

PROJECT DATA

DEVELOPMENT REQUIREMENTS:

DESCRIPTION	REQUIRED / ALLOWED	PROVIDED
UNIT PER LOT	2	2
LOT AREA / UNIT (MINIMUM)	1,000 SQ. FT.	3,943 SQ. FT.
MAX LOT COVERAGE:	N/A	N/A
MIN. USABLE OPEN SPACE	2% (78 SQ. FT.)	30% (1152 SQ. FT.)
FLR. AREA RATIO(F.A.R.):	NA	NA
MAX HEIGHT PEAK/MID SPAN:	32' MIDSPAN, 35' AT PEAK	32'-0" / 35'-0"
	FRONT	SIDES
SETBACKS (MINIMUM)	8 FT.	3 FT.

BUILDING AREA:

BUILDING AREAS:	EXISTING	NEW
FIRST FLOOR AREA:	1,000 SQ. FT. HOUSE	1640 SQ. FT. HOUSE
	751 SQ. FT. UNIT 2	-751 SQ. FT. UNIT 2
SECOND FLOOR AREA:	546 SQ. FT. HOUSE	1665 SQ. FT. HOUSE
	0 SQ. FT. UNIT 2	660 SQ. FT. UNIT 2
THIRD FLOOR AREA:	0 SQ. FT.	1488 SQ. FT. HOUSE
		400 SQ. FT. UNIT 2
TOTAL LIVABLE AREA:	1,546 SQ. FT. HOUSE	4,843 SQ. FT. HOUSE
	546 SQ. FT. UNIT 2	1,060 SQ. FT. UNIT 2
4-CAR GARAGE AREA:	100 SQ. FT.	974 SQ. FT.
BASEMENT:		850 SQ. FT.

OPEN SPACES:

FIRST FLOOR PATIOS:	560 SQ. FT.
BALCONIES:	542 SQ. FT.
TOTAL AREA:	1152 SQ. FT.

DESCRIPTION OF WORK:

DEMOLITION OF AN EXISTING DUPLEX.
CONSTRUCTION OF A 3- STORY NEW PRIMARY RESIDENCE AND UNIT
ATTACHED 4 CAR GARAGE.
ALL NEW MECHANICAL, ELECTRICAL AND PLUMBING
VARIANCES APPLIED: REDUCED DRIVEWAY AND 4-CAR TANDEM PARKING

CONSULTANTS

ARCHITECTURAL:

GULIAN DESIGN, INC.
5855 NAPLES PLAZA, SUITE 212
LONG BEACH, CA 90803
(562) 434-6993 PH
(562) 434-1544 FAX
CONTACT: EDYARD GULIAN
eg@guliandesign.com

STRUCTURAL ENGINEERING:

ZMJ ENGINEERING, INC.
STRUCTURAL CONSULTANTS
14911 VAN NESS AVENUE
GARDENA, CA 90249
(562) 235-4572
CONTACT: AHMED BOUZARIF - "ALAN"
ENGINEER OF RECORD: Zouheir Salah RPE# 42881

MECHANICAL (TITLE-24):

PLAR - TITLE 24 EZ
1252 W 22ND STREET
SAN PEDRO, CA 90731
TEL: (324) 241-7653
CONTACT: IGOR FICHKO GEACEPE

PROJECT LEGEND

CLIENT:

MIKE AND JILL PETERS
5425 E SEASIDE WALK
LONG BEACH, CA 90803

PROJECT ADDRESS

5425 E SEASIDE WALK
LONG BEACH, CA 90803

LEGAL DESCRIPTION:

APN: T245-0187-015
LOT 9 BLOCK 31 ALAMITOS BAY TRACT WAS ESTABLISHED
USING FOUND MONUMENTS ALONG OCEAN BLVD AND
60TH PLACE, AND RECORD INFORMATION SHOWN
ON PARCEL MAP 4663 P.M.B. 54/82

