

PROJECT DATA

DEVELOPMENT REQUIREMENTS:

DESCRIPTION	REQUIRED / ALLOWED	PROVIDED
UNIT PER LOT	2	2
LOT AREA / UNIT (MINIMUM)	1,000 SQ. FT.	3,943 SQ. FT.
MAX LOT COVERAGE:	N/A	N/A
MIN. USABLE OPEN SPACE	2% (78 SQ. FT.)	30% (1152 SQ. FT.)
FLR. AREA RATIO(F.A.R.):	NA	NA
MAX HEIGHT PEAK/MID SPAN: 32' MIDSPAN, 35' AT PEAK	32'-0" / 35'-0"	
FRONT	SIDES	REAR
SETBACKS (MINIMUM)	8 FT.	3 FT.

BUILDING AREA:

EXISTING		NEW	
BUILDING AREAS:	HOUSE	UNIT A	HOUSE
FIRST FLOOR AREA:	1,000 SQ. FT.	757 SQ. FT.	1640 SQ. FT.
SECOND FLOOR AREA:	546 SQ. FT.	0 SQ. FT.	1665 SQ. FT.
THIRD FLOOR AREA:	0 SQ. FT.	0 SQ. FT.	1488 SQ. FT.
TOTAL LIVABLE AREA:	1,546 SQ. FT.	757 SQ. FT.	4,843 SQ. FT.
4-CAR GARAGE AREA:	400 SQ. FT.		1158 SQ. FT.
BASEMENT:			850 SQ. FT.
ACCESSORY STRUCTURE:			176 SQ. FT.

OPEN SPACES:

FIRST FLOOR PATIOS:	560 SQ. FT.
BALCONIES:	512 SQ. FT.
TOTAL AREA:	1152 SQ. FT.

DESCRIPTION OF WORK:

Demolition of an existing duplex and construction of a new residential duplex with an attached four-car garage in the R-2-1 (Two-Family Residential District with Intensified Development on the Lots) - REVISED PLANS REQUIRED ARE PER ALTERNATIVE CONSIDERED FROM PLANNING COMMISSION ON JUNE 2ND, 2022.

A variance request for a curb cut of 36' in lieu of the LBMG standard 20' ALL NEW MECHANICAL, ELECTRICAL AND PLUMBING

CONSULTANTS

ARCHITECTURAL:

GULIAN DESIGN, INC.
5855 NAPLES PLAZA, SUITE 212
LONG BEACH, CA 90803
(562) 434-6993 PH
(562) 434-1544 FAX
CONTACT: EDWARD GULIAN
eg@guliandesign.com

STRUCTURAL ENGINEERING:

ZMJ ENGINEERING, INC.
STRUCTURAL CONSULTANTS
14911 VAN NESS AVENUE
GARDENA, CA 90249
(562) 235-4572

CONTACT: AHMED BOUZARIF - "ALAN"
ENGINEER OF RECORD: Zouheir Salah RPE# 42881

MECHANICAL (TITLE-24):

PLAR - TITLE 24 EZ
1252 W 22ND STREET
SAN PEDRO, CA 90731
TEL: (324) 241-1658
CONTACT: IGOR FICHKO GENAPEPE

PROJECT LEGEND

CLIENT:

MIKE AND JILL PETERS
5425 E SEASIDE WALK
LONG BEACH, CA 90803

PROJECT ADDRESS

5425 E SEASIDE WALK
LONG BEACH, CA 90803

LEGAL DESCRIPTION:

APN: T245-0187-015
LOT 8 BLOCK 31 ALAMITOS BAY TRACT WAS ESTABLISHED USING FOUND MONUMENTS ALONG OCEAN BLVD AND 60TH PLACE, AND RECORD INFORMATION SHOWN ON PARCEL MAP 4663 P.M.B. 54/82

ZONING INFORMATION

ZONE: R-2-1
OCCUPANCY: R-3 / U
FLOOD ZONE: X
CONSTRUCTION TYPE: TYPE V-B
FIRE SPRINKLERS: YES

ENFORCING CODES:

2014 EDITION OF THE CALIFORNIA BUILDING CODE
TITLE-24 OF THE CALIFORNIA CODES OF REGULATIONS

PART 1 CALIFORNIA ADMINISTRATION CODE (CAC)
PART 2 CALIFORNIA BUILDING CODE (CBC)
PART 3 CALIFORNIA RESIDENTIAL CODE (CRC)
PART 4 CALIFORNIA ELECTRICAL CODE (CEC)
PART 5 CALIFORNIA MECHANICAL CODE (CMC)
PART 6 CALIFORNIA PLUMBING CODE (CPC)
PART 7 CALIFORNIA ENERGY CODE (CEC)
PART 8 VACANT
PART 9 CALIFORNIA HISTORICAL BUILDING CODE (CHBC)
PART 10 CALIFORNIA FIRE CODE (CFC)
PART 11 CALIFORNIA EXISTING BUILDING CODE (CEBC)
PART 12 CALIFORNIA GREEN BUILDING STANDARDS CODE (CALGreen)
LONG BEACH MUNICIPAL CODE (2020)

SITE PLAN NOTES

1. ALL DIMENSIONS ON THIS PLAN ARE CLEAR DIMENSIONS FROM FINISH TO PROPERTY LINES CONTRACTORS SHALL VERIFY DISTANCES TO ACCOMMODATE STRUCTURE AND FINISHES TO ALLOW FOR THESE CLEAR DIMENSIONS. TYP.

2. AFTER DEMOLITION AND REMOVAL OF EXISTING STRUCTURE, CONTRACTOR SHALL CONTRACT A SOILS ENGINEER TO VERIFY 90% SOIL COMPACTION.

3. ALL UTILITIES SHALL BE REPLACED AND UPGRADED. ELECTRICAL SHALL BE UNDERGROUND 200AMP SERVICE. GAS SHALL BE RAN TO NEW METER LOCATION INDICATED BY DEPARTMENT OF GAS. WATER SUPPLY SHALL BE RAN FROM EXISTING WATER METER INTO HOUSE WITH 1-1/2" MAIN COPPER PIPING.

4. DURING CONSTRUCTION, THE CONTRACTOR SHALL PROVIDE TEMPORARY FACILITIES FOR TOILET, SECURITY FENCING AND ALL UTILITIES TO PERFORM WORK AT SITE WITH ADEQUATE EFFICIENCY.

CONSTRUCTION NOISE REGULATIONS
THE MUNICIPAL CODE PROHIBITS ANY CONSTRUCTION REQUIRING A PERMIT FROM PRODUCING UNUSUALLY LOUD NOISE DURING THE FOLLOWING HOURS:
WEEKDAYS AND FEDERAL HOLIDAYS: 7:00 P.M. TO 7:00 A.M. THE FOLLOWING WEEKDAY:
SATURDAYS: BEFORE 9:00 A.M. AND AFTER 6:00 P.M.
SUNDAYS: ALL DAY.
UNUSUAL NOISE IS THAT WHICH ANNOYS OR DISTURBS A REASONABLE PERSON OF NORMAL SENSITIVITY. IN ADDITION TO HEALTH DEPARTMENT STAFF, THE REGULATIONS MAY BE ENFORCED BY POLICE OFFICERS. A PERSON FOUND GUILTY OF VIOLATING THE REGULATIONS IS SUBJECT TO A FINE OR IMPRISONMENT, OR BOTH. THE LANDOWNER, CONSTRUCTION COMPANY OWNER, CONTRACTOR, SUB-CONTRACTOR OR EMPLOYER CAN BE A CO-DEFENDANT WHENEVER AN EMPLOYEE IS PROSECUTED FOR VIOLATING THE NOISE REGULATIONS. IF GOOD CAUSE IS SHOWN, THE HEALTH DEPARTMENT NOISE CONTROL OFFICER MAY GRANT A PERMIT ALLOWING WORK ON SUNDAYS FROM 9:00 A.M. TO 6:00 P.M. THE BUILDING OFFICIAL MAY AUTHORIZE EMERGENCY WORK TO PROCEED AT ANY TIME PERIOD. THE NOISE CONTROL OFFICER SHOULD BE CONTACTED AT (562) 510-4000 FOR ANY ADDITIONAL INFORMATION.

5. REMOVE ALL EXTERIOR STUCCO, AND PREPARE FOR NEW SMOOTH STUCCO FINISH.

VICINITY MAP

SHEET INDEX

T-1	TITLE SHEET AND PROJECT DATA
GN-1	GENERAL NOTES
GN-1	GENERAL NOTES
A-10	SITE PLAN
A20	FIRST + SECOND FLOORS DEMOLITION PLANS
A30	FIRST FLOOR PLAN
A31	SECOND FLOOR PLAN
A40	ROOF PLAN
A50	EXTERIOR ELEVATIONS
A51	EXTERIOR ELEVATIONS
A60	BUILDING SECTIONS
A70	FIRST FLOOR ELECTRICAL PLAN
A71	SECOND FLOOR ELECTRICAL PLAN
A80	FIRST FLOOR REFLECTED CEILING PLAN
A81	SECOND FLOOR REFLECTED CEILING PLAN
A90	DOOR + WINDOW SCHEDULES + FINISH SCHEDULE
A100	CITY OF LONG BEACH NOTES AND CITY FORMS
A110	CALIFORNIA GREEN NOTES
A111	CALIFORNIA GREEN NOTES
A120	INTERIOR ELEVATIONS
A130	SPECIFICATION SHEETS
AD-1	DETAILS
AD-2	DETAILS
AD-3	DETAILS
	TITLE 24 COMPLIANCE
T-241	TITLE 24 COMPLIANCE
T-242	TITLE 24 COMPLIANCE
T-243	TITLE 24 COMPLIANCE + MANDATORY MEASURES
	STRUCTURAL DRAWINGS
SN-1	STRUCTURAL NOTES
SN-2	STRUCTURAL NOTES AND SCHEDULES
S-1	FOUNDATION PLAN
S-2	SECOND FLOOR FRAMING PLAN
S-3	ROOF FRAMING PLANS
D-1	STRUCTURAL DETAILS
D-2	STRUCTURAL DETAILS
D-3	STRUCTURAL DETAILS
D-4	STRUCTURAL DETAILS
D-5	STRUCTURAL DETAILS
D-6	STRUCTURAL DETAILS

ADDITIONAL CITY NOTES:

1. MIN. USABLE OPEN SPACE REQUIREMENTS EXCLUDES AREAS OF DRIVEWAYS, FRONT YARD SETBACK, AND AREAS SMALLER THAN 5'X5'.

ITEMS UNDER SEPARATE PERMIT:

BLOCK WALLS
FENCES
LANDSCAPE AREAS
DEMOLITION

** PLANS FOR DEFERRED SUBMITTAL ITEMS SHALL BE SUBMITTED TO LBS FOR APPROVAL AT LEAST 60 DAYS PRIOR TO INSTALLATION.

PERMEABLE PAVING

NON-PERMEABLE PAVING (30% MAXIMUM)
LOT = 3,943 SQ. FT. - 2656 SQ. FT. (FOOTPRINT) = 1237 SQ. FT.
MAXIMUM = 1237 SQ. FT. X 30% = 371 SQ. FT. MAX
PROVIDED = 300 SQ. FT. (24%)

