant and retail uses.

The LCP emphasizes public access to the shoreline and regulation of recreation and visitor-serving facilities. In conformance with the LCP policies noted above, the project would be sited consistent with the line of development. As the proposed project is consistent with the City color palette and is open to the general public, both residents and visitors will benefit from the remodeled concession stand. The project components are planned to avoid impacts to existing trees in the project vicinity. As conditioned, a nesting bird survey would be required prior to the commencement of construction activities and bird-safe treatments would be applied to the exterior of the elevator shaft to reduce potential hazards for birds.

All project components would be located on city property and continue operation of an existing existing concession stand in the Coastal Zone. As conditioned, signage would be required to be installed notifying the public that public deck (ground level and roof deck) are open to the public and no concession stand purchase is necessary. This required signage would be consistent with other concession stands in the City to ensure that public access is maintained. As conditioned, the project would be consistent with the LCP related to enhancing access to existing visitor-serving resources in Area E of the Coastal Zone. All development will occur on an established lot and, as conditioned, will not encroach upon any public right-of-way.

As conditioned, the project would provide a final staging plan, provide for Best Management Practices (BMPs) during construction, and record conditions of approval to acknowledge the potential for sea level rise. There would be no expansion of existing building area as part of the proposed project that would increase risk for existing structures due to impacts of sea level rise. The project complies with the LCP and, as conditioned, would ensure that the improvements would not result in resource impacts or increased hazards in the Coastal Zone.

No low and moderate-income housing will be removed as a result of the project.

APPEALS TO THE CITY PLANNING COMMISSION AND/OR TO THE CITY COUNCIL.

- Any aggrieved person may appeal a decision on a project that required a public hearing.
- An appeal must be filed within ten (10) calendar days after decision.
- An appeal shall be filed with Long Beach Development Services on a form provided by that Department with the appropriate filing fee.
- A public hearing on an appeal shall be held within thirty (60) calendar days after Long Beach Development Services receives a completed appeal form or after the City Clerk receives the appeal from Long Beach Development Services.
- A notice of the public hearing on the appeal shall be mailed by Long Beach Development Services to the applicant, all persons entitled to mailed notice, and any known aggrieved persons less than fourteen (14) calendar days prior to the hearing.
- The Planning Commission shall have jurisdiction on appeals from the decisions of the Current Planning Officer and the City Council shall have jurisdiction on appeals from the Planning Commission.
- Except for appeals to the Coastal Commission for projects located seaward of the appealable area boundary and appeals to the City Council of local development permits on developments regulated under the City's Oil Code, there shall be no further appeals after a decision on an appeal.
- You are hereby provided notice that the time within which judicial review of the herein reported decision must be sought is governed by Section 1094.6 of the California Code of Civil Procedure.

APPEALS TO THE COASTAL COMMISSION

All actions on local coastal development permits seaward of the appealable area boundary may be appealed by any aggrieved person to the Coastal Commission according to the procedures of the Coastal Commission, provided that all local appeals have been exhausted and no fee was charged by the applicant for such appeal. The local appeal at the Coastal Commission office, 301 E. Ocean Blvd., Suite 300, Long Beach, CA 90802.

LONG BEACH DEVELOPMENT SERVICES
 411 W. Ocean Blvd., 3rd Floor
 Long Beach, CA 90802

Conditions of Approval
 Application No.: 2210-23 (SPR22-114, LCPD22-064)
 5411 E Ocean Blvd (Bayshore Concession Stand)
 January 23, 2023

- Site development, including landscaping, shall conform to the approved plans on file in Long Beach Development Services. At least one set of approved plans containing Planning, Historic Preservation, Building, Fire, and, if applicable, Redevelopment and Health Department stamps shall be maintained at the job site, at all times for reference purposes during construction and final inspection.
- All landscaped areas must be maintained in a neat and healthy condition. Any dying or dead plant materials must be replaced with the minimum size and height (plants) required by Chapter 21-42 (Landscaping) of the Zoning Regulations. At the discretion of City officials, a yearly inspection shall be conducted to verify that all irrigation systems are working properly and that the landscaping is in good healthy condition. The property owner shall reimburse the City for the inspection cost as per the special building inspection specifications established by the City Council.
- The property shall be developed and maintained in a neat, quiet, and orderly condition and operated in a manner so as not to be detrimental to adjacent properties and occupants. This shall encompass the maintenance of exterior facilities of the building, designated parking areas serving the use, fences and the perimeter of the site (including all public parkways).
- Any graffiti found on site must be removed within 24 hours of its appearance.
- All structures shall conform to the Long Beach Building Code requirements. Notwithstanding this subject permit, all other required permits from the Building Bureau must be secured.
- Separate building permits are required for fences, retaining walls, and flagpoles.
- Approval of this development project is expressly conditioned upon payment (prior to building permit issuance or prior to Certificate of Occupancy, as specified in the applicable Ordinance or Resolution for the specific fee) of impact fees and other charges to the City of Long Beach upon additional facilities needed to accommodate new development at established City service level standards, including, but not limited to, sewer capacity charges, Park Fees and Transportation Impact Fees.
- The applicant shall file a separate plan check submittal to the Long Beach Fire Department (for review and approval) prior to the issuance of a building permit.
- Demolition, site preparation, and construction activities are limited to the following (except for the pouring of concrete which may occur as needed):


Findings
 5411 E Ocean Blvd (Bayshore Concession Stand)
 Application No.: 2210-23 (SPR22-114, LCPD22-064)
 January 23, 2023
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LOCAL COASTAL DEVELOPMENT PERMIT
FINDINGS
 5411 E Ocean Blvd (Bayshore Concession Stand)
 Application No.: 2210-23 (LDP22-064)
 January 23, 2023

Pursuant to Section 215.89.04 of the Zoning Ordinance, a Local Coastal Development Permit shall not be approved unless the following findings, in addition to any findings applicable under Chapter 21.25, are made. These findings and staff analysis are presented for consideration, addition, and incorporation into the record of proceedings:

- THE PROPOSED DEVELOPMENT CONFORMS TO THE CERTIFIED LOCAL COASTAL PROGRAM, INCLUDING BUT NOT LIMITED TO ALL REQUIREMENTS FOR REPLACEMENT OF LOW- AND MODERATE-INCOME HOUSING.**
 The project consists of the approval is for the facade remodel of the Bayshore Concession Stand at 5411 East Ocean Boulevard in the Park (P) Zoning District. The remodel includes upgraded windows, new paint color, and replacement of the exterior patio cover. The proposed project is located on this concession stand located at Local Coastal Development Permit (LCPD) (App. No. 9810-13) for the redo of a deck and a LCPD (App. No. 2111-45) for the demolition of an existing exterior staircase an installation of a new exterior elevator and a new (replacement) exterior staircase leading to an existing roof deck and the rehabilitation/replacement of existing ground-level wood decking and the installation of a new wood deck walkway for an Americans with Disabilities Act (ADA) path of travel to the new elevator and existing deck area. The proposed project subject to this application would be limited to improvements to the facade and roof deck of the existing concession stand.
 The Local Coastal Program (LCP) is generally organized by area. The LCP identifies the subject site in Area E (Naples Island and The Peninsula). This segment of the coastal program includes the distinct geographic areas: Naples and the Peninsula, of which the project site is located at the entry to the Peninsula area. As indicated in the LCP, beach areas along Alamitos Bay and Bay Shore Avenue are popular beach areas. The physical characteristics of this portion (Alamitos Bay) of the City's beach area is unique due to the narrow sand area as compared to the wide sand area on the other portions of the City's beach area. The City's Beach area features existing structures that house the public restroom and concession facilities located near 54th Place, and recreational resources for kayak rental, handball courts, basketball courts, and sailing amenities, including boat storage.
 The proposed project is a modification of the existing Bay Shore Beach Concession Stand with no change to access to the existing structure. The Area E Policy Plan identifies plan recommends that there be no further visitors serving

CITY OF LONG BEACH	411 W. Ocean Boulevard, 2nd Floor, Long Beach, CA 90802 562.570.6194 longbeach.gov/bds	Development Services Planning Bureau City Engineer's Office 562.570.6194 longbeach.gov/bds
NOTICE OF FINAL LOCAL ACTION		
Application No.:	2210-23 (SPR22-11A, LCPD22-064)	
Project Location:	S411 E Ocean Blvd (Bayshore Concession Stand) (APN: 7245-010-000)	
Applicant:	Citron Design Group c/o Kara Rice/Shawna Schmidt 380 Junipero Ave., Ste 200 Long Beach, CA 90814	
Permit(s) Requested:	Site Plan Review, Local Coastal Development Permit	
Project Description:	Local Coastal Development Permit for the facade remodel of the Bayshore Concession Stand at S411 East Ocean Boulevard in the Park (P) Zoning District. The remodel includes upgraded windows, new paint color, and replacement rooftop patio cover.	
Action was taken by the:	Site Plan Review On December 14, 2022 Zoning Administrator On January 23, 2023	
Decision:	Conditionally Approved	
Action is final on:	February 2, 2023	
This project is IN the Coastal Zone and IS appealable to the Coastal Commission. <i>"If you challenge the action in court, you may be limited to raising only those issues you or someone else raised at the public hearing described in this notice, or issues raised via written correspondence delivered to the public entity conducting the hearing 40 or prior to the public hearing."</i>		
Send other side for City of Long Beach and California Coastal Commission appeal procedures and time limits.		
 Alexis Orjaza Zoning Administrator		 Maryanne Cronin, Planner Phone No.: (562) 570-5683
		District: 3
Conditions of Approval Application No.: 2210-23 (SPR22-11A, LCPD22-064) S411 E Ocean Blvd (Bayshore Concession Stand) January 23, 2023 Page 4		
such as waterproofing, flood shields, watertight doors, moveable floor walls, partitions, and other floodproofing techniques.		
Standard Conditions:		
20. This permit and all development rights hereunder shall terminate three years from the effective date of this permit unless construction is commenced, or a time extension is granted, based on a written and approved request submitted prior to the expiration of the three-year period as provided in Section 21.21.406 of the Long Beach Municipal Code.		
21. This permit shall be invalid if the owner(s) and/or applicant(s) have failed to return written acknowledgment of their acceptance of the conditions of approval on the Conditions of Approval Acknowledgment form supplied by the Planning Bureau. This acknowledgment must be submitted within 30 days from the effective date of approval (final action date, or, if in the appealable area of the Coastal Zone, 21 days after the local final action date). Prior to the issuance of a building permit, the applicant shall submit a revised set of plans reflecting all the design changes, if any, set forth in the conditions of approval to the satisfaction of the Zoning Administrator.		
22. If, for any reason, there is a violation of any of the conditions of this permit or if the use/operation is found to be detrimental to the surrounding community, including public health, safety or general welfare, environmental quality or quality of life, such shall cause the City to initiate revocation and termination procedures of all rights granted herewith.		
23. In the event of transfer of ownership of the property involved in this application, the new owner shall be fully informed of the permitted use and development of said property as set forth by this permit together with all conditions, which are a part thereof. These specific requirements must be recorded with all title conveyance documents at all times of closing escrow.		
24. All conditions of approval must be printed verbatim on all plans submitted for plan review to the Planning and Building Bureaus. These conditions must be printed on the site plan or a subsequent reference page.		
25. All plans submitted for plan review must explicitly call out and describe all materials, textures, and colors approved by the Zoning Administrator. No substantial changes shall be made without prior written approval of the Zoning Administrator.		
26. The Director of Long Beach Development Services is authorized to make minor modifications to the approved design plans or to any of the conditions of approval if such modifications shall not significantly change alter the approved design/project. Any major modifications shall be reviewed by the Zoning Administrator.		
Findings S411 E Ocean Blvd (Bayshore Concession Stand) Application No.: 2210-23 (SPR22-11A, LCPD22-064) January 23, 2023 Page 4 of 9		
6. THE APPROVAL IS COMPLIANT WITH THE GREEN BUILDING STANDARDS FOR PUBLIC AND PRIVATE DEVELOPMENT, AS LISTED IN SECTION 21.45.400.		
The project will comply with green building standards for private development, as applicable to the scope of work of the proposed remodel, per the requirements of Section 21.45.400. The project design does not include the expansion of the existing structure nor the construction of new condition building spaces. Therefore, requirements for LEED Certification and the provision of solar ready roofs do not apply. As conditioned and in conformance with Section 21.45.400, trash collection areas featuring a designated area for recyclable materials. Therefore, the project would be in compliance with the applicable Green Building Standards outlined for public and private development, as listed in Section 21.45.400 of the Long Beach Municipal Code.		
7. THE PROJECT IS IN COMPLIANCE WITH THE HOUSING REPLENISHMENT REQUIREMENTS OF SECTION 21.11.050 OF CHAPTER 21.11 (NO NET LOSS) OR, SECTION 21.08.040.E OF THIS TITLE, AS APPLICABLE, AND WILL RESULT IN THE SAME OR GREATER NUMBER OF DWELLING UNITS; AND IN THE CASE OF EXISTING AFFORDABLE DWELLING UNITS, THAT THE DWELLING UNITS WILL BE REPLACED AT THE SAME OR DEEPER AFFORDABILITY LEVELS, AND THAT APPLICABLE TENANT PROTECTIONS OF THE LONG BEACH MUNICIPAL CODE WILL BE MET.		
The project would entail the remodel of an existing beach concession stand. No housing would be displaced as part of the project.		



CITRON
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GRILL EM ALL

**5411 E. OCEAN BLVD.
LONG BEACH, CA 90803**

Revision Schedule		
	02/15/22	DESIGN DEVELOPMENT
	08/24/22	PC SUBMITTAL 1
1	01/11/23	PC SUBMITTAL 2



Drawn by: **CITRON DESIGN GROUP**

Scale: AS NOTED

Sheet Description

SCHEDULES— CONDITIONS

Project No. 1

Date: 07/23/2021

A7.03