ZONING INFORMATION

ZONE: R-2-I
OCCUPANCY: R-3 / U
FLOOD ZONE: X
CONSTRUCTION TYPE: TYPE V-B
FIRE SPRINKLERS: YES

ENFORCING CODES:

2014 EDITION OF THE CALIFORNIA BUILDING CODE
TITLE-24 OF THE CALIFORNIA CODES OF REGULATIONS
PART 1 CALIFORNIA ADMINISTRATION CODE (CAC)
PART 2 CALIFORNIA BUILDING CODE (CBC)
PART 3 CALIFORNIA RESIDENTIAL CODE (CRC)
PART 4 CALIFORNIA ELECTRICAL CODE (CEC)
PART 5 CALIFORNIA MECHANICAL CODE (CMC)
PART 6 CALIFORNIA PLUMBING CODE (CPC)
PART 7 CALIFORNIA ENERGY CODE (CEEC)
PART 8 VACANT
PART 9 CALIFORNIA HISTORICAL BUILDING CODE (CHBC)
PART 10 CALIFORNIA FIRE CODE (CFC)
PART 11 CALIFORNIA EXISTING BUILDING CODE (CEBC)
PART 12 CALIFORNIA GREEN BUILDING STANDARDS CODE (CALGreen)
LONG BEACH MUNICIPAL CODE (2020)

SITE PLAN NOTES

1. ALL DIMENSIONS ON THIS PLAN ARE CLEAR DIMENSIONS FROM FINISH TO
PROPERTY LINES. CONTRACTORS SHALL VERIFY DISTANCES TO
ACCOMMODATE STRUCTURE AND FINISHES TO ALLOW FOR THESE CLEAR
DIMENSIONS. TYP.

2. AFTER DEMOLITION AND REMOVAL OF EXISTING STRUCTURE, CONTRACTOR
SHALL CONTRACT A SOILS ENGINEER TO VERIFY 90% SOIL COMPACTION.

3. ALL UTILITIES SHALL BE REPLACED AND UPGRADED.
ELECTRICAL SHALL BE UNDERGROUND 200AMP SERVICE.
GAS SHALL BE RAN TO NEW METER LOCATION INDICATED BY
DEPARTMENT OF GAS. WATER SUPPLY SHALL BE RAN FROM
EXISTING WATER METER INTO HOUSE WITH 1-1/2" MAIN COPPER
PIPING.

4. DURING CONSTRUCTION, THE CONTRACTOR SHALL PROVIDE
TEMPORARY FACILITIES FOR TOILET, SECURITY FENCING AND
ALL UTILITIES TO PERFORM WORK AT SITE WITH ADEQUATE
EFFICIENCY.

CONSTRUCTION NOISE REGULATIONS
THE MUNICIPAL CODE PROHIBITS ANY CONSTRUCTION REQUIRING A PERMIT
FROM PRODUCING UNUSUALLY LOUD NOISE DURING THE FOLLOWING HOURS:
WEEKDAYS AND FEDERAL HOLIDAYS: 7:00 P.M. TO 7:00 A.M. THE FOLLOWING
WEEKDAY.
SATURDAYS: BEFORE 9:00 A.M. AND AFTER 6:00 P.M.
SUNDAYS: ALL DAY.
UNUSUAL NOISE IS THAT WHICH ANNOYS OR DISTURBS A REASONABLE
PERSON OF NORMAL SENSITIVITY. IN ADDITION TO HEALTH DEPARTMENT
STAFF, THE REGULATIONS MAY BE ENFORCED BY POLICE OFFICERS. A PERSON
FOUND GUILTY OF VIOLATING THE REGULATIONS IS SUBJECT TO A FINE OR
IMPRISONMENT, OR BOTH. THE LANDOWNER, CONSTRUCTION COMPANY
OWNER, CONTRACTOR, SUB-CONTRACTOR OR EMPLOYER CAN BE A
CO-DEFENDANT WHENEVER AN EMPLOYEE IS PROSECUTED FOR VIOLATING
THE NOISE REGULATIONS. IF GOOD CAUSE IS SHOWN, THE HEALTH
DEPARTMENT NOISE CONTROL OFFICER MAY GRANT A PERMIT ALLOWING
WORK ON SUNDAYS FROM 9:00 A.M. TO 6:00 P.M. THE BUILDING OFFICIAL MAY
AUTHORIZE EMERGENCY WORK TO PROCEED AT ANY TIME PERIOD.
THE NOISE CONTROL OFFICER SHOULD BE CONTACTED AT (562) 510-4000 FOR
ANY ADDITIONAL INFORMATION.

5. REMOVE ALL EXTERIOR STUCCO, AND PREPARE FOR NEW
SMOOTH STUCCO FINISH.

VICINITY MAP

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GN-1	GENERAL NOTES
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ADDITIONAL CITY NOTES:

1. MIN. USABLE OPEN SPACE REQUIREMENTS EXCLUDES AREAS OF DRIVEWAYS, FRONT YARD SETBACK, AND AREAS SMALLER THAN 5'X5'.

ITEMS UNDER SEPARATE PERMIT:

BLOCK WALLS
FENCES
LANDSCAPE AREAS
DEMOLITION

** PLANS FOR DEFERRED SUBMITTAL ITEMS SHALL BE SUBMITTED TO
LBDS FOR APPROVAL AT LEAST 60 DAYS PRIOR TO INSTALLATION.

PERMEABLE PAVING

NON-PERMEABLE PAVING (30% MAXIMUM)
LOT = 3,943 SQ. FT. - 2656 SQ. FT. (FOOTPRINT) = 1287 SQ. FT.
MAXIMUM = 1287 SQ. FT. X 30% = 371 SQ. FT. MAX
PROVIDED = 300 SQ. FT. (24%)

LANDSCAPE AREA IN FRONT YARD
LOT = 3,943 SQ. FT.
REQUIRED = 3,222 SQ. FT. X 30% = 1110 SQ. FT. MINIMUM

LANDSCAPE REQUIREMENTS

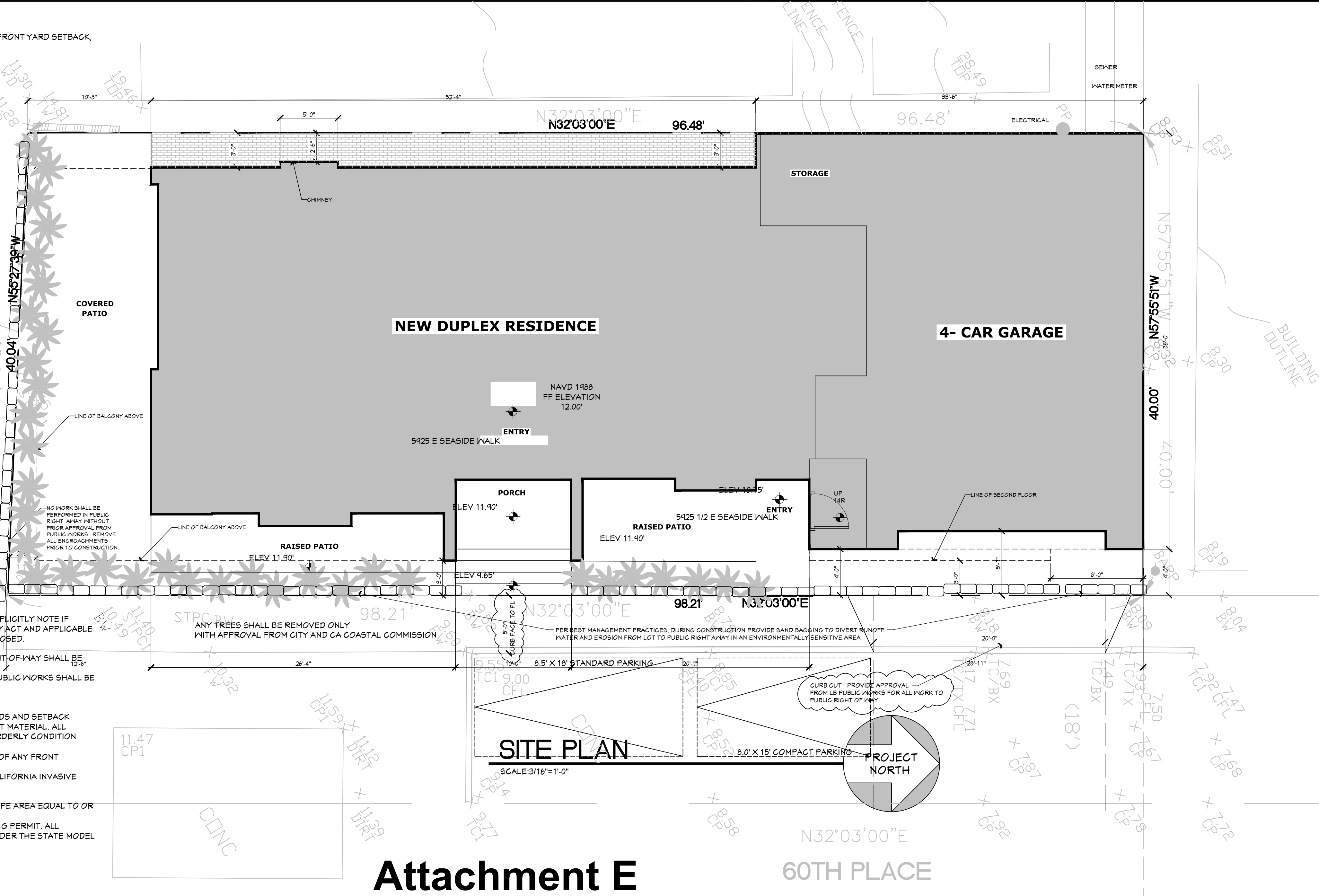
LIVE PLANT MATERIAL SHALL COVER A MINIMUM OF 50% OF ANY
FRONT YARD SETBACK AREA.
REQUIRED:
1.5' (AVERAGE FRONT YARD SETBACK) X 40' (LENGTH OF PROPERTY LINE) =
120' / 2 = 60 SQ. FT. OF LANDSCAPED AREA REQUIRED
PROVIDED:
3' X 40' = 120 SQ. FT. OF LANDSCAPED AREA WITHIN FRONT YARD SETBACK

NON-PERMEABLE AREA REQUIREMENTS

NON-PERMEABLE PAVING AND NON-PERMEABLE ARTIFICIAL
TURF SHALL NOT COVER MORE THAN 30% OF ON-SITE AREA
THAT IS NOT COVERED BY STRUCTURES, DRIVEWAYS, AND
APPROVED PARKING PADS.

PLANNING NOTES:

- TREES - EXISTING TREES SHALL BE IDENTIFIED ON THE SITE PLAN AND EXPLICITLY NOTE IF
REMOVAL IS PROPOSED. COMPLIANCE WITH THE MIGRATORY BIRD TREATY ACT AND APPLICABLE
COASTAL POLICIES WILL BE REQUIRED IF TREE MODIFICATIONS ARE PROPOSED.
- EXISTING ENCROACHMENTS - ANY ENCROACHMENTS ON THE PUBLIC RIGHT-OF-WAY SHALL BE
REMOVED
ONLY LANDSCAPE AND PLANTWORK APPROVED BY THE DEPARTMENT OF PUBLIC WORKS SHALL BE
INCLUDED
IN THE PUBLIC RIGHT-OF-WAY.
- LANDSCAPING - PER SECTION 21.42.030 OF THE LBMC, ALL REQUIRED YARDS AND SETBACK
AREAS SHALL BE ATTRACTIVELY LANDSCAPED PRIMARILY WITH LIVE PLANT MATERIