



BELMONT 2ND ST. & SANTA ANA
MIXED-USE VANILLA SHELL RENOVATION
MAY 24, 2022 | CULTURAL HERITAGE COMMISSION SUBMITTAL



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EXISTING TOWER & LOUVERS TO REMAIN

EXISTING RAFTERS TO REMAIN WITH NEW ACCENT PAINT

ADDING HISTORICAL WROUGHT IRON GRILLE AT TOWER

ALL EXISTING WINDOWS TO REMAIN AND PAINTED WITH EXISTING ACCENT COLOR AT FRAMES AND TRIMS

EXISTING RAFTERS TO REMAIN WITH ACCENT PAINT TO MATCH EXISTING BROWN ACCENT COLOR



EXISTING TOWER TRIM TO REMAIN WITH NEW ACCENT COLOR

ADDING HISTORICAL WROUGHT IRON GRILLE AND (2) WINDOWS AT TOWER

ADDING HISTORICAL WROUGHT IRON GRILLE AT TOWER



EXISTING WALL AND OPENINGS TO REMAIN, NEW STOREFRONTS TO BE RELOCATED TO INTERIOR SETBACK

EXISTING PAVERS TO REMAIN

EXISTING AWNINGS TO BE REPLACED WITH SPANISH REVIVAL STYLE AND COLOR

EXISTING RAFTERS TO REMAIN TO BE PAINTED WITH EXISTING ACCENT COLOR



EXISTING BUILDING ENVELOPE TO REMAIN

EXISTING AWNING TO BE REMOVED



EXISTING TRASH ENCLOSURE

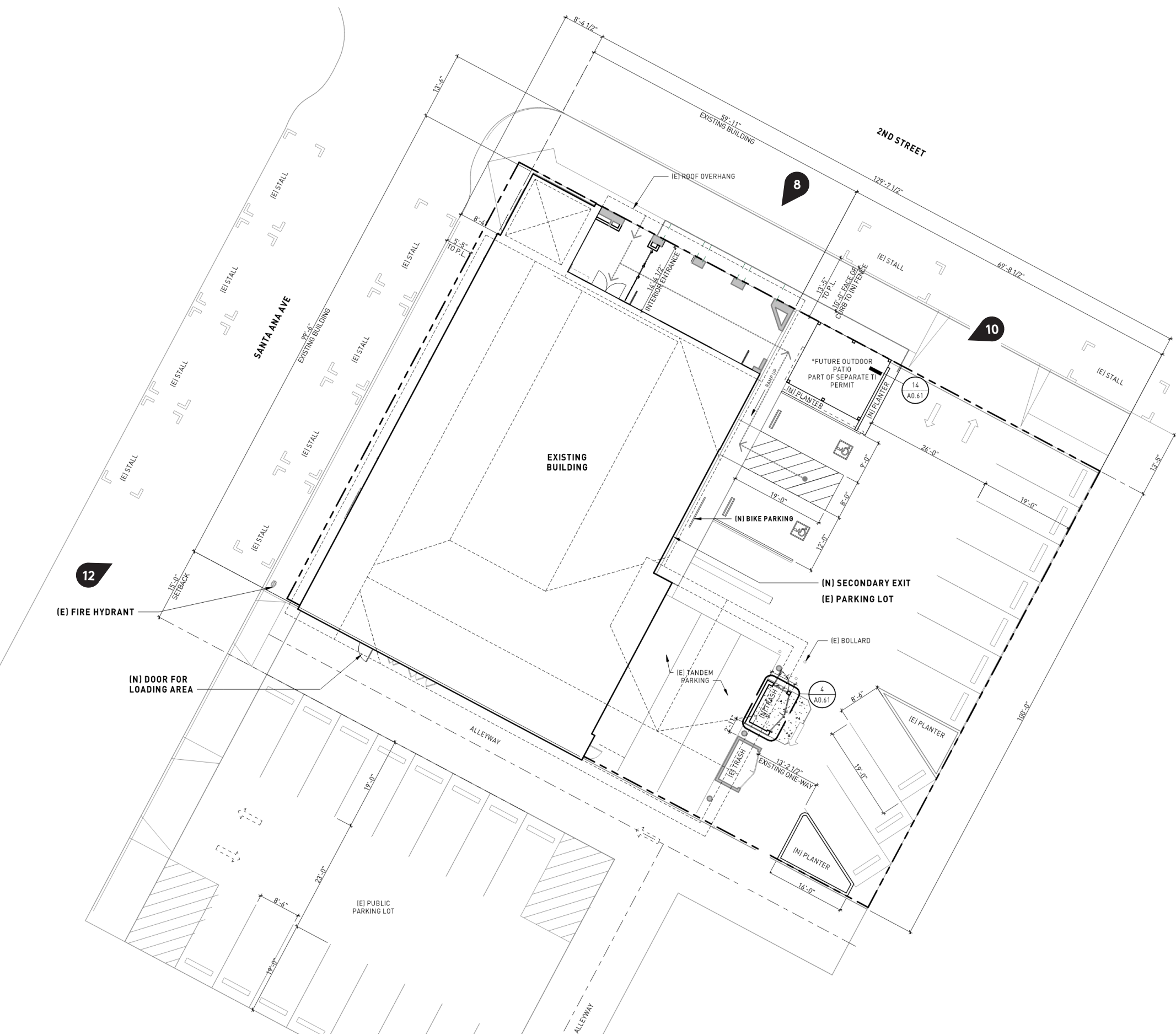
EXISTING TANDEM PARKING TO REMAIN & ADDED NEW TRASH ENCLOSURE FOR RESTAURANT TENANT



EXISTING SECOND STORY OFFICE SPACE, NOT IN SCOPE

NEW OPENING FOR TENANT SECONDARY EGRESS

EXISTING WALL AND OPENINGS TO REMAIN, STOREFRONTS TO BE REMOVE



SITE & PARKING SUMMARY

AREA NOT PARKED (YELLOW)	2,359 SF
INDOOR DINING (GREEN)	1,264 SF
BAR SEATING (PURPLE)	350 SF
OUTDOOR DINING (BLUE)	429 SF
PATIO DINING (PINK)	229 SF
CIRCULATION (WHITE)	1,385 SF

SITE AREA 12,900 S.F. (0.78 FAR = 10,013/12,900)

BUILDING GROSS FLOOR AREA	(S.F./GFA)	10,013 GFA
FIRST FLOOR	(A-2)	6,156 GFA
SECOND FLOOR	(B)	3,857 GFA
NEW OUTDOOR DINING (PATIO)	(A-2)	417 GFA