LANDSCAPE AREA IN FRONT YARD
LOT = 3,943 SQ. FT.
REQUIRED = 3,222 SQ. FT. X 30% = 1170 SQ. FT. MINIMUM

LANDSCAPE REQUIREMENTS

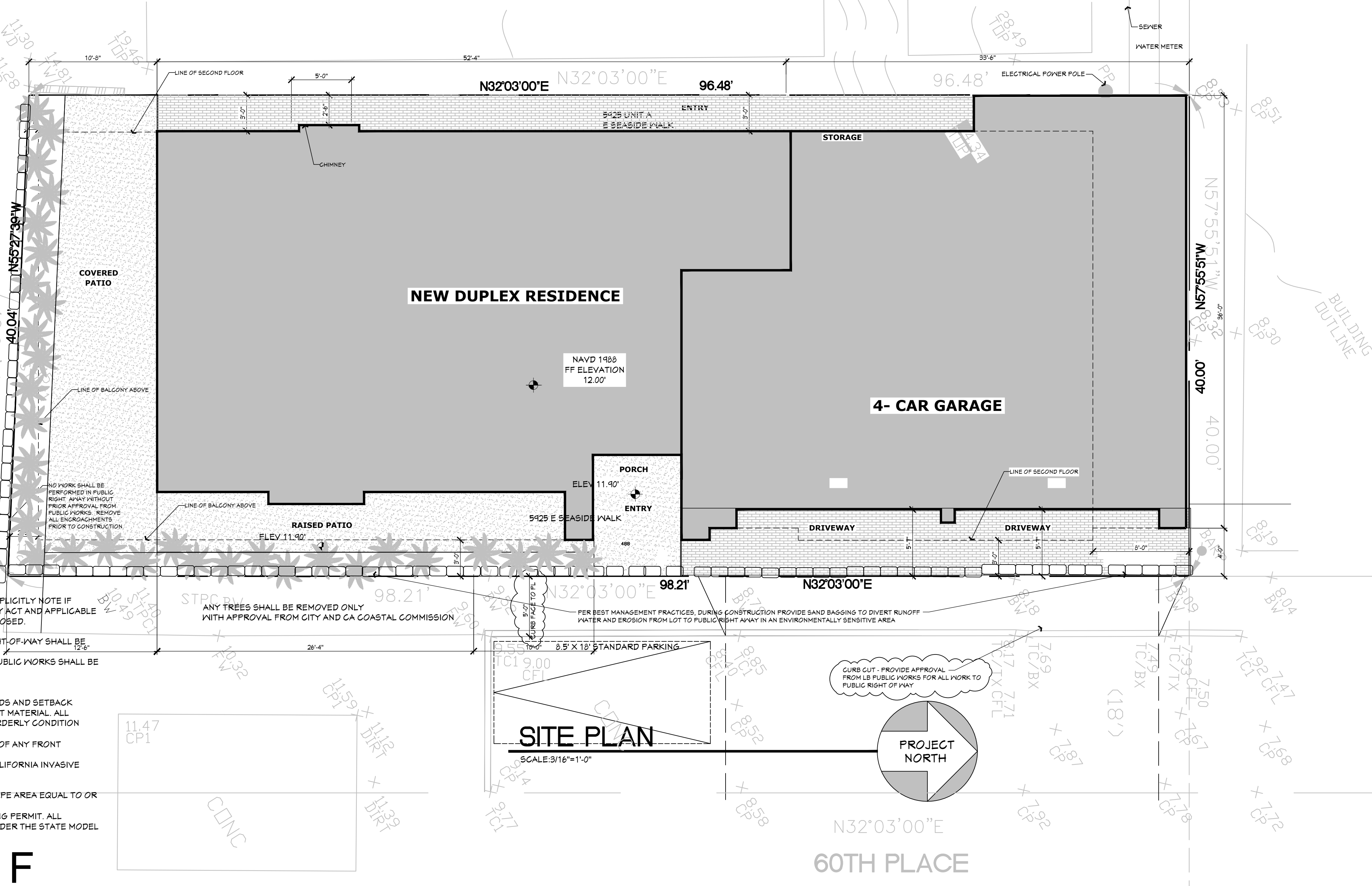
LIVE PLANT MATERIAL SHALL COVER A MINIMUM OF 50% OF ANY FRONT YARD SETBACK AREA.
REQUIRED:
1'5" (AVERAGE FRONT YARD SETBACK) X 40' (LENGTH OF PROPERTY LINE) = 120'2 = 60 SQ. FT. OF LANDSCAPED AREA REQUIRED
PROVIDED:
3' X 40' = 120 SQ. FT. OF LANDSCAPED AREA WITHIN FRONT YARD SETBACK

NON-PERMEABLE AREA REQUIREMENTS

NON-PERMEABLE PAVING AND NON-PERMEABLE ARTIFICIAL TURF SHALL NOT COVER MORE THAN 30% OF ON-SITE AREA THAT IS NOT COVERED BY STRUCTURES, DRIVEWAYS, AND APPROVED PARKING PADS.
478 AREA EXISTING - 243 MAX / 230 PROVIDED

PLANNING NOTES:

- TREES - EXISTING TREES SHALL BE IDENTIFIED ON THE SITE PLAN AND EXPLICITLY NOTE IF REMOVAL IS PROPOSED. COMPLIANCE WITH THE MIGRATORY BIRD TREATY ACT AND APPLICABLE COASTAL POLICIES WILL BE REQUIRED IF TREE MODIFICATIONS ARE PROPOSED.
- EXISTING ENCROACHMENTS - ANY ENCROACHMENTS ON THE PUBLIC RIGHT-OF-WAY SHALL BE REMOVED
ONLY LANDSCAPE AND PLANTWORK APPROVED BY THE DEPARTMENT OF PUBLIC WORKS SHALL BE INCLUDED IN THE PUBLIC RIGHT-OF-WAY.
- LANDSCAPING - PER SECTION 21.42.030 OF THE LBMG, ALL REQUIRED YARDS AND SETBACK AREAS SHALL BE ATTRACTIVELY LANDSCAPED PRIMARILY WITH LIVE PLANT MATERIAL. ALL LANDSCAPED AND PAVED AREAS SHALL BE MAINTAINED IN A NEAT AND ORDERLY CONDITION WITH HEALTHY LANDSCAPING FREE OF WEEDS AND LITTER
LIVE PLANT MATERIAL SHALL COVER A MINIMUM OF FIFTY PERCENT (50%) OF ANY FRONT SETBACK AREA.
THE USE OF INVASIVE PLANT SPECIES, SUCH AS THOSE LISTED BY THE CALIFORNIA INVASIVE PLANT COUNCIL, SHALL BE PROHIBITED IN THE COASTAL ZONE.
NEW RESIDENTIAL LANDSCAPE PROJECTS WITH AN AGGREGATE LANDSCAPE AREA EQUAL TO OR GREATER THAN FIVE HUNDRED (500) SQUARE FEET REQUIRE A LANDSCAPE PLUMBING PERMIT. ALL LANDSCAPING SHALL BE CONSISTENT WITH STANDARDS ESTABLISHED UNDER THE STATE MODEL WATER EFFICIENT LANDSCAPE ORDINANCE (MWELO) (SECTION 21.42.035)



AS THE ARCHITECT/ENGINEER OF RECORD, I HAVE SELECTED APPROPRIATE BMPs TO EFFECTIVELY MINIMIZE THE NEGATIVE IMPACTS OF THIS PROJECT'S CONSTRUCTION ACTIVITIES ON STORM WATER QUALITY. THE PROJECT OWNER AND CONTRACTOR ARE AWARE THAT THE SELECTED BMPs MUST BE INSTALLED, MONITORED, AND MAINTAINED TO ENSURE THEIR EFFECTIVENESS. THE BMPs NOT SELECTED FOR IMPLEMENTATION ARE REDUNDANT OR DEEM NOT APPLICABLE TO THE PROPOSED CONSTRUCTION ACTIVITIES.

NAME

POSITION

DATE

I CERTIFY THAT THE PROPOSED WORK WILL NOT DESTROY OR UNREASONABLY INTERFERE WITH ANY ACCESS OR UTILITY EASEMENT BELONGING TO OTHERS AND LOCATED ON MY PROPERTY, BUT IN THE EVENT SUCH WORK DOES DESTROY OR UNREASONABLY INTERFERE WITH SUCH EASEMENT, A SUBSTITUTE EASEMENT(S) SATISFACTORY TO THE HOLDER(S) OF THE EASEMENT WILL BE PROVIDED.

NAME

POSITION

DATE

GD

GULIAN DESIGN

ARCHITECTURE

5855 NAPLES PLAZA SUITE 212
LONG BEACH, CALIFORNIA 90803
(562) 434-6993

REVISIONS:
LCDF AND VARIANCE 2108-31
CONDITIONS OF APPROVAL

PETERS RESIDENCE

NEW CUSTOM RESIDENTIAL DUPLEX

5425 E SEASIDE WALK
LONG BEACH, CA 90803

TITLE SHEET

SITE DATA

SITE PLAN

DRAWN BY: EVG

SCALE: NOTED

CAD FILE: XXXXXXXX

PROJECT NO.:

DATE: 6-12-2022

T-1

SHEET OF

SEASIDE WALK

N55°27'39"W

40.04'

N32°03'00"E

3'-0"

UP 14R

WINE STORAGE

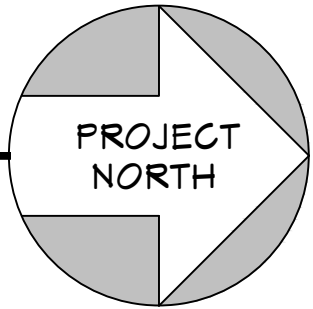
UTILITIES

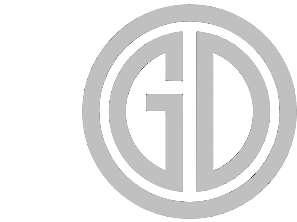
BASEMENT

60TH PLACE

BASEMENT PLAN

SCALE: 1/4" = 1'-0"
850 SQ. FT.





**GULIAN
DESIGN**
ARCHITECTURE

5855 NAPLES PLAZA SUITE 202
LONG BEACH, CALIFORNIA 90803
(562) 434-6993

REVISIONS:

1	LCDF AND VARIANCE 2108-31
	CONDITIONS OF APPROVAL

PETERS RESIDENCE
NEW CUSTOM RESIDENTIAL DUPLEX

5925 E SEASIDE WALK
LONG BEACH, CA 90803

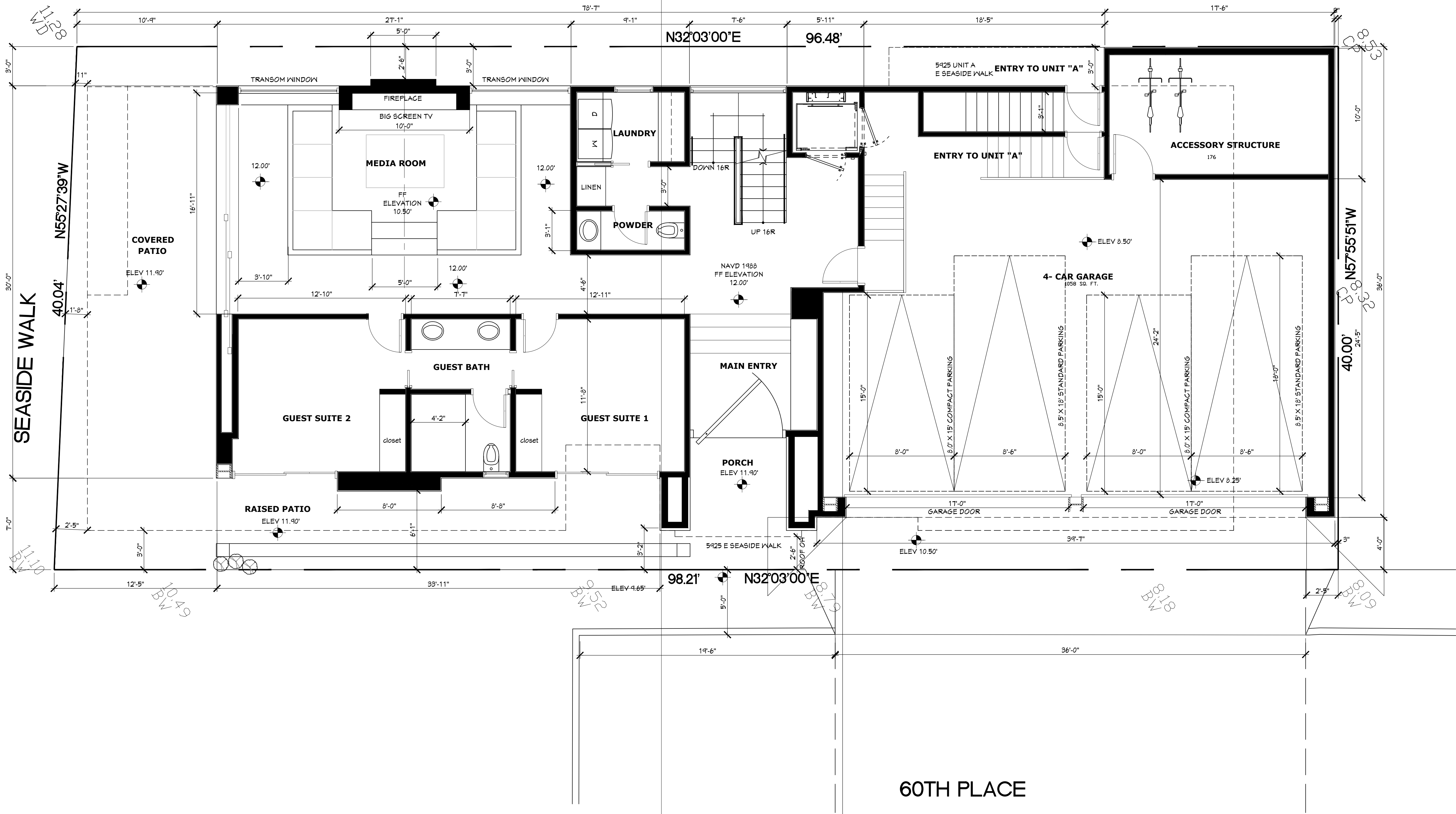
PROPOSED
BASEMENT PLAN

DRAWN BY:	EVG
SCALE:	NOTED
CAD FILE:	XXXXXXXXXX
PROJECT NO.:	
DATE:	6-12-2022

A1.0

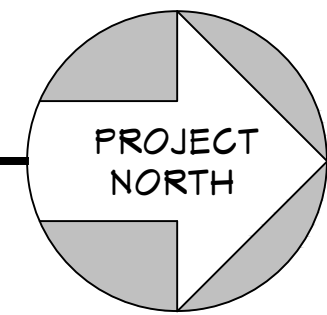
SHEET ____ OF ____

THESE PLANS ARE THE PROPERTY OF GULIAN DESIGN, INC. AND MAY NOT BE REPRODUCED IN PART OR WHOLE WITHOUT THE EXPRESSED WRITTEN PERMISSION OF GULIAN DESIGN, INC.



FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"
1640 SQ. FT. HOUSE
914 SQ. FT. GARAGE + STORAGE





GULIAN DESIGN
ARCHITECTURE
5655 NAPLES PLAZA SUITE 202
LONG BEACH, CALIFORNIA 90803
(562) 434-6993

REVISIONS:

1	LCDF AND VARIANCE 2108-31
	CONDITIONS OF APPROVAL

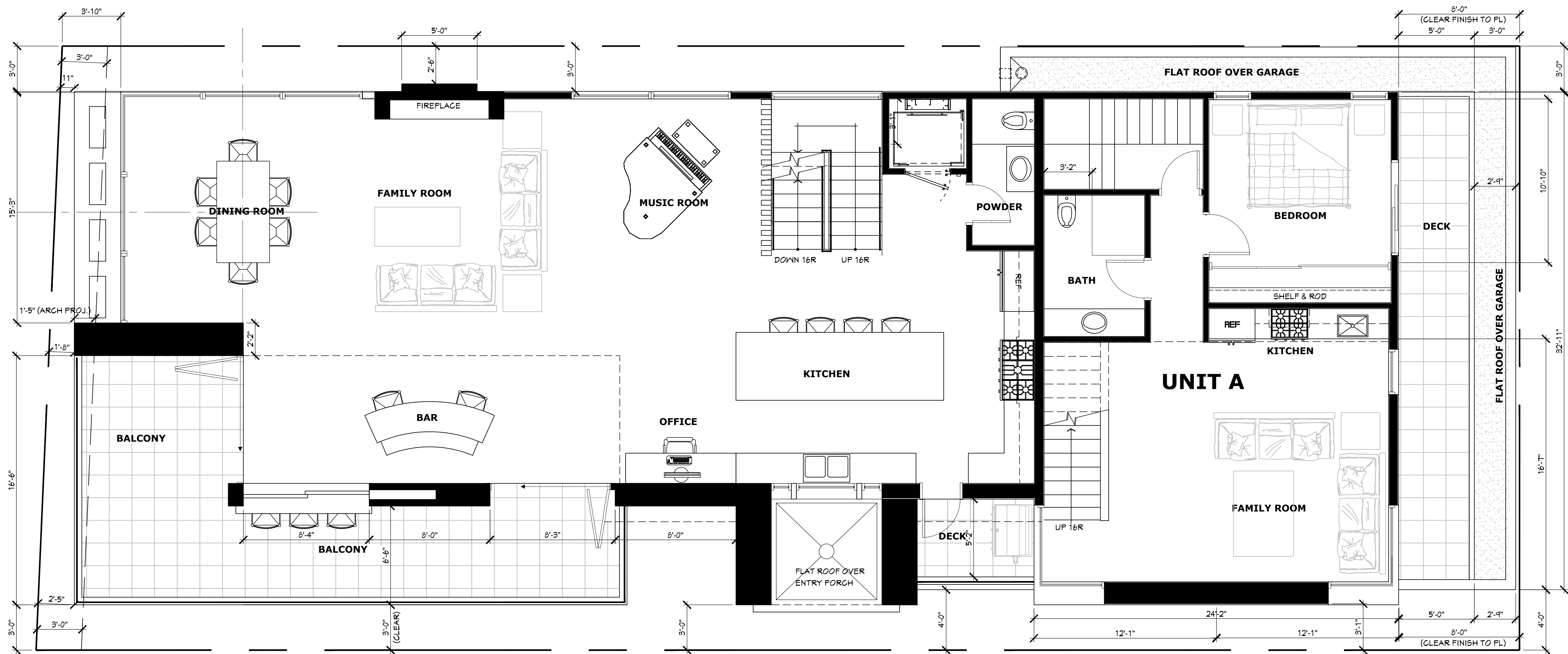
PETERS RESIDENCE
NEW CUSTOM RESIDENTIAL DUPLEX
5925 E SEASIDE WALK
LONG BEACH, CA 90803

PROPOSED
FIRST FLOOR PLAN

DRAWN BY:	EVG
SCALE:	NOTED
CAD FILE:	XXXXXXXXXX
PROJECT NO.:	
DATE:	6-12-2022

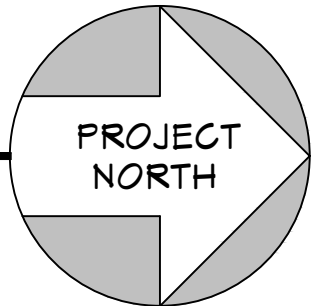
A1.1
SHEET ____ OF ____

THESE PLANS ARE THE PROPERTY OF GULIAN DESIGN, INC. AND MAY NOT BE REPRODUCED IN PART OR WHOLE WITHOUT THE EXPRESSED WRITTEN PERMISSION OF GULIAN DESIGN, INC.



SECOND FLOOR PLAN

SCALE: 1/4"=1'-0"
1665 SQ. FT. HOUSE
660 SQ. FT. UNIT 2



GULIAN
DESIGN
ARCHITECTURE

5655 NAPLES PLAZA SUITE 202
LONG BEACH, CALIFORNIA 90803
(562) 434-6993

REVISIONS:	
1	LCDF AND VARIANCE 2103-31 CONDITIONS OF APPROVAL

PETERS RESIDENCE

NEW CUSTOM RESIDENTIAL DUPLEX

5925 E SEASIDE WALK
LONG BEACH, CA 90803

CONSTRUCTION

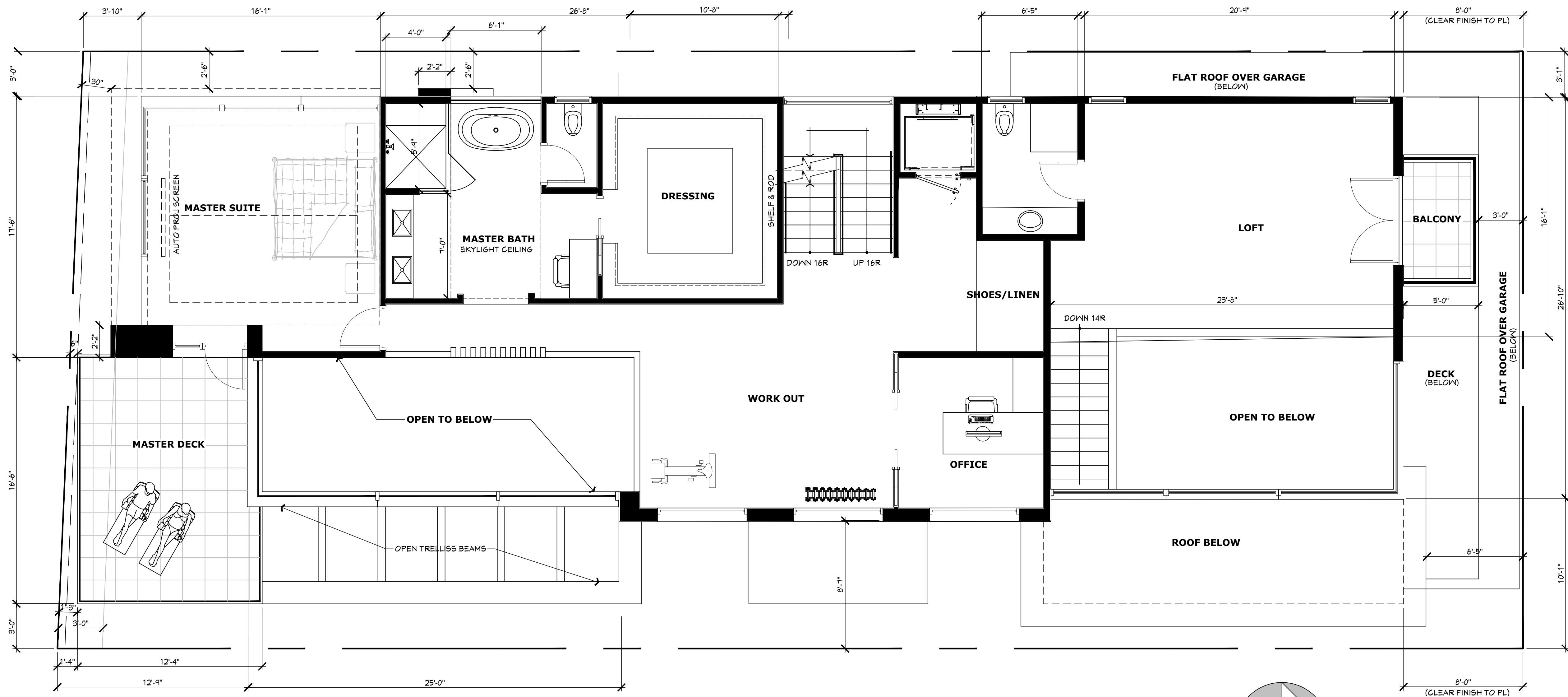
SECOND FLOOR PLAN

DRAWN BY:	EVG
SCALE:	NOTED
CAD FILE:	XXXXXXXXXX
PROJECT NO.:	
DATE:	6-12-2022

A1.2

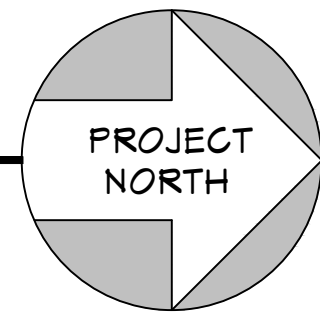
SHEET ____ OF ____

THESE PLANS ARE THE PROPERTY OF GULIAN DESIGN, INC. AND MAY NOT BE REPRODUCED IN PART OR WHOLE WITHOUT THE EXPRESSED WRITTEN PERMISSION OF GULIAN DESIGN, INC.



THIRD FLOOR PLAN

SCALE: 1/4"=1'-0"
1488 SQ. FT. HOUSE
400 SQ. FT. UNIT 2



GULIAN DESIGN
ARCHITECTURE
5855 NAPLES PLAZA SUITE 202
LONG BEACH, CALIFORNIA 90803
(562) 434-6993

REVISIONS:

1	LCDF AND VARIANCE 2108-31
	CONDITIONS OF APPROVAL

PETERS RESIDENCE
NEW CUSTOM RESIDENTIAL DUPLEX
5925 E SEASIDE WALK
LONG BEACH, CA 90803

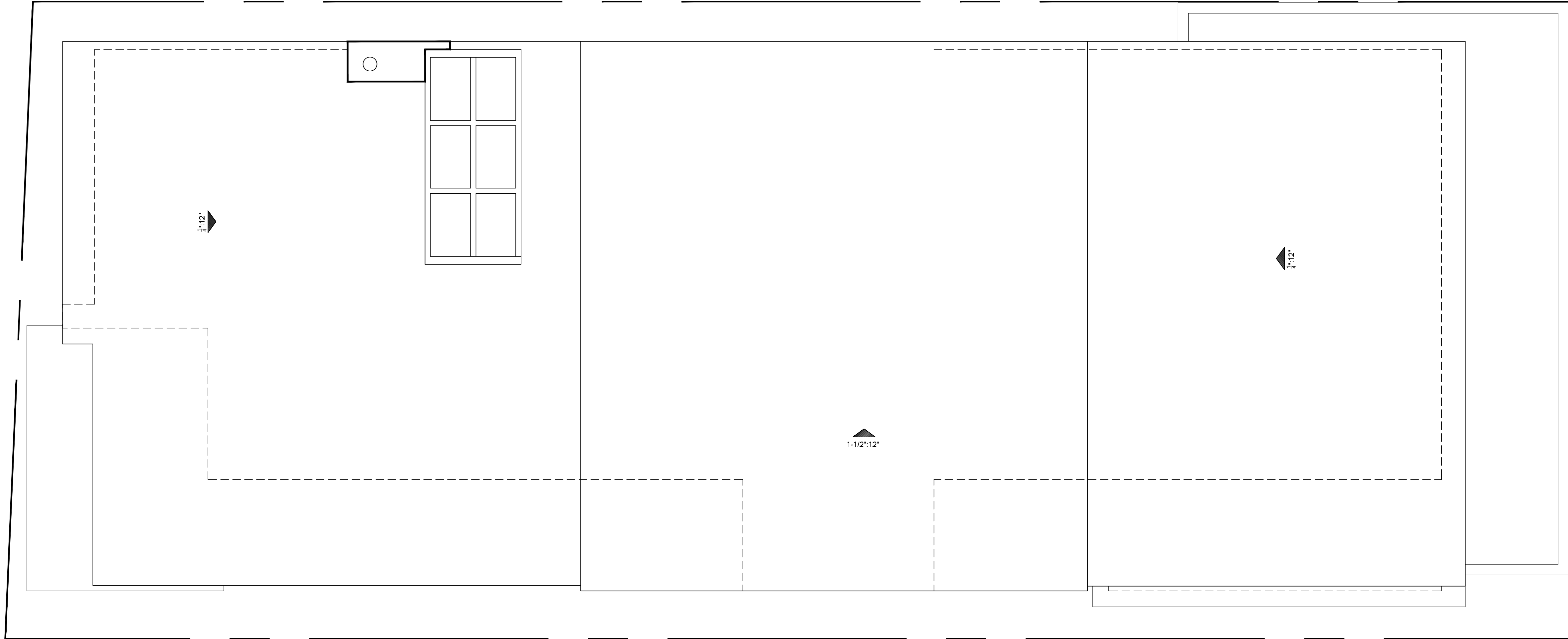
CONSTRUCTION
THIRD FLOOR PLAN

DRAWN BY:	EVG
SCALE:	NOTED
CAD FILE:	XXXXXXXXXX
PROJECT NO.:	
DATE:	6-12-2022

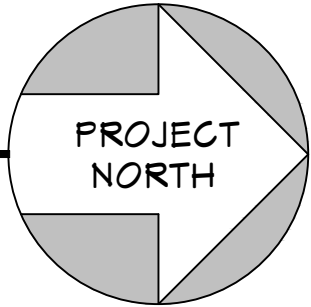
A1.3

SHEET ____ OF ____

THESE PLANS ARE THE PROPERTY OF GULIAN DESIGN, INC. AND MAY NOT BE REPRODUCED IN PART OR WHOLE WITHOUT THE EXPRESSED WRITTEN PERMISSION OF GULIAN DESIGN, INC.



ROOF PLAN
SCALE: 1/4" = 1'-0"





**GULIAN
DESIGN**
ARCHITECTURE

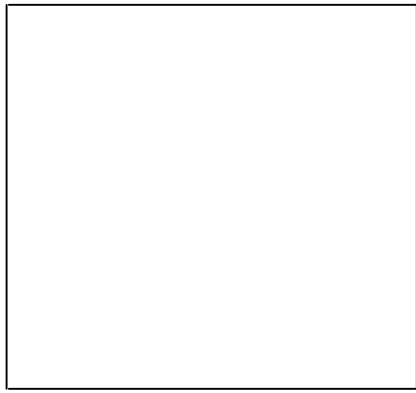
5855 NAPLES PLAZA SUITE 202
LONG BEACH, CALIFORNIA 90803
(562) 434-6993

REVISIONS:	
	LCDP AND VARIANCE 2108-31 CONDITIONS OF APPROVAL
	
	
	
	

PETERS RESIDENCE
NEW CUSTOM RESIDENTIAL DUPLEX

5925 E SEASIDE WALK
LONG BEACH, CA 90803

CONSTRUCTION
ROOF PLAN

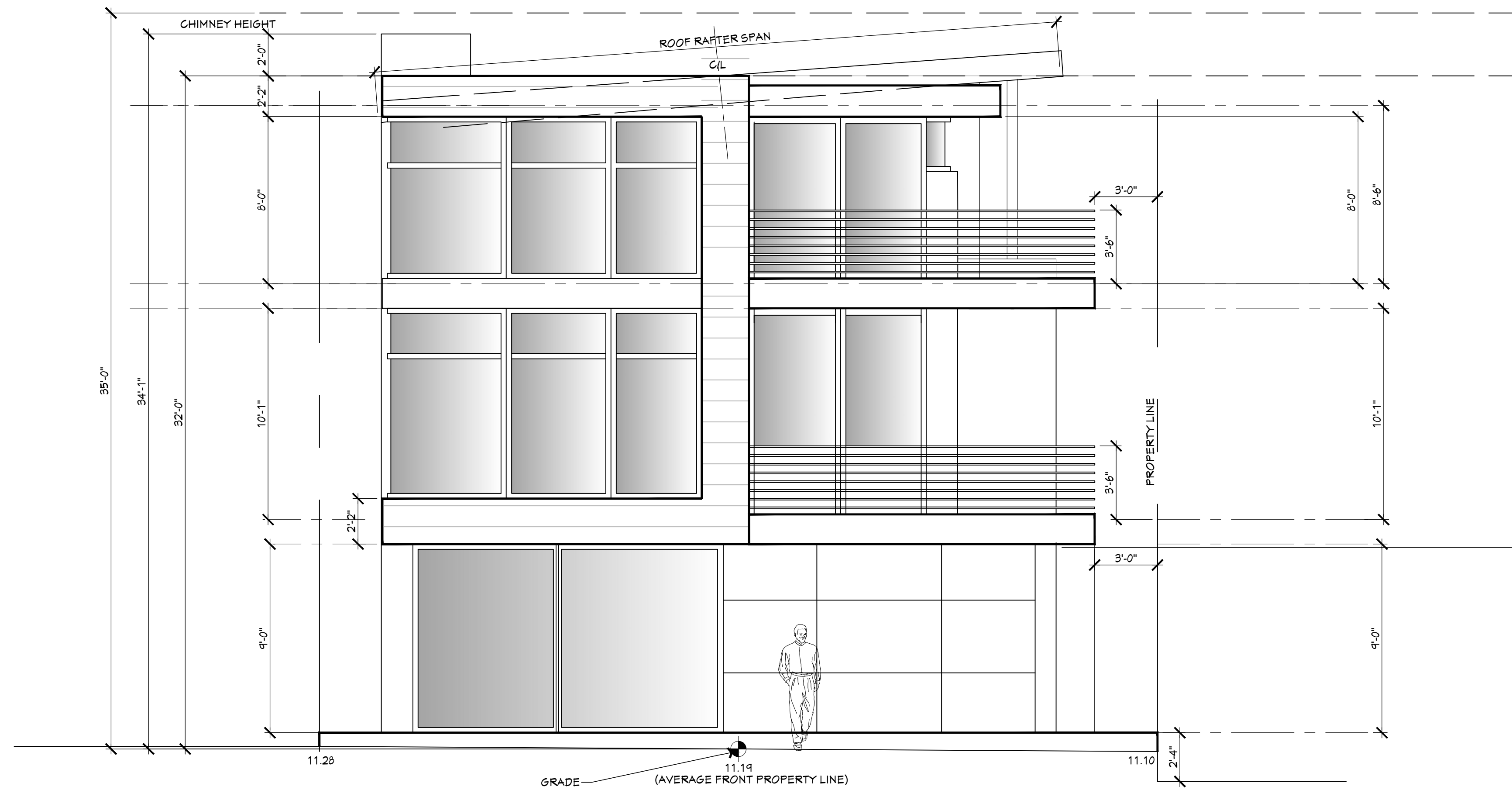


DRAWN BY:	EVG
SCALE:	NOTED
CAD FILE:	XXXXXXXXXX
PROJECT NO.:	
DATE:	6-12-2022

A1.4

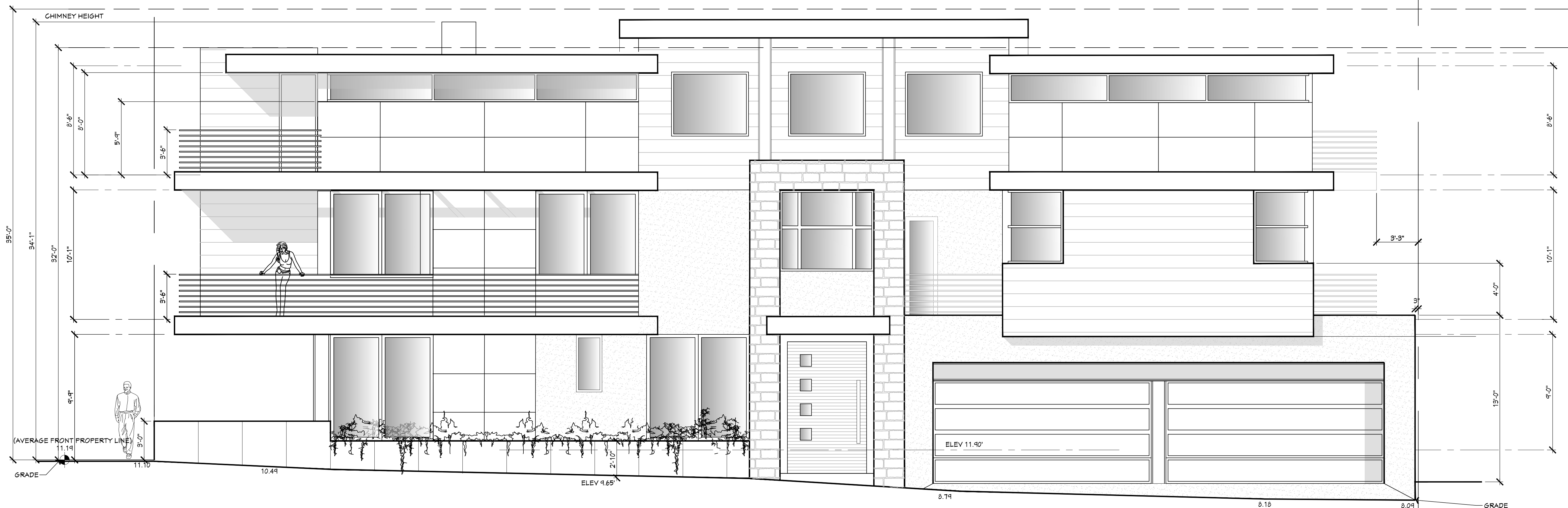
SHEET ____ OF ____

THESE PLANS ARE THE PROPERTY OF GULIAN DESIGN, INC. AND MAY NOT BE REPRODUCED IN PART OR WHOLE WITHOUT THE EXPRESSED WRITTEN PERMISSION OF GULIAN DESIGN, INC.



SOUTH ELEVATION

SCALE: 1/4"=1'-0"



EAST ELEVATION

SCALE: 1/4"=1'-0"



**GULIAN
DESIGN**
ARCHITECTURE

5855 NAPLES PLAZA SUITE 202
LONG BEACH, CALIFORNIA 90803
(562) 434-6993

REVISIONS:

1. LCDF AND VARIANCE 2108-31
CONDITIONS OF APPROVAL

△	
△	
△	
△	
△	

PETERS RESIDENCE
NEW CUSTOM RESIDENTIAL DUPLEX
5925 E SEASIDE WALK
LONG BEACH, CA 90803

PROPOSED
EXTERIOR ELEVATIONS

DRAWN BY: **EVG**

SCALE: **NOTED**

CAD FILE: **XXXXXXXXXX**

PROJECT NO.:

DATE: **6-12-2022**

A2.0

SHEET ___ OF ___

