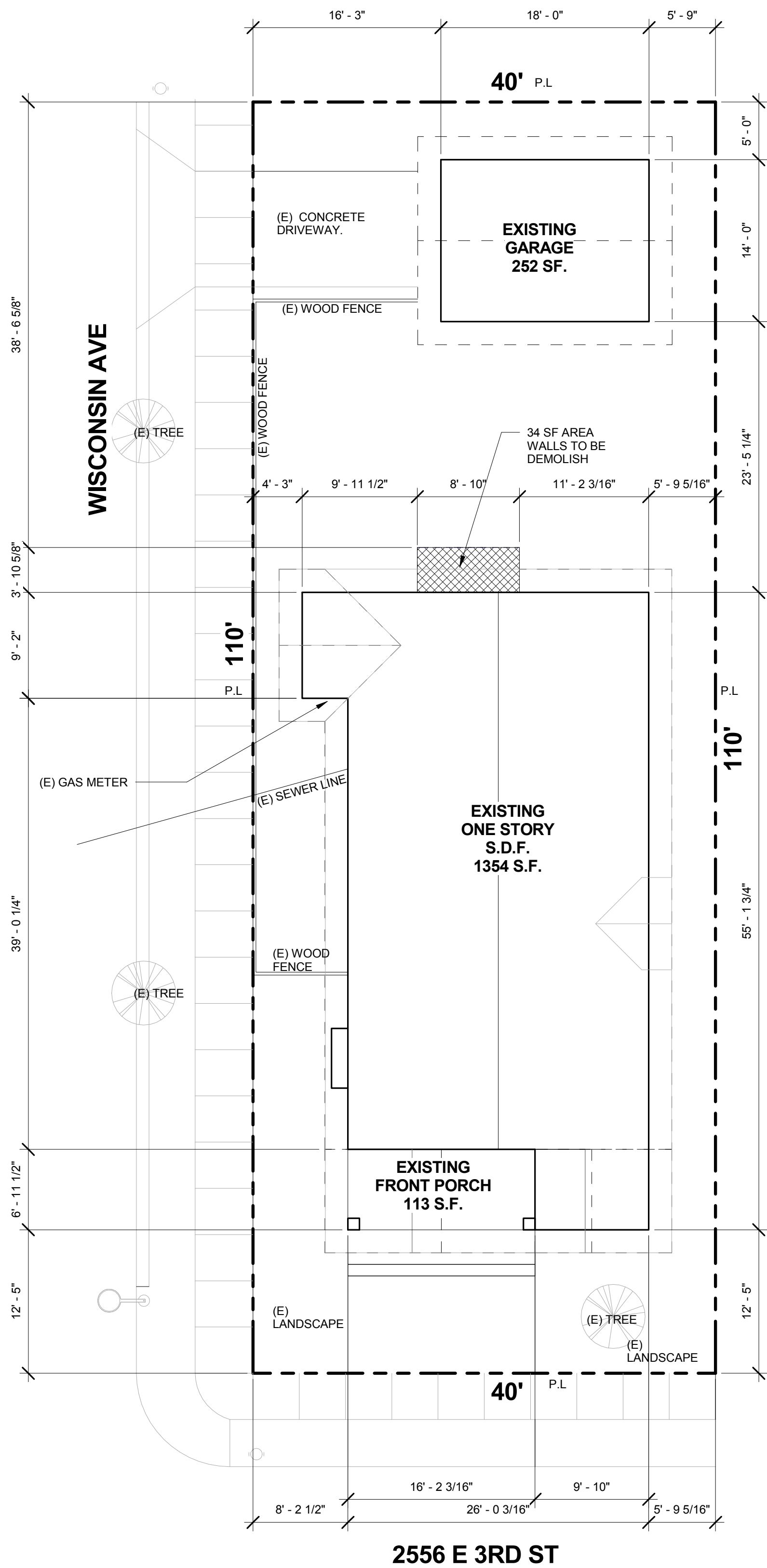


MENNELLA RESIDENCE

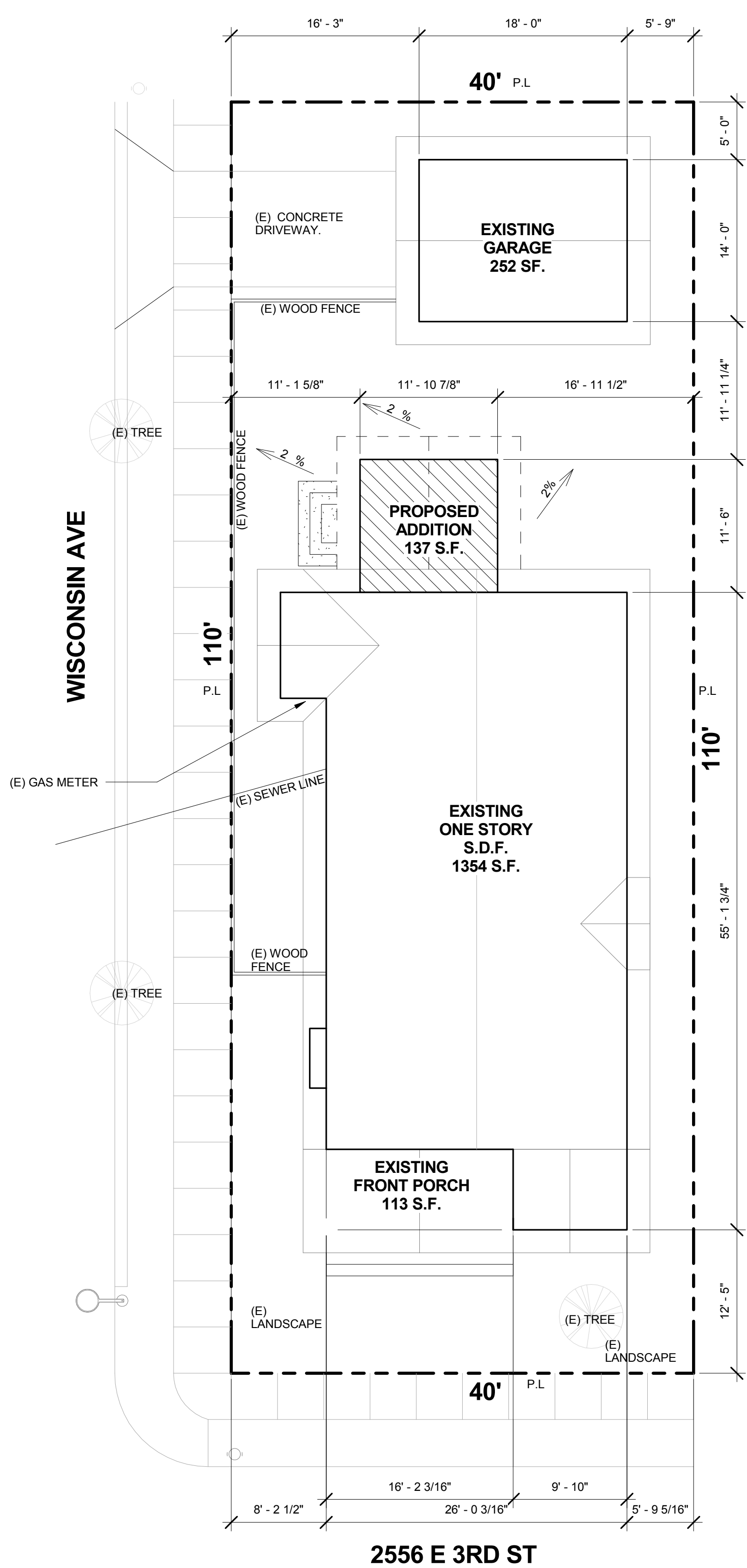
Attachment C



③ EXISTING SITE PLAN
1/8" = 1'-0"

LEGEND:

- NEW 2X4 WALL
- NEW 2X6 WALL, BALLOON FRAME
- EXISTING WALL
- DEMOLISHED WALL



① SITE PLAN
1/8" = 1'-0"

PROJECT DATA	
OWNER:	HILLARY & JERAMI MENNELLA 2556 E. 3RD ST LONG BEACH, CA 90814
A.P.N.	7263-016-003
TRACT NO.	STEVENS HOME TRACK N 110 FT EX OF ST OF LOT 3
ZONING:	R-2-A
SITE AREA:	4400 SQ. FT.
(E) SINGLE FAMILY DWELLING:	1354 SQ. FT.
DEMOLITION:	-34 SQ. FT.
ADDITION:	137 SQ. FT.
TOTAL LIVING AREA:	1457 SQ. FT.
(E) FRONT PORCH:	113 SQ. FT.
(E) 1-CAR GARAGE:	252 SQ. FT.
FLOOR AREA RATIO:	1457 / 4400 = 0.33
LOT COVERAGE:	1457+113+252=1842/ 4400 = 42 %
OCCUPANCY GROUP:	R-3 / U
CONSTRUCTION TYPE:	VB
STORIES/HEIGHT:	1
SPRINKLED:	NO

PROJECT BASED IN ACCORDANCE WITH:	
2019 CRC	CALIFORNIA RESIDENTIAL CODE
2019 CBC	CALIFORNIA BUILDING CODE
2019 CPC	CALIFORNIA PLUMBING CODE
2019 CMC	CALIFORNIA MECHANICAL CODE
2019 CEC	CALIFORNIA ELECTRICAL CODE
2019 CEES	CALIFORNIA ENERGY EFFICIENCY STANDARDS
2019 GBSC	GREEN BUILDING STANDARDS CODE
TITLE 18 LONG BEACH MUNI-CODE	

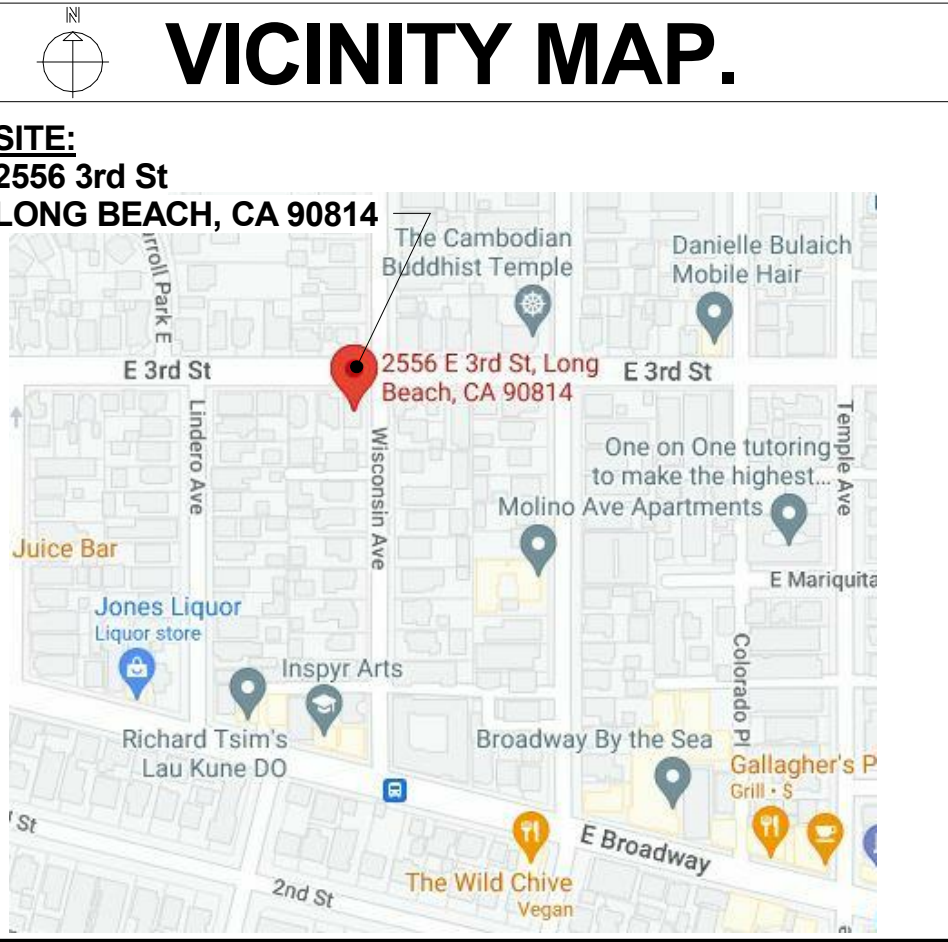
SB 407 COMPLIANCE:	
MAX FLOW RATES SET BY CALIFORNIA GREEN CODE	
AS OF JANUARY 1, 2016, SENATE BILL 407 REQUIRES ALL PLUMBING FIXTURES TO BE REPLACED WITH COMPLIANT WATER CONSERVING FIXTURES AND SHALL BE VERIFY PRIOR TO BUILDING FINAL INSPECTION.	
WATER CLOSET:	1.28 GPF
SHOWERHEADS:	1.8 GPM @ 80 PSI
KITCHEN FAUCET:	1.8 GPM @ 60 PSI
RES. LAVATORY FAUCET:	1.2 GPM @ 60 PSI

"I CERTIFY THAT THE PROPOSED WORK WILL NOT DESTROY OR UNREASONABLY WITH ANY ACCESS OR UTILITY EASEMENT BELONGING TO OTHERS AND LOCATED ON MY PROPERTY, BUT IN THE EVENT SUCH WORK DOES DESTROY OR UNREASONABLY INTERFERE WITH SUCH EASEMENT, A SUBSTITUTE EASEMENT(S) SATISFACTORY TO THE HOLDER(S) OF THE EASEMENT WILL BE PROVIDED."

SIGNATURE	TITLE
PRINT NAME	DATE
AS THE ARCHITECT/ENGINEER OF RECORD, I HAVE SELECTED APPROPRIATE BMPs TO EFFECTIVELY MINIMIZE THE NEGATIVE IMPACTS OF THIS PROJECT'S CONSTRUCTION ACTIVITIES ON STORM WATER QUALITY. THE PROJECT OWNER AND CONTRACTOR ARE AWARE THAT THE SELECTED BMPs MUST BE INSTALLED, MONITORED, AND MAINTAINED TO ENSURE THEIR EFFECTIVENESS. THE BMPs NOT SELECTED FOR IMPLEMENTATION ARE REDUNDANT OR DEEMED NOT APPLICABLE TO THE PROPOSED CONSTRUCTION ACTIVITIES.	
SIGNATURE	TITLE
PRINT NAME	DATE

SCOPE OF WORK:	
DEMOLISH 34 SF. AT REAR OF HOME	
137 SF. ADDITION TO ADD BATHROOM AND LAUNDRY ROOM.	

SHEET INDEX:	
SHEET NUMBER	SHEET NAME
A1	SITE PLAN, PROJECT DATA
A2	NEW FLOOR PLAN
A3	ELEVATIONS
A4	PHOTOS

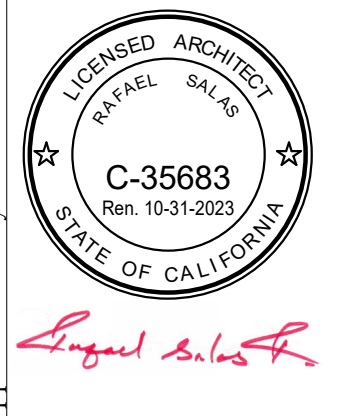


REVISIONS:	
#	Description



LIC # B426811

MOREY REMODELING GROUP
2501 E. 28TH ST. #120
SIGNAL HILL, CA 90755
FAX: (562) 427-6800
WWW.MOREYREMODELING.COM

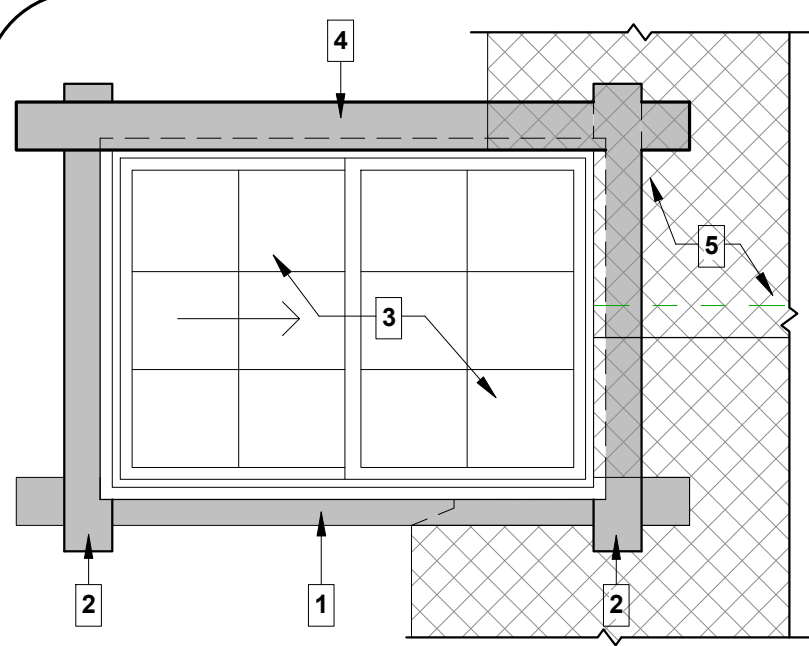


PROPOSED: ADDITION

PROJECT ADDRESS: MENNELLA RESIDENCE
2556 E. 3RD ST. LONG BEACH, CA. 90814
562-533-7373

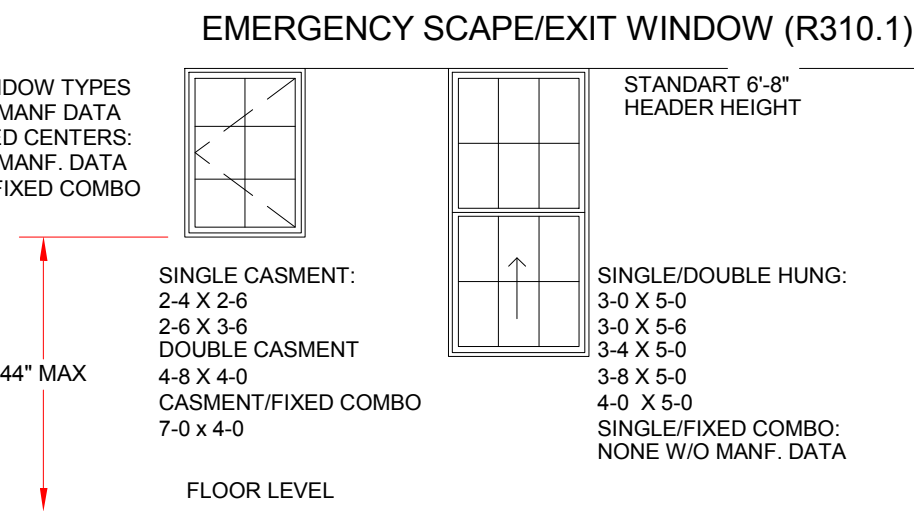
DATE:	3/22
DRAWN BY:	R. SALAS
SCALE:	As indicated
JOB NUMBER:	

SHEET
A1



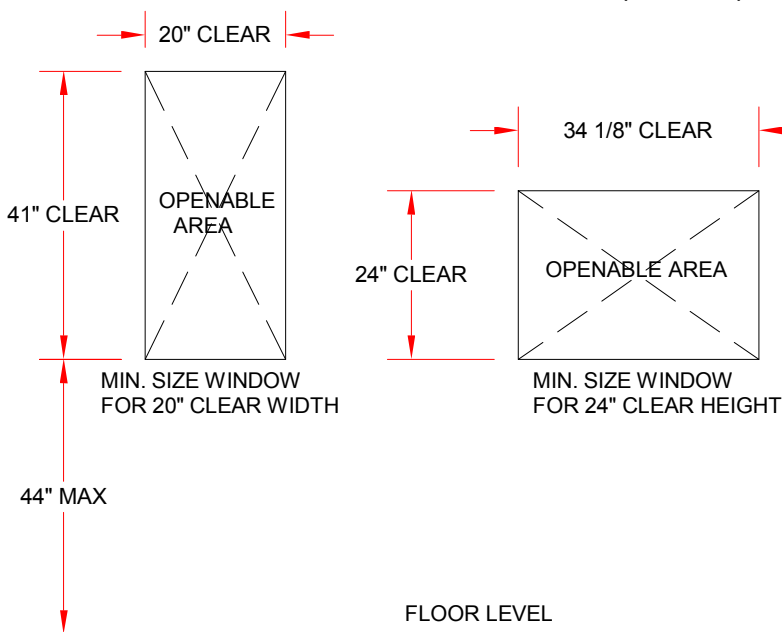
1. INSTALL SILL FLASHING
2. INSTALL SIDE FLASHING
3. INSTALL WINDOW OVER SOLID BEADS SEALANT
4. INSTALL HEADER FLASHING
5. INSTALL 2-LAYERS BUILDING PAPER, RUN BELOW SILL FLASHING.

AWNING:
OTHER WINDOW TYPES
NONE W/O MANF. DATA
BAY W/FIXED CENTERS:
NONE W/O MANF. DATA
CASMENT/FIXED COMBO



NOTE: SIZE ARE TAKEN FROM DATA SUPPLIED BY WINDOW MANUFACTURERS, HOWEVER THESE ARE GENERAL DIMENSIONS. IT IS THE CONTRACTORS' RESPONSIBILITY TO VERIFY THAT THE ACTUAL WINDOWS INSTALLED MEET THE MINIMUM EGREES REQUIREMENTS

EMERGENCY SCAPE/EXIT WINDOW (R310.1)



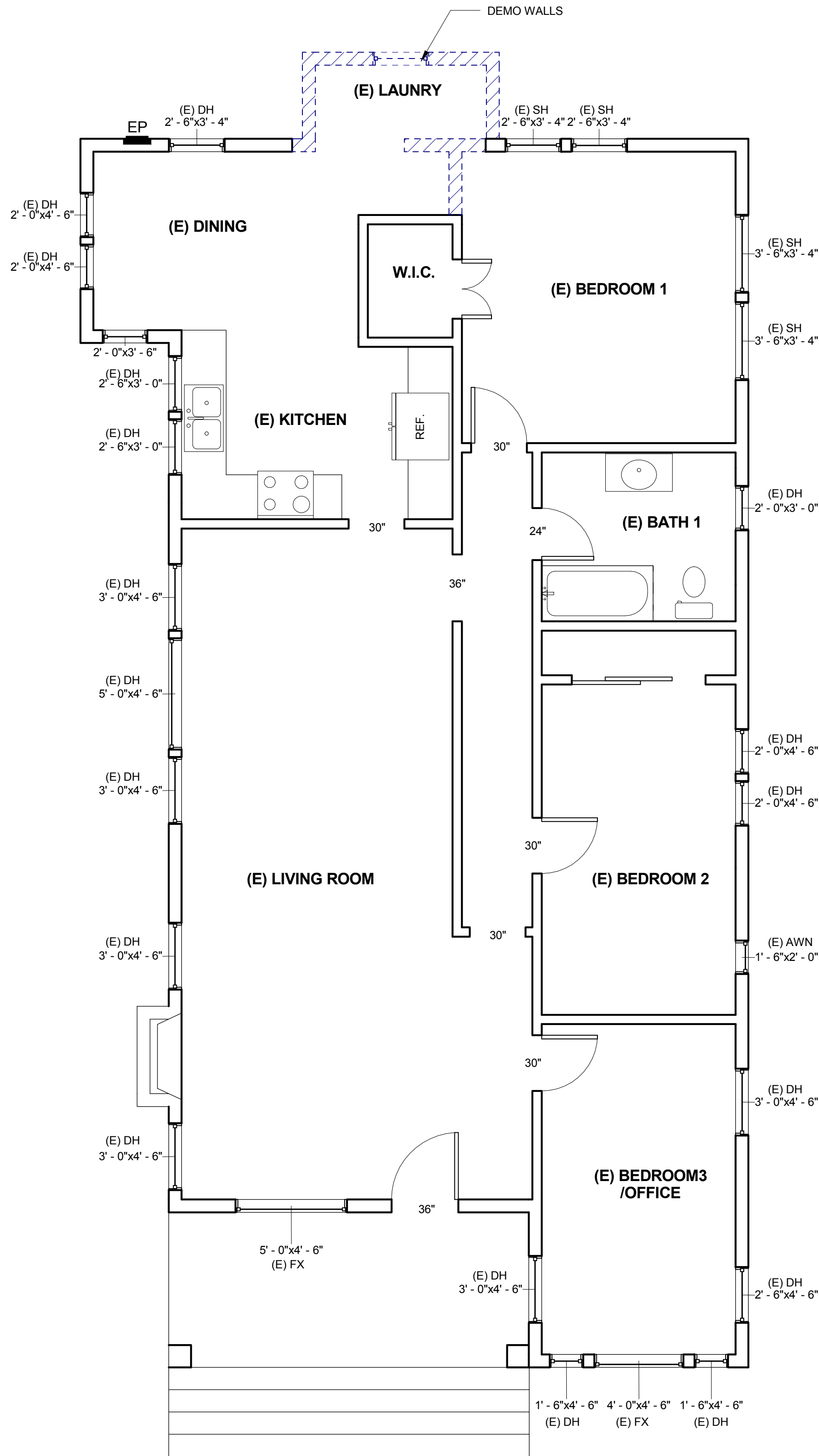
1. 20" MIN. CLEAR WIDTH
2. 24" MIN. CLEAR HEIGHT
3. 5.7 SF MIN. OPERABLE AREA

WINDOW SCHEDULE						
WIN.	W	H	TYPE	DESCRIPTION	U-FACTOR	SHGC
1	2' - 0"	2' - 8"	DOUBLE HUNG	JELD WEN, AUROLAST, PINE WOOD, DUAL GLAZE, LOW-E		

THE NFRC TEMPORARY LABEL DISPLAYED ON WINDOWS AND SKYLIGHTS (INCL. TUBULAR) MUST REMAIN ON THE UNIT UNTIL FINAL INSPECTION HAS BEEN COMPLETED.

NOTES:
FENESTRATIONS SHALL HAVE TEMPORARY & PERMANENT LABELS FOR VERIFICATION OF THE BUILDING INSPECTOR. CONTRACTOR TO VERIFY EXACT ROUGH OPENING SIZE PRIOR TO PURCHASING WINDOWS.

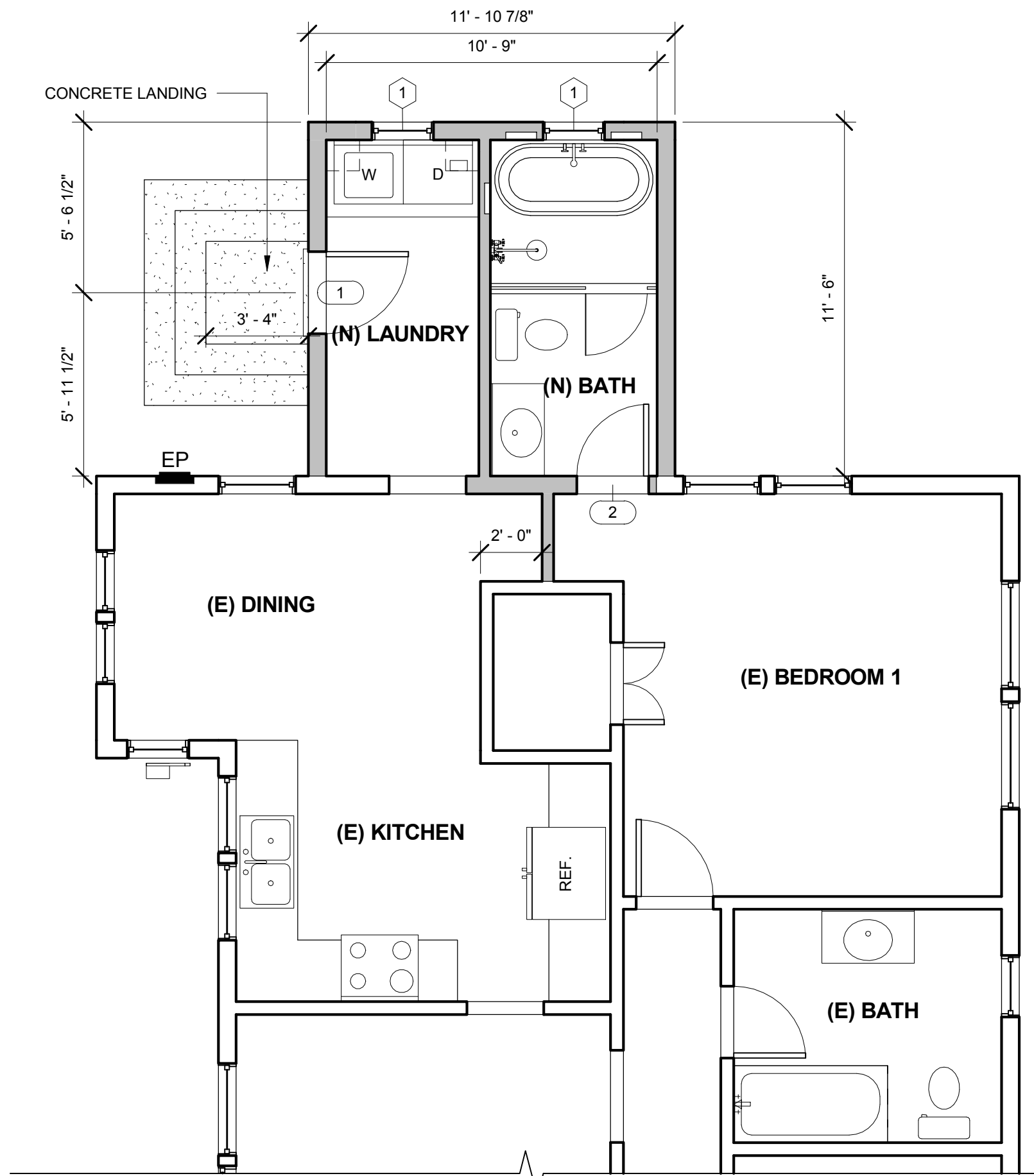
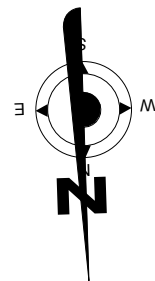
DOOR SCHEDULE			
DR.	W	H	DESCRIPTION
1	2' - 8"	6' - 8"	EXTERIOR SIMPSON DUTCH DOOR
2	2' - 4"	6' - 6"	SINGLE SHAKER PANEL DOOR



7 EXISTING FLOOR PLAN
1/4" = 1'-0"

LEGEND:

- NEW 2X4 WALL
NEW 2X6 WALL, BALLOON FRAME
EXISTING WALL
DEMOLISHED WALL



1 FIRST FLOOR PLAN
1/4" = 1'-0"

REVISIONS:

#	Description	Date

MOREY

CONSTRUCTION

SINCE 1982

LIC # B426811

MOREY REMODELING GROUP

2501 E. 28TH ST. #120

SIGNAL HILL, CA 90755

PH: (562) 425-1321

FAX: (562) 427-6300

WWW.MOREYREMODELING.COM

LICENSED ARCHITECT

RAFAEL SALAS

C-35683

Ren. 10-31-2023

STATE OF CALIFORNIA

Rafael Salas

PROPOSED: ADDITION

PROJECT ADDRESS: MENNELLA RESIDENCE

2556 E. 3RD ST. LONG BEACH, CA. 90814

562-533-7373

DATE: 3/22

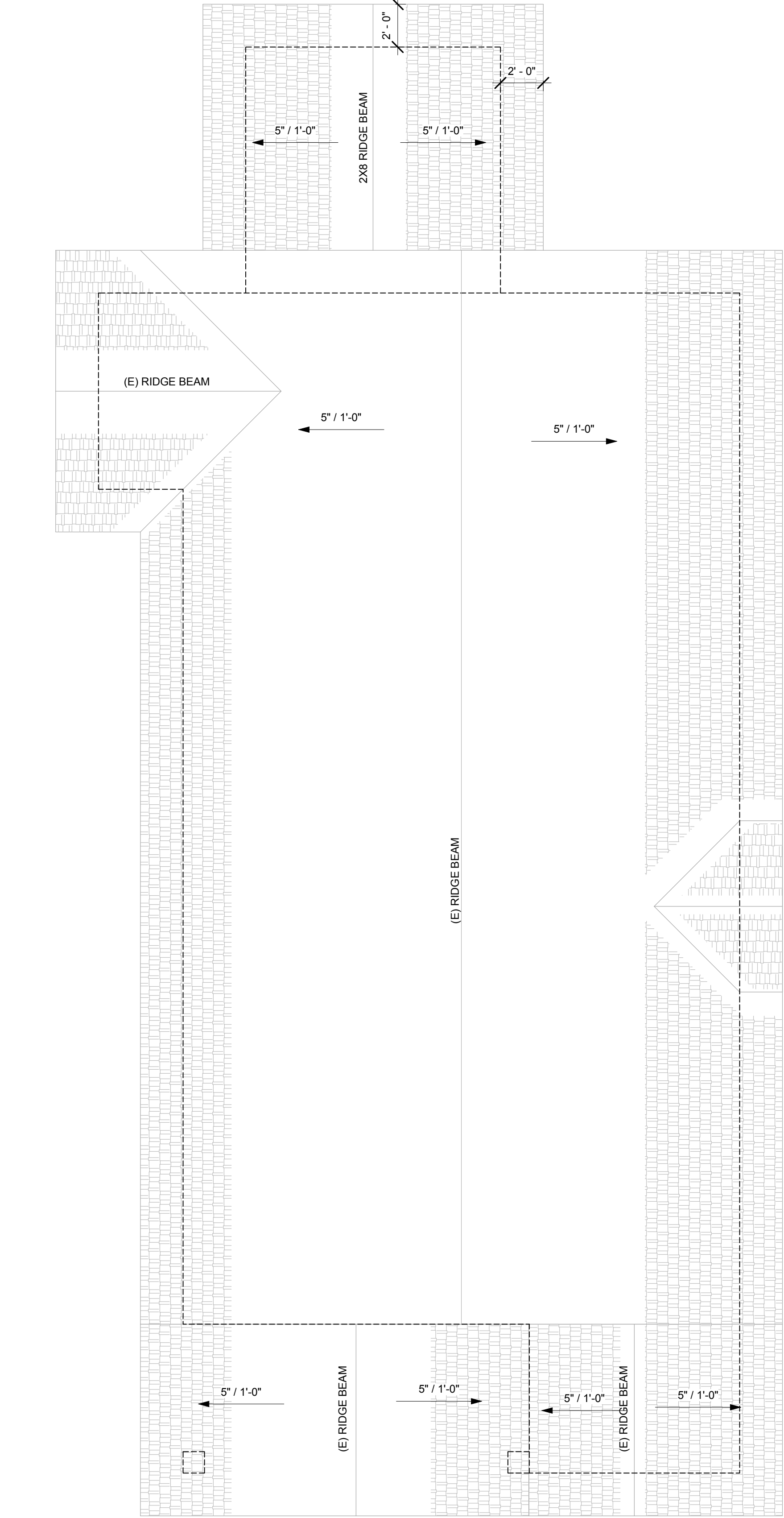
DRAWN BY: R. SALAS

SCALE: As indicated

JOB NUMBER:

SHEET

A2

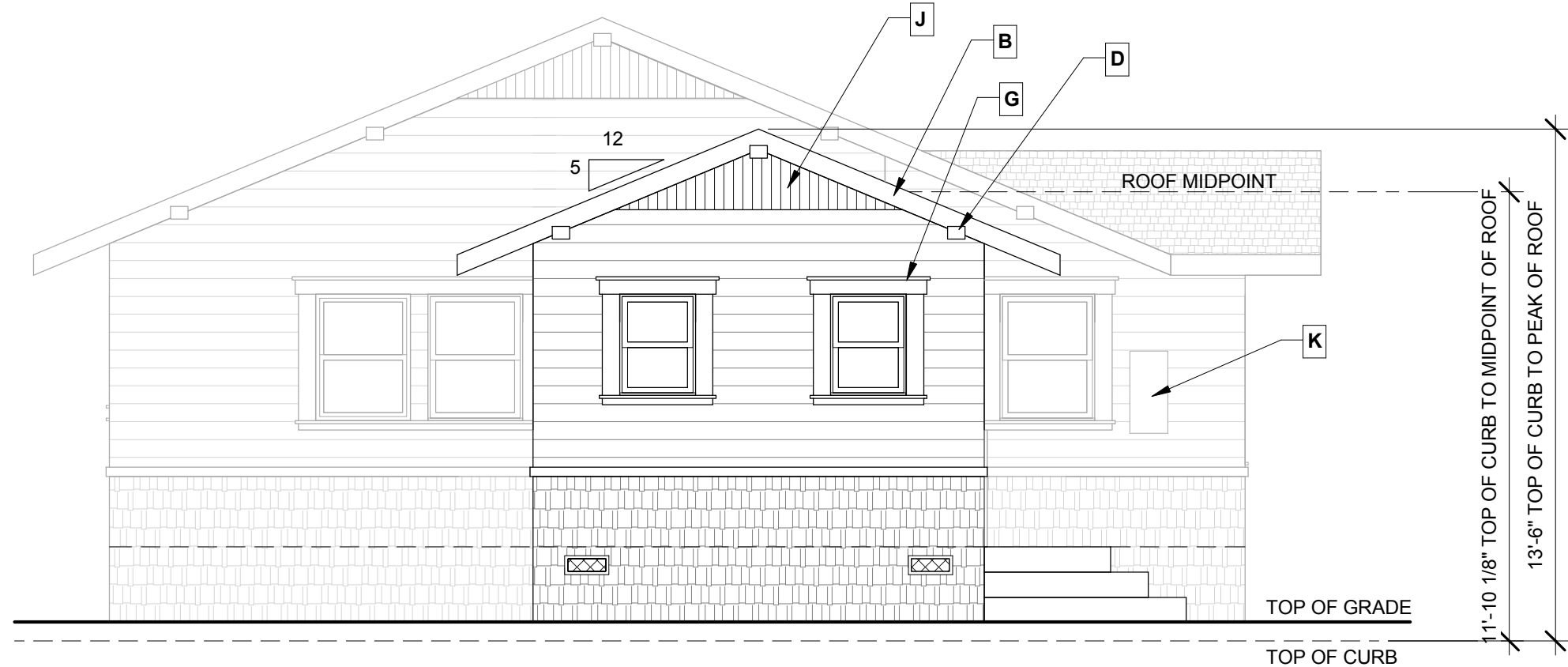


4 ROOF PLAN
1/4" = 1'-0"

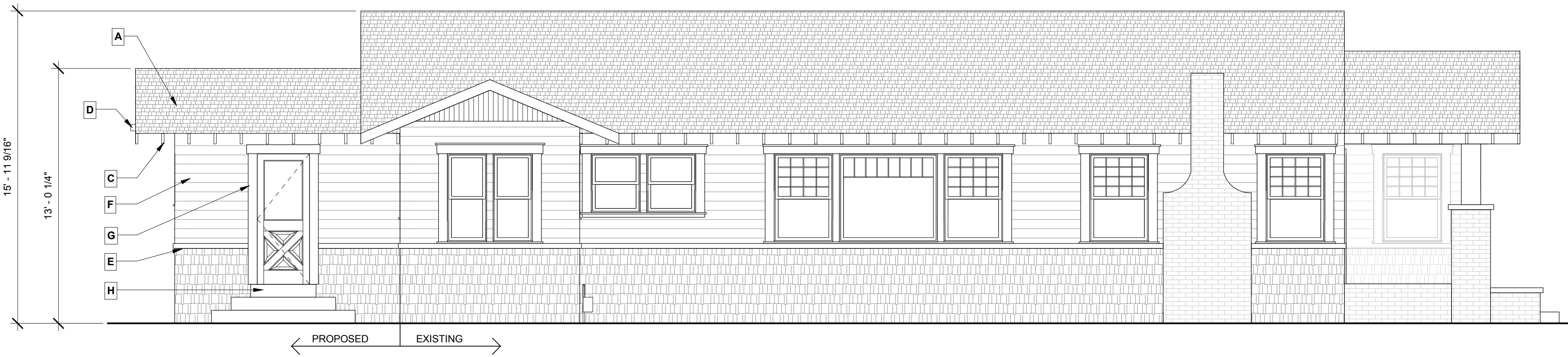


3 RIGHT ELEVATION (WEST)
1/4" = 1'-0"

- ELEVATION KEY NOTES:**
- A** NEW ROOF CLASS 'A' COMPOSITION SHINGLES TO MATCH EXISTING.
 - B** NEW FASCIA TO MATCH EXISTING
 - C** NEW EXPOSED RAFTERS TAILS TO MATCH EXISTING
 - D** NEW DECORATIVE BRACKETS TO MATCH EXISTING
 - E** RED WOOD SHAKE SHINGLES SIDING TO MATCH EXISTING
 - F** HORIZONTAL WOOD (REDWOOD) SIDING TO MATCH EXISTING
 - G** WOOD TRIM- WINDSOR ONE S1S2E 1X6 (COLOR, TYPE, TO MATCH EXISTING)
 - H** 36" MIN. CONCRETE LANDING
 - J** VENTS
 - K** (E) ELECTRICAL PANEL



2 REAR ELEVATION (SOUTH)
1/4" = 1'-0"

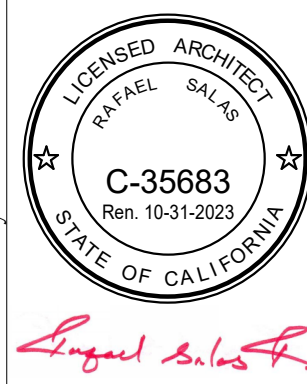


1 LEFT ELEVATION (EAST)
1/4" = 1'-0"

This design and drawing are for use on the specific site indicated and is the exclusive property of Morey Construction Inc. and should not be used or altered in part or in whole without approval of Morey Construction Inc.

PROPOSED: ADDITION

PROJECT ADDRESS: MENNELLA RESIDENCE
2556 E. 3RD ST. LONG BEACH, CA. 90814
562-533-7373



MOREY REMODELING GROUP
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LIC # B426811



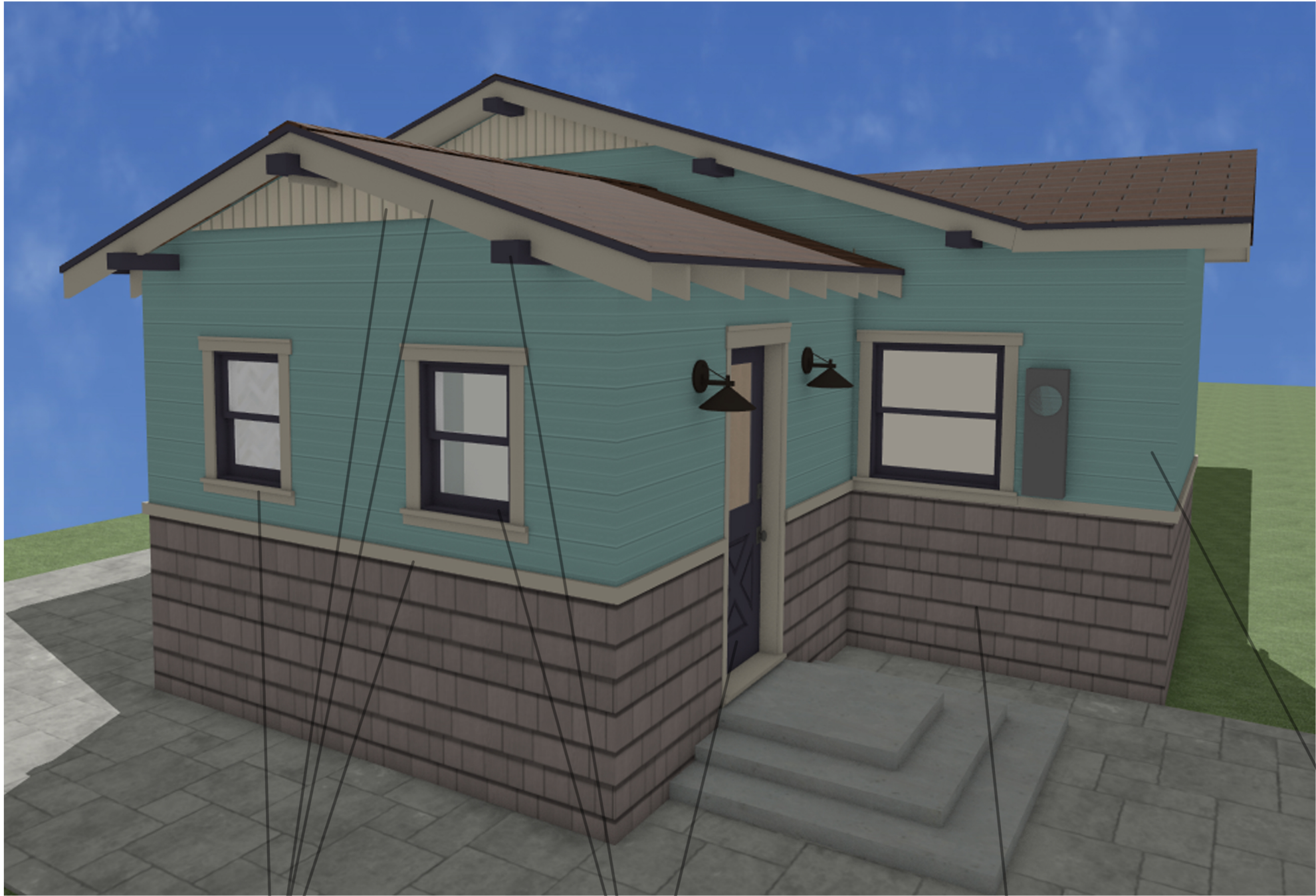
REVISIONS:

#	Description	Date

SHEET

A3

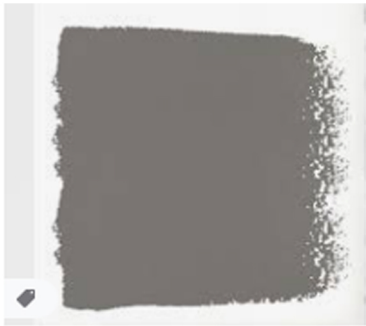
DATE: 3/22
DRAWN BY: R. SALAS
SCALE: As indicated
JOB NUMBER:



Cinnamon Sugar
magnolia.com



Aspen Stone
magnolia.com



Nesting Box
magnolia.com



Well Watered
magnolia.com

EXTERIOR

Mennella Residence
2556 E 3RD.

Wood Siding



4" Bevel Horizontal Lap Wood Siding



Wood Shingles



SBC Mode# EHD0810399
16 in. Long Natural Kiln Dried
Eastern White Cedar Shingle
Siding

MOREY
REMODELING GROUP

EXTERIOR

Mennella Residence
2556 E 3RD.

<https://windsorone.com/products/trim-boards/s1s2e-protected/>

Wood Trim

WINDSOR ONE



**ALL S1S2E PRODUCTS ARE PROTECTED WITH A 30-YEAR
LIMITED WARRANTY***

S1S2E: Reversible, rough-sawn on one side, smooth on others with eased edges.

Warranty protects against rot, insects and mold, see [warranty page](#) for details. These trim boards are durable for the exterior, healthy for the interior. Download a 1-sheet on S1S2E [here](#).

MOREY
REMODELING GROUP

QUOTE #: 1858104-100

DATE: 2/1/2022

QUOTE VALID FOR 30 DAYS

7031 Thermal Sash

SERIES: Exterior French & Sash Doors

DOOR DESIGN: 7031

***Door subject to additional lead time.**

FINAL PRICE PER DOOR: \$1,131.90

QUANTITY: 1

TOTAL DOOR QUOTE PRICE: \$1,131.90

DOOR SPECIFICATIONS

SPECIES: Paint Grade

WIDTH: 2-8"

HEIGHT: 6-8"

THICKNESS: 1 3/4"

PROFILE: Ovolo Sticking

GLASS: Clear / Clear w/ Film

PANEL: 1-7/16" Innerbond DHRP

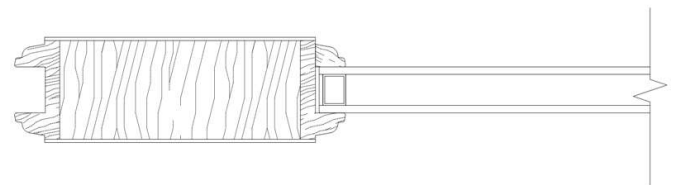
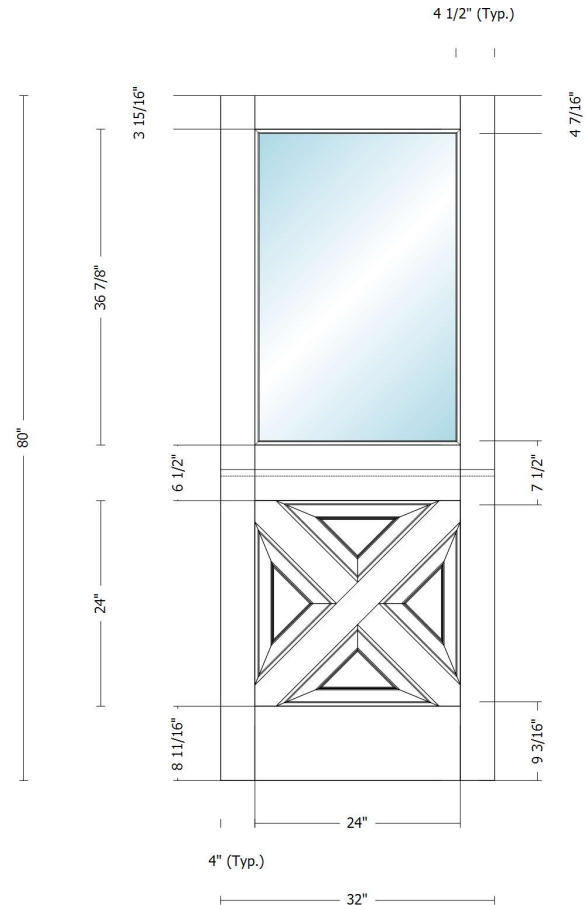
ADDITIONAL OPTIONS:

UltraBlock® Technology

Dutch Cut & Rabbet - no Dado

Factory Primed

Cartoned



Approved _____

Date _____

Unrivalled protection for life.

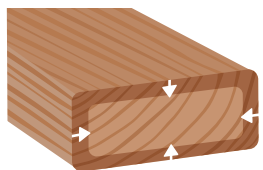


*Pine wood windows, patio doors, door frames and components made with AuraLast® wood are backed with a lifetime limited warranty.

All wood windows are the same, right? While they may appear the same on the outside, JELD-WEN® windows and doors constructed with AuraLast® pine go beyond the surface, providing unrivalled beauty and protection. Here's how...

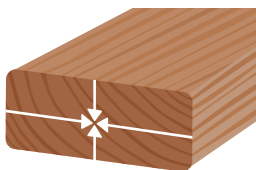
AURALAST® - PROTECTION TO THE CORE™

TRADITIONAL TREATMENT



SURFACE ONLY

 AuraLast™



SURFACE TO CORE™

JELD-WEN products made with AuraLast wood allow you to get the warmth and characteristics of wood that you desire, while eliminating the worry of rot and decay. Why settle for anything less!



Only JELD-WEN makes window and door products with solid pine AuraLast® solid pine wood

 AuraLast™

See our warranty information
at jeld-wen.com or call 1-800-535-3936

 AuraLast™

PROTECTION TO THE CORE™

AuraLast® pine is a patented wood product that helps provide protection against wood rot, water damage and termites. This water-based process fortifies wood all the way to the core, providing an exclusive level of protection you'll only find through JELD-WEN.



EASY ON THE ENVIRONMENT

Water-based treatment releases up to 96% fewer volatile organic compounds (VOCs) during the manufacturing process than traditional solvent-based methods.



WET WEATHER PROTECTION

Whatever the climate, AuraLast protects against water damage and rot like no other. Whether it's humidity, storms or dampness, AuraLast® pine stands up to the rigors of wet weather.



TERMITE PROTECTION

Termites can be devastating to windows and doors, but not to those built with AuraLast® pine. It safely and effectively repels termites, preserving the beauty of your investment.