PARKING SUMMARY - STANDARD DEVELOPMENT REQUIREMENTS

REQUIRED PARKING		
B- OFFICE	(4 PER 1,000 GFA)	3,857 / 1,000 * 4 = 15 STALLS
A-2 RESTAURANT	(10 PER 1,000 GFA)	1,264 / 1,000 * 10 = 13 STALLS
A-2 TAVERN	(20 PER 1,000 GFA)	350 / 1,000 * 20 = 7 STALLS
A-2 OUTDOOR PATIO	(10 PER 1,000 GFA)	417 / 1,000 * 10 = 4 STALLS
CIRCULATION REMOVED		1,385
TOTAL PARKING		= 39 STALLS

NON-CONFORMING (VESTED PARKING)

B- OFFICE	(4 PER 1,000 GFA)	3,857 / 1,000 * 4 = 15 STALLS
B- MERCHANT/BANK	(5 PER 1,000 GFA)	6,156 / 1,000 * 5 = 31 STALLS
TOTAL REQUIRED PARKING		= 46 STALLS

EXISTING PARKING

PARKING STALLS PROVIDED	15 STALLS (1 VAN ACC. 1 STANDARD ACC.)
EXISTING TANDEM PARKING	3 STALLS (6 VEHICLES)
TOTAL	= 21 STALLS

NON-CONFORMING

PROVIDED PARKING SUMMARY:

ACCESSIBLE STALLS INCLUDED	2 STALLS (1 VAN ACC. 1 STANDARD ACC.)
STANDARD STALLS	12 STALLS
(3) TANDEM PARKING	3 STALLS (6 VEHICLES)
TOTAL PARKING	20 STALLS (STANDARD REQ'D. = 39, VESTED= 46)

BICYCLE PARKING

REQUIRED

1 SPACE FOR EVERY 5,000 SF OF COMMERCIAL BUILDING AREA

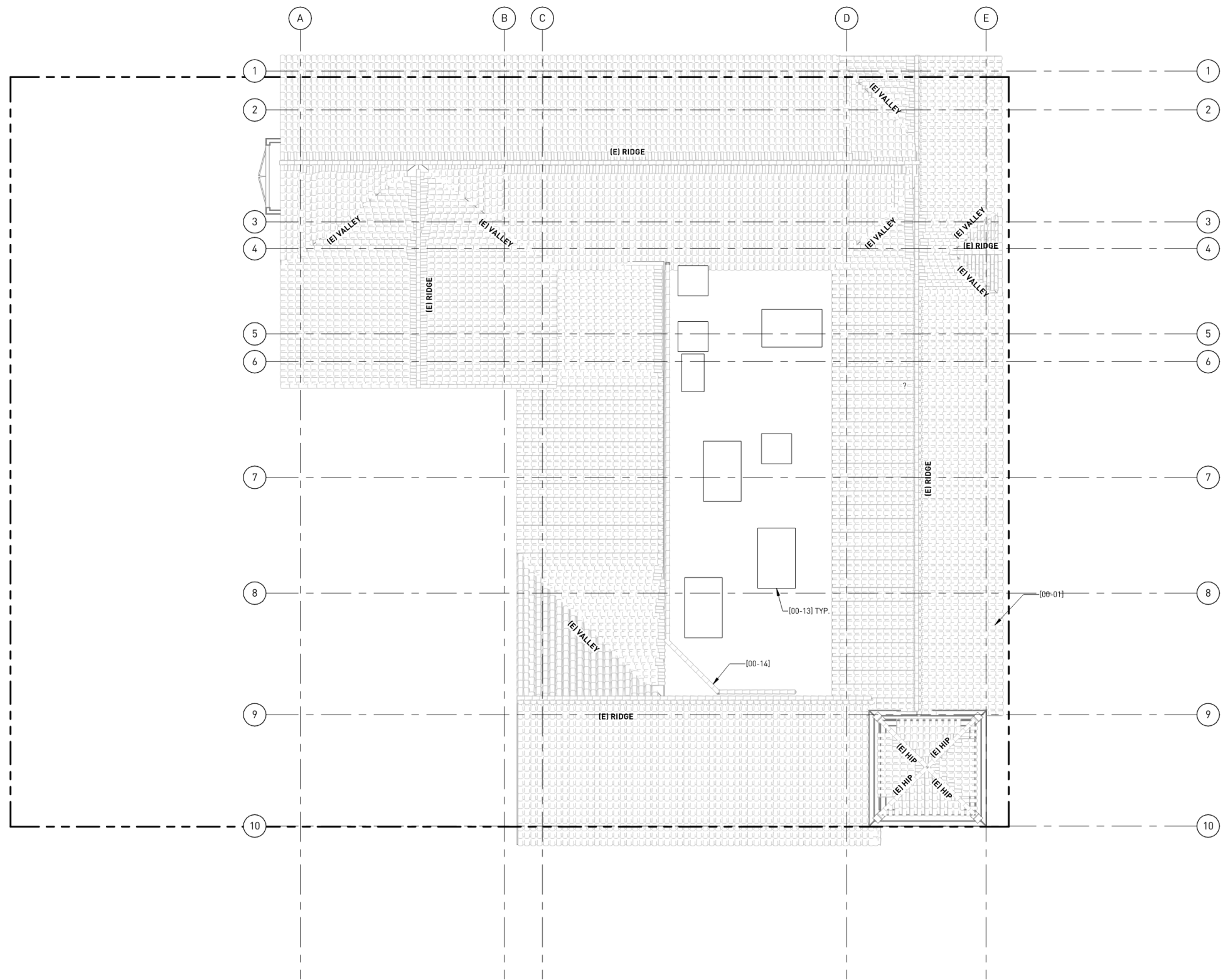
PROVIDED 10,242 / 5,000 * 1 = 2 SPACES

SEA LEVEL RISE

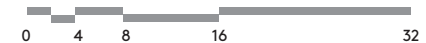
THE APPLICANT IS HEREBY ADVISED THAT SEA-LEVEL RISE COULD POTENTIALLY CAUSE PHYSICAL HAZARDS, SUCH AS BEACH EROSION, FLOODING, AND SALTWATER INTRUSION UPON THE SUBJECT PROPERTY. THIS CONDITION OF APPROVAL SERVES IN AN ADVISORY CAPACITY AND DOES NOT CONSTITUTE A VULNERABILITY ASSESSMENT. THE APPLICANT IS ENCOURAGED TO INCLUDE ADAPTIVE CAPACITY IN DEVELOPMENT WITH MEASURES SUCH AS WATERPROOFING, FLOOD SHIELDS, WATERTIGHT DOORS, MOVEABLE FLOOD WALLS, PARTITIONS, AND OTHER FLOODPROOFING TECHNIQUES.

VICINITY PLAN

SCALE 1/16" = 1'-0"



SCALE 1/16" = 1'-0"



AREA NOT PARKED	(YELLOW)	2,359 SF
AREA NOT PARKED	(BROWN)	188 SF
INDOOR DINING	(GREEN)	1,264 SF
BAR SEATING	(PURPLE)	350 SF
OUTDOOR DINING-ARCADE	(BLUE)	625 SF
OUTDOOR PATIO	(PINK)	229 SF
CIRCULATION	(WHITE)	1,385 SF

SITE AREA 12,900 S.F. (0.78 FAR = 10,013/12,900)

BUILDING GROSS FLOOR AREA	(S.F. / GFA)	10,013 GFA
FIRST FLOOR	(A-2)	6,156 GFA
SECOND FLOOR	(B)	3,857 GFA
NEW OUTDOOR DINING (PATIO)	(A-2)	229 GFA

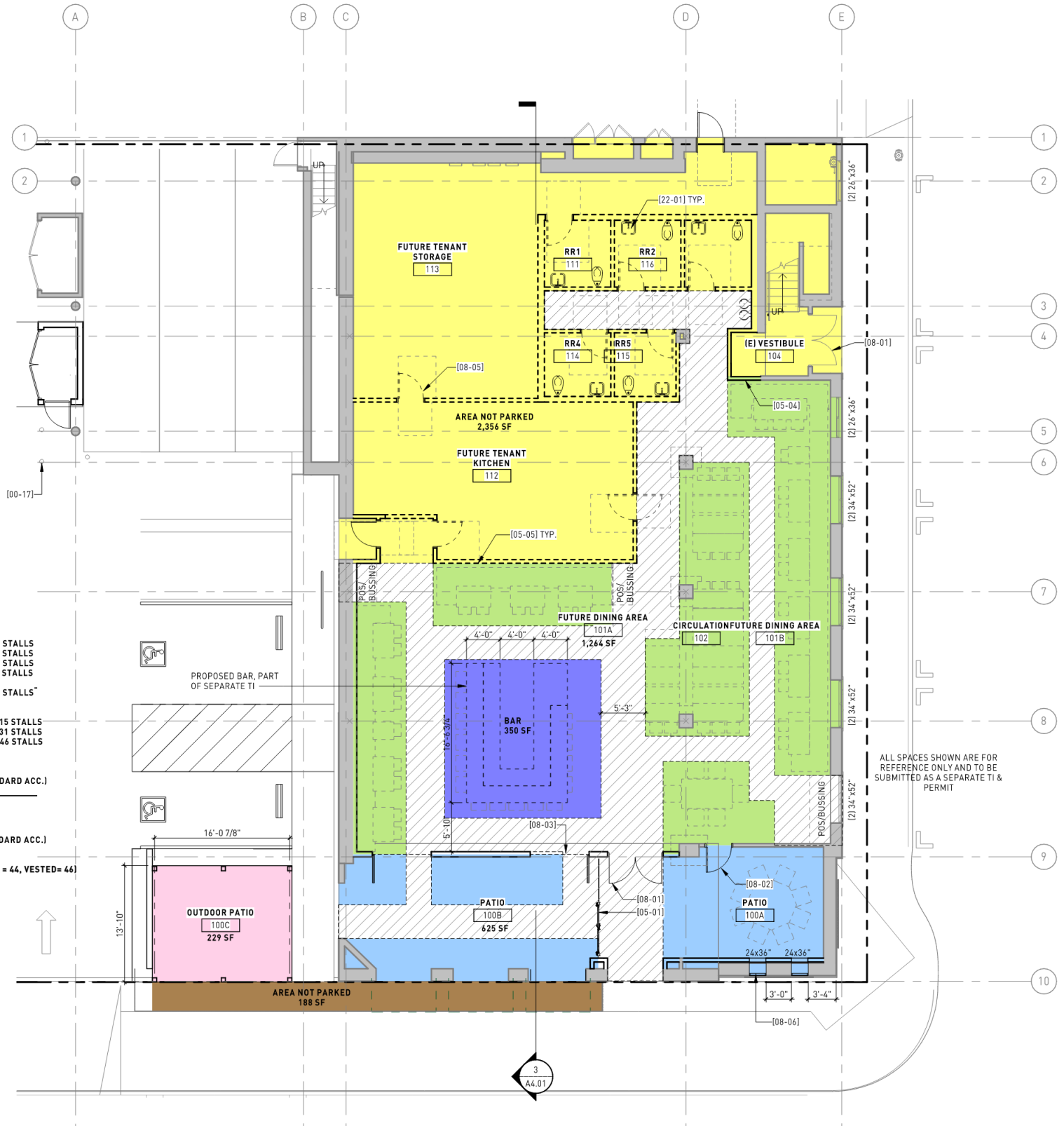
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A-2 RESTAURANT	(10 PER 1,000 GFA)	1,264 / 1,000 * 10 =	13 STALLS
A-2 TAVERN	(20 PER 1,000 GFA)	350 / 1,000 * 20 =	7 STALLS
A-2 OUTDOOR PATIO	(10 PER 1,000 GFA)	854 / 1,000 * 10 =	9 STALLS
CIRCULATION REMOVED		1,385	
TOTAL PARKING			= 44 STALLS

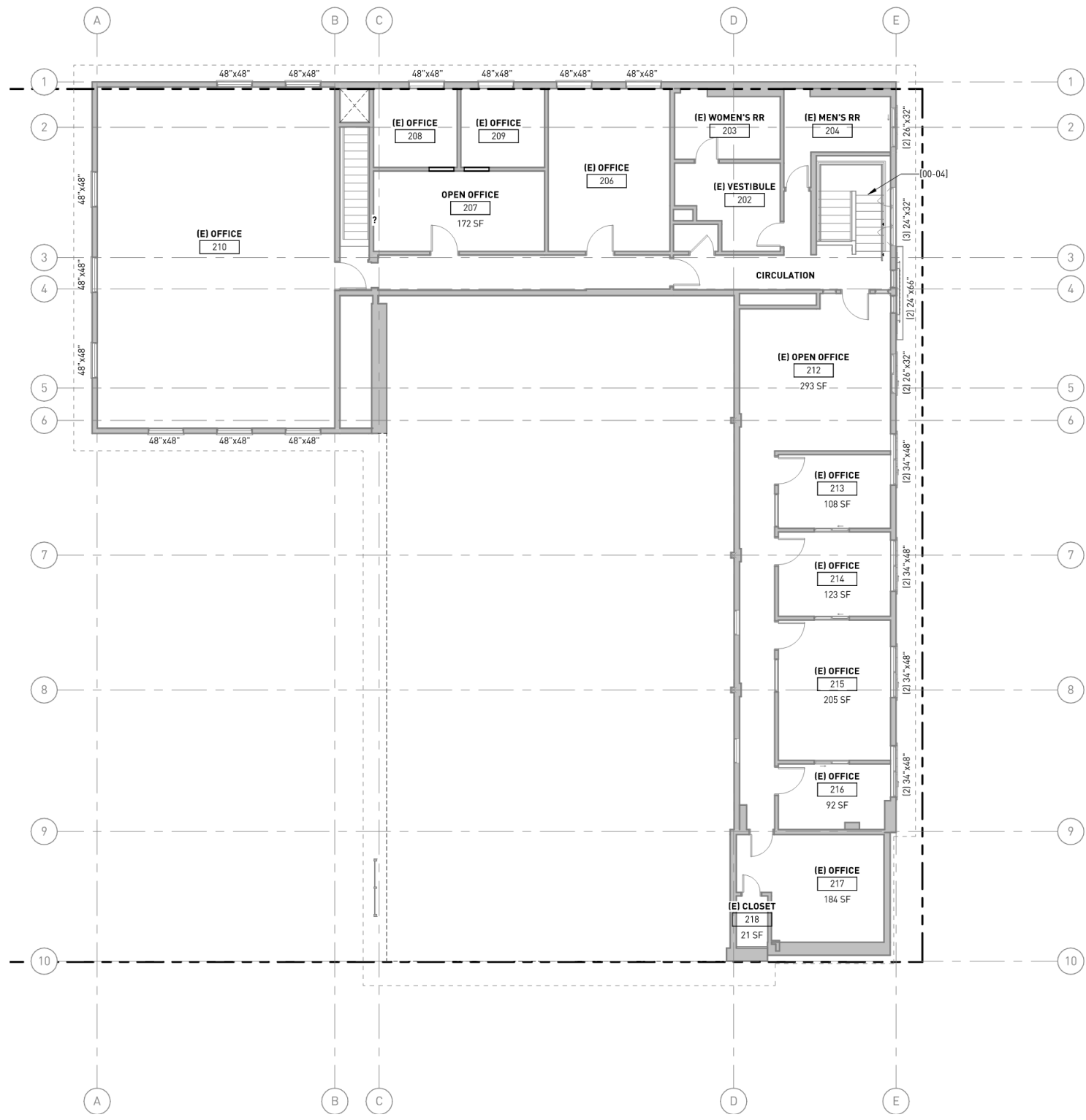
NON-CONFORMING (VESTED PARKING)			
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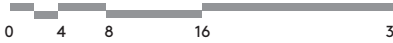


SCALE 1/16" = 1'-0"



NOTE:
NO CHANGES TO THE SECOND FLOOR

SCALE 1/16" = 1'-0"







- 1

EXISTING ARCHED OPENING (REMOVAL OF ALUMINUM STOREFRONT)
- 2

EXISTING ROOF TO REMAIN WITH RAFTERS (P-02)
- 3

EXISTING PARAPET/MECHANICAL SCREENING TO REMAIN (PS-01,P-01)
- 4

EXISTING TOWER & LOUVERS TO REMAIN
- 5

EXISTING DECORATIVE TRIM TO REMAIN (PS-01,P-02)
- 6

EXISTING STUCCO EXTERIOR PLASTER FINISH (PS-01,P-01)
- 7

NEW TILE ACCENT INSIDE ARCHED OPENINGS (TL-01)
- 8

NEW AWNINGS OVER ARCHED OPENINGS (F-01, MT-01)
- 9

NEW WINDOW AT TOWER (MT-02)
- 10

NEW DECORATIVE WROUGHT IRON GRILLE AT WINDOW (MT-01)
- 11

NEW WROUGHT IRON RAILING (MT-01)
- 12

NEW BUILDING SIGNAGE (PART OF FUTURE TENANT IMPROVEMENT)
- 13

NEW ILLUMINATED BLADE SIGNAGE
- 14

NEW OUTDOOR PATIO WITH SHADE STRUCTURE (PART OF FUTURE T.I.)
- 15

NEW LANDSCAPING, PLANTER & PLANTER WALL (PS-01,P-01)
- 16

NEW EXTERIOR STOREFRONT SYSTEM (MT-02)
- 17

EXISTING BRICK PAVING TO REMAIN (BK-01)
- 18

NEW LANDSCAPE & PLANTER
- 19

NEW EXTERIOR LIGHTING







- 1 EXISTING ARCHED OPENING (REMOVAL OF ALUMINUM STOREFRONT)
- 2 EXISTING ROOF TO REMAIN WITH RAFTERS (P-02)
- 3 EXISTING PARAPET/MECHANICAL SCREENING TO REMAIN (PS-01,P-01)
- 4 EXISTING TOWER & LOUVERS TO REMAIN
- 5 EXISTING DECORATIVE TRIM TO REMAIN (PS-01,P-02)
- 6 EXISTING STUCCO EXTERIOR PLASTER FINISH (PS-01,P-01)
- 7 NEW TILE ACCENT INSIDE ARCHED OPENINGS (TL-01)
- 8 NEW AWNINGS OVER ARCHED OPENINGS (F-01, MT-01)
- 9 NEW WINDOW AT TOWER (MT-02)

- 10 NEW DECORATIVE WROUGHT IRON GRILLE AT WINDOW (MT-01)
- 11 NEW WROUGHT IRON RAILING (MT-01)
- 12 NEW BUILDING SIGNAGE (PART OF FUTURE TENANT IMPROVEMENT)
- 13 NEW ILLUMINATED BLADE SIGNAGE
- 14 NEW OUTDOOR PATIO WITH SHADE STRUCTURE (PART OF FUTURE T.I.)
- 15 NEW LANDSCAPING, PLANTER & PLANTER WALL (PS-01,P-01)
- 16 NEW EXTERIOR STOREFRONT SYSTEM (MT-02)
- 17 EXISTING BRICK PAVING TO REMAIN (BK-01)
- 18 NEW LANDSCAPE & PLANTER
- 19 NEW OPENING FOR EXIT

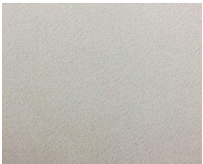
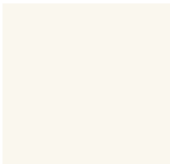
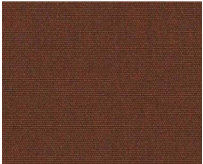
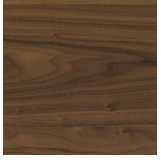


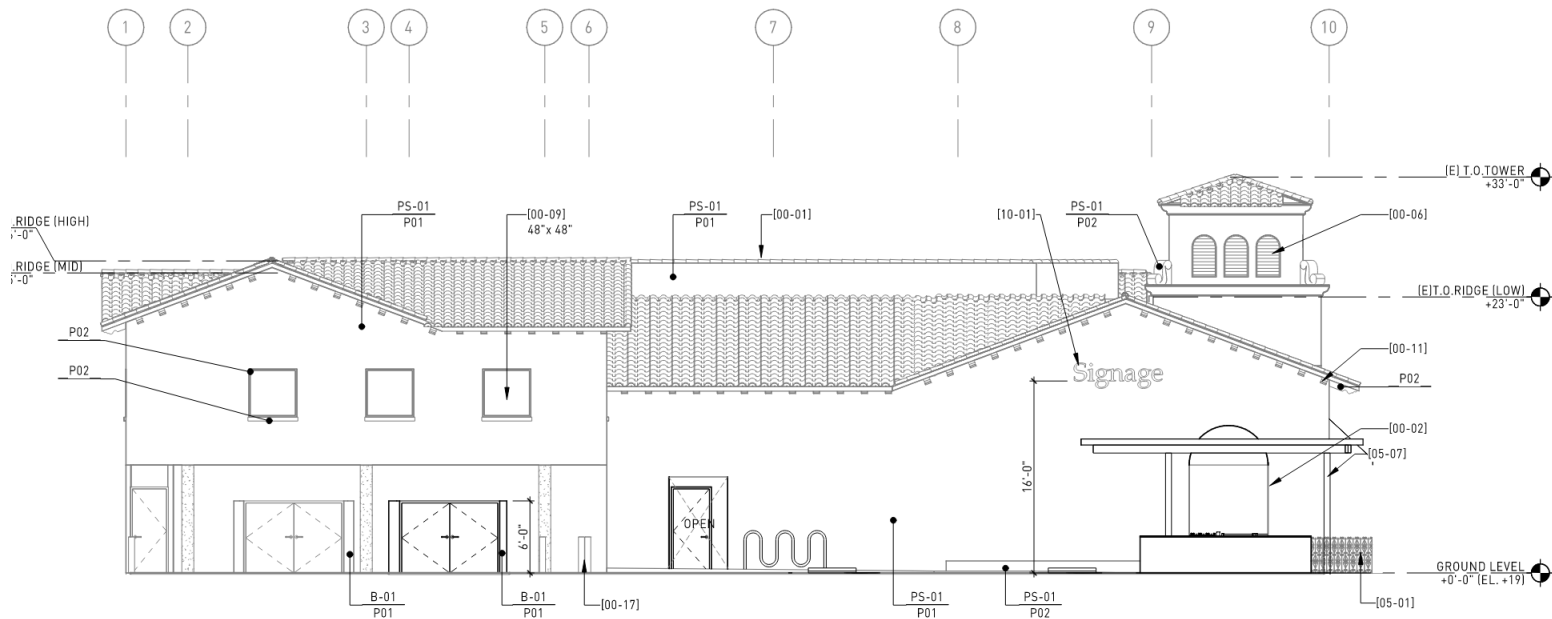




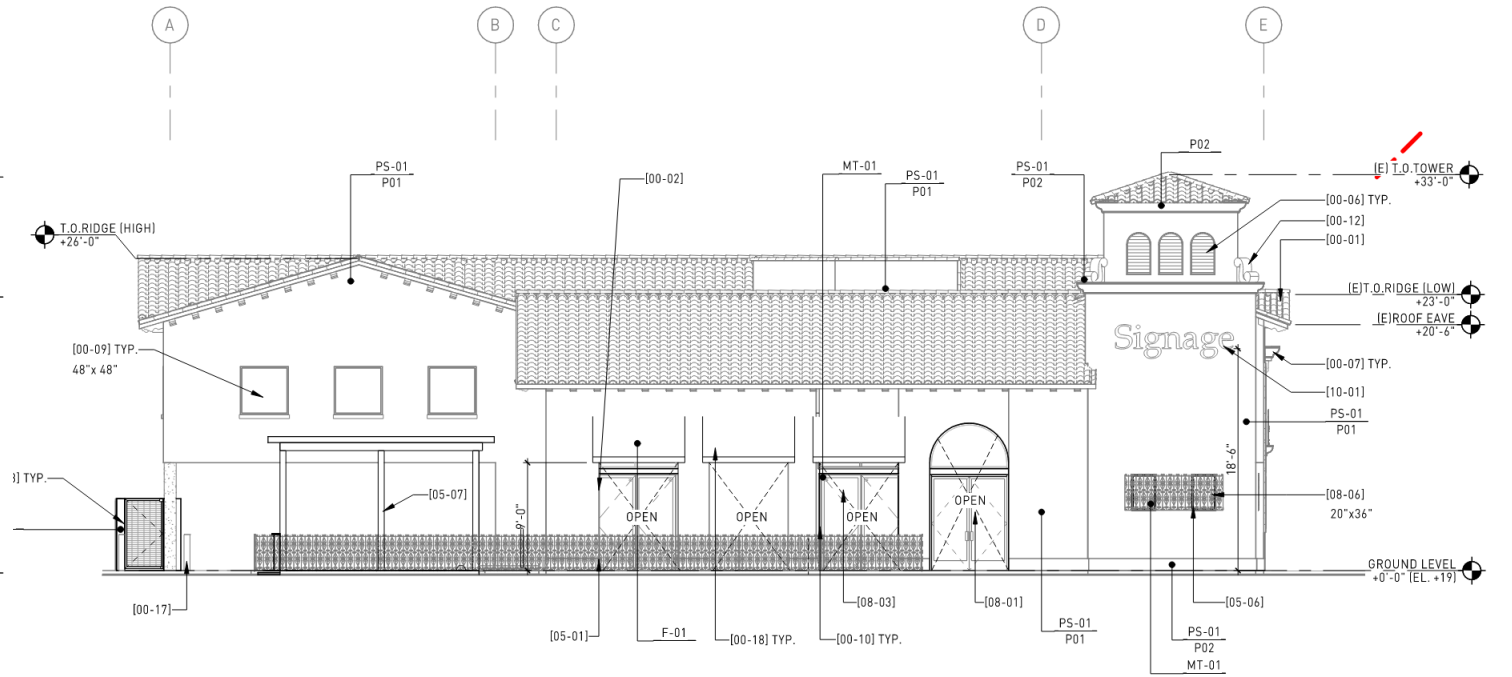
- 1 EXISTING WINDOWS TO REMAIN, PAINT FRAMES (P-02)
- 2 EXISTING ROOF TO REMAIN WITH RAFTERS (P-02)
- 3 EXISTING DOOR TO REMAIN
- 4 EXISTING TOWER & LOUVERS TO REMAIN
- 5 EXISTING DECORATIVE TRIM TO REMAIN (PS-01,P-02)
- 6 EXISTING STUCCO EXTERIOR PLASTER FINISH (PS-01,P-01)
- 7 NEW BACK OF HOUSE DOOR (P-01)
- 8 EXISTING SECONDARY ENTRY

- 9 NEW EXTERIOR LIGHTING
- 10 NEW DECORATIVE WROUGHT IRON GRILLE (MT-01)
- 11 NEW WROUGHT IRON RAILING (MT-01)
- 12 NEW BUILDING SIGNAGE (PART OF FUTURE TENANT IMPROVEMENT)
- 13 NEW ILLUMINATED BLADE SIGNAGE
- 14 EXISTING TANDEM PARKING TO REMAIN
- 15 NEW LANDSCAPING & PLANTER

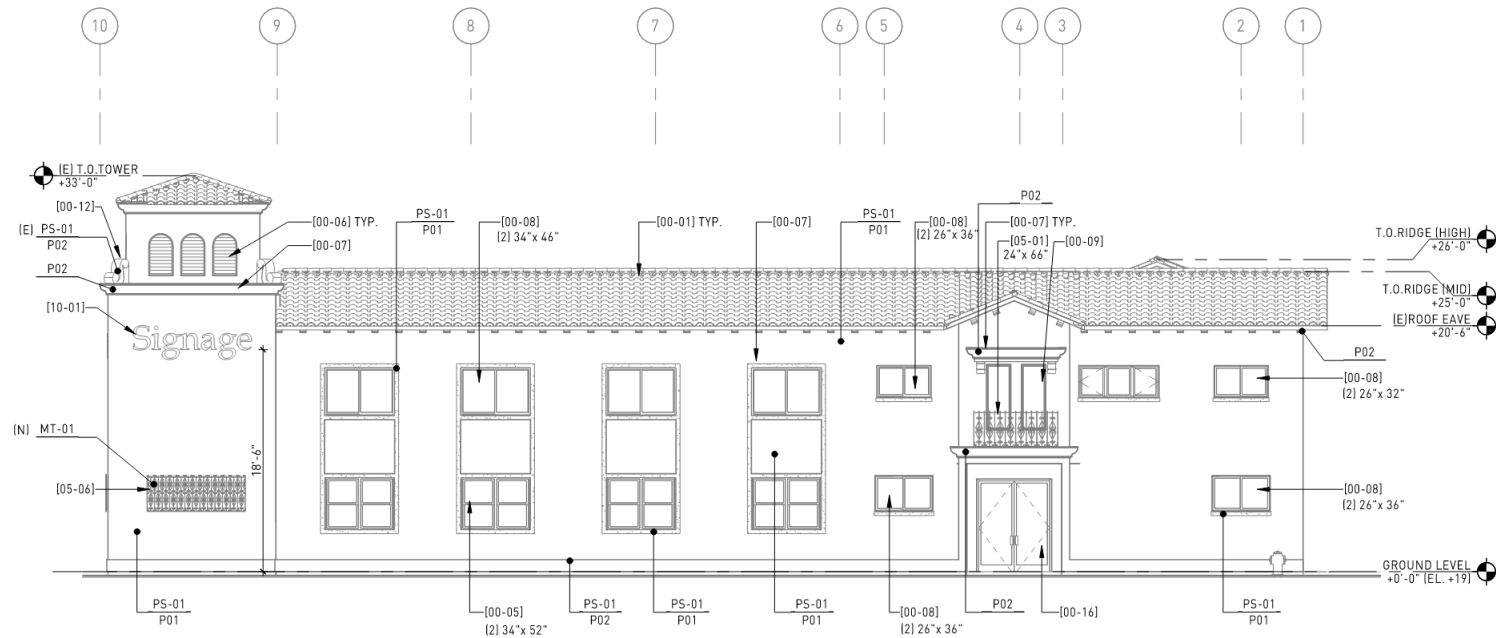
 MT-01 & MT-02	 PS-01	 P-01	 P-02
 BK-01	 F-01	 TL-01	 WD-01



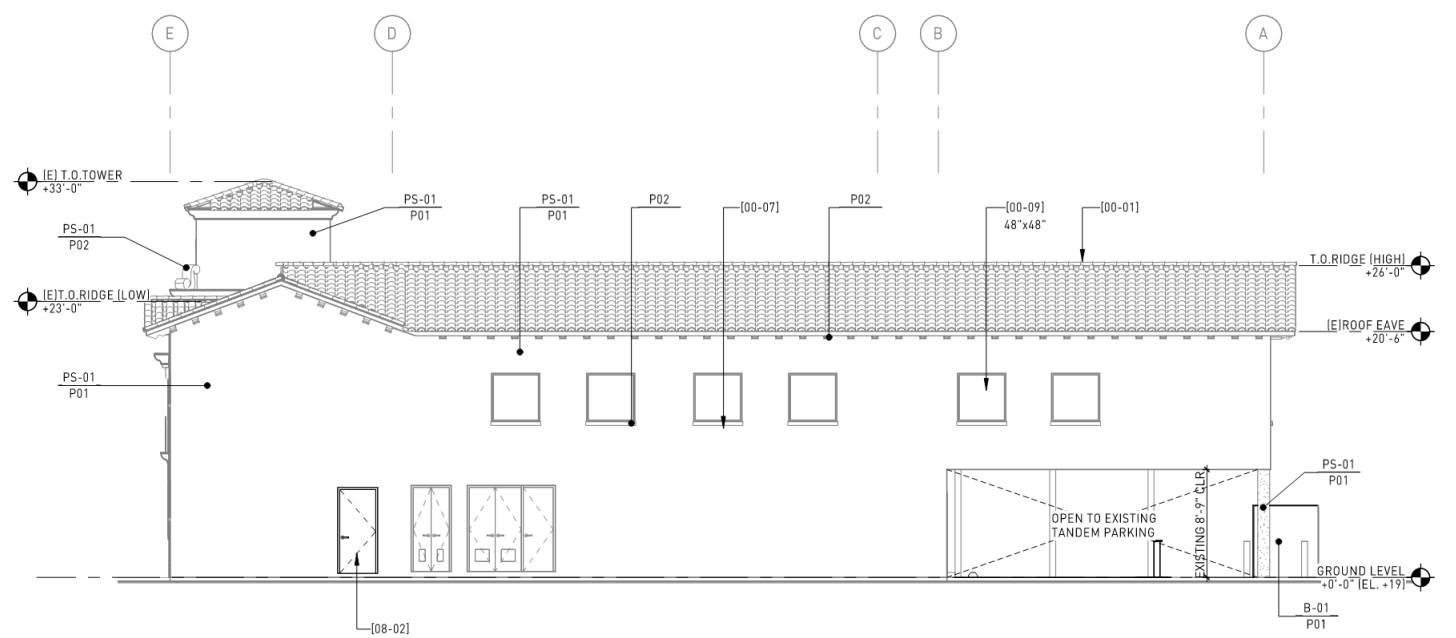
EXTERIOR ELEVATION - EAST | 1



EXTERIOR ELEVATION - NORTH | 1

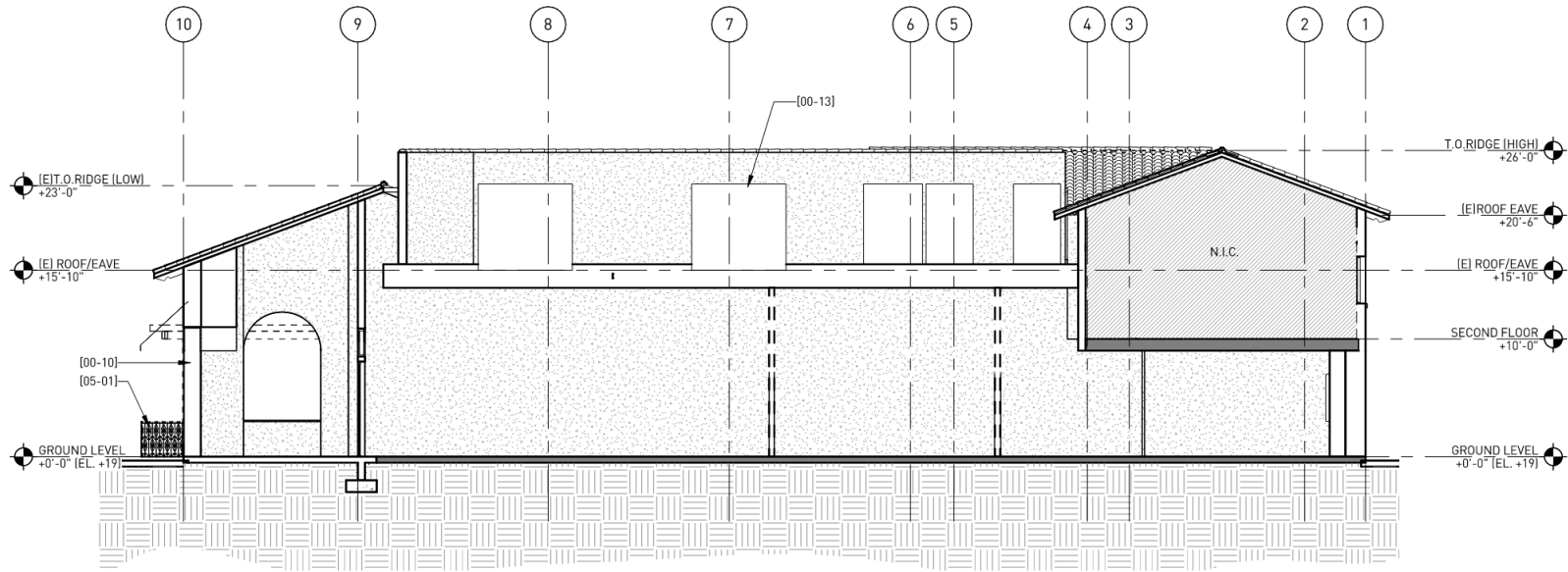


EXTERIOR ELEVATION - WEST | 2

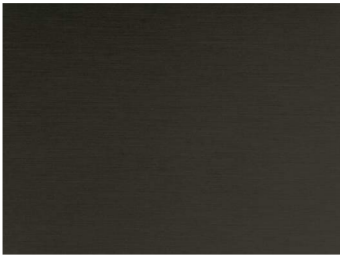


EXTERIOR ELEVATION - SOUTH | 2

SCALE 1/16" = 1'-0" 0 4 8 16 32



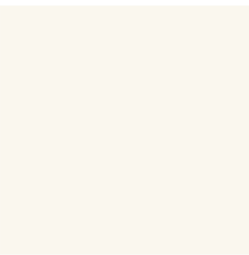
BUILDING SECTION



MT-01 & MT-02
MANUFACTURER: METALS
COLOR: ARCADIA / (TBD)
STYLE NO.: STANDARD MEDIUM BRONZE
LOCATION: ANODIZED ALUMINUM
STOREFRONTS AND
DECORATIVE RAILINGS



PS-01
MANUFACTURER: EXISTING PLASTER FINISH
LOCATION: N/A
ALL EXTERIOR WALLS AND TRIM



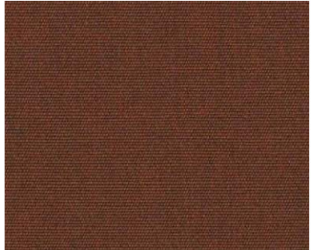
P-01
MANUFACTURER: EXTERIOR PAINT
COLOR: DUNN EDWARDS
STYLE NO.: DEW358 MILK GLASS
LOCATION: ALL EXTERIOR WALLS



P-02
MANUFACTURER: EXTERIOR PAINT ACCENT
COLOR: DUNN EDWARDS
STYLE NO.: DE6042 BEAR IN MIND
LOCATION: EXTERIOR ACCENT



BK-01
MANUFACTURER: EXISTING BRICK PAVERS
LOCATION: N/A
ENTRY AND PATIO FLOOR



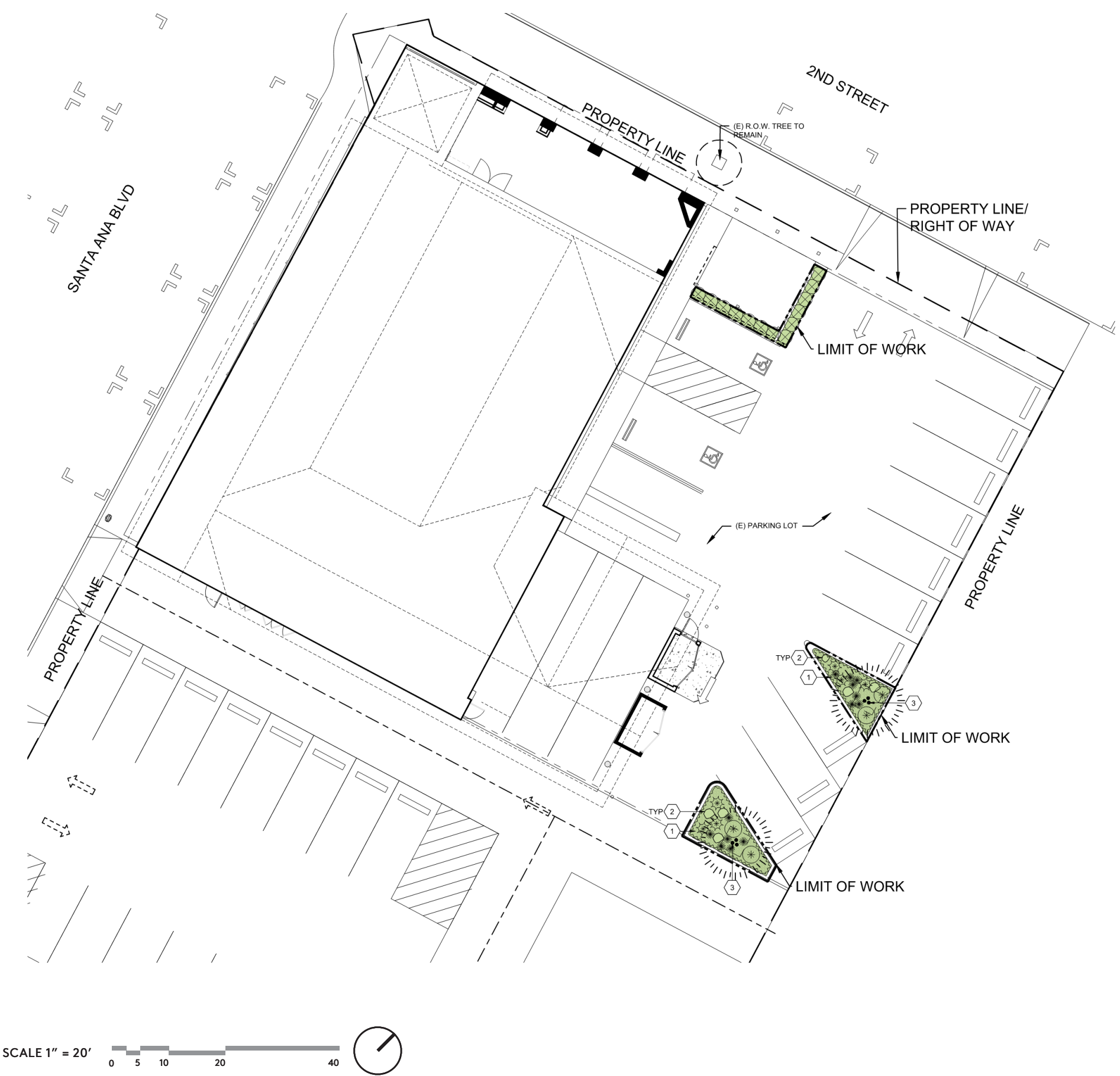
F-01
MANUFACTURER: SUNBRELLA
COLOR: MAHOGANY
STYLE NO.: 6099 (60')
LOCATION: AWNINGS AT OPENINGS



TL-01
MANUFACTURER: CUSTOM
COLOR: 8" CUSTOM
STYLE NO.: ARCHED OPENINGS
LOCATION: & WINDOW
ACCENT



WD-01
MANUFACTURER: TO BID
COLOR: WALNUT STAINED
STYLE NO.: N/A
LOCATION: OUTDOOR
PATIO/CANOPY



TREE LEGEND

SYMBOL	BOTANICAL NAME / "COMMON" NAME	SIZE	QTY*	REMARKS	DETAIL	WULCOLS	PLANT FACTOR
	PROSOPIS CHILENSIS CHILEAN MESQUITE	48" BOX	2	MULTI	--	L	0.2

SHRUB LEGEND

SYMBOL	BOTANICAL NAME / "COMMON" NAME	SIZE	QTY*	REMARKS	DETAIL	WULCOLS	PLANT FACTOR
	AGAVE BLUE GLOW BLUE GLOW AGAVE	15 GAL.	6	24" O.C.	--	L	0.2
	BOUTELOUA GRACILIS BLUE GRAMA GRASS	2 GAL.	13	18" O.C.	--	L	0.2
	PHORMIUM 'YELLOW WAVE' NEW ZEALAND FLAX 'YELLOW WAVE'	5 GAL.	4	36" O.C.	--	M	0.2
	WESTRINGIA FRUTICOSA 'GRAY BOX' GRAY BOX COAST ROSEMARY	5 GAL.	13	36" O.C.	--	L	0.5

- NOTES:
- CLIMATE ZONE - 24 (SUNSET WESTERN GARDEN BOOK)
 - PLANT QUANTITIES LISTED ARE FOR REFERENCE ONLY.
 - WULCOLS (WATER USE CLASSIFICATIONS OF LANDSCAPE SPECIES) RATINGS SHOWN HEREON ARE FOR REGION 3 - SOUTH COASTAL
 - ALL PLANTER AREAS SHALL RECEIVE GROUNDCOVER MULCH
 - ALL AGAVES TO KEEP 12" MIN CLEAR FROM PAVING EDGES

PLANT IMAGES



PROSOPIS CHILENSIS
CHILEAN MESQUITE



AGAVE BLUE GLOW
BLUE GLOW AGAVE



BOUTELOUA GRACILIS
BLUE GRAMA GRASS



PHORMIUM 'YELLOW WAVE'
NEW ZEALAND FLAX 'YELLOW WAVE'



WESTRINGIA FRUTICOSA 'GRAY BOX'
GRAY BOX COAST ROSEMARY

KEYNOTES

- DECOMPOSED GRANITE GROUND COVER. DESERT GOLD. SOUTHWEST BOULDER AND STONE. www.southwestboulder.com TEL: 877-792-7625
- (5) 12-18" DESERT SAND BOULDERS. SOUTHWEST BOULDER AND STONE. www.southwestboulder.com TEL: 877-792-7625
- ALL TREES ADJACENT TO PAVING TO RECEIVE LINEAR ROOT BARRIER

NOTES

- LANDSCAPE PLANS UPDATED TO BE IN COMPLIANCE WITH MUNICIPAL CODE 21.42.040
- TREE BOX SIZE TO BE 48" MINIMUM TO MEET TREE SUBSTITUTION REQUIREMENTS PER CODE 21.42.040.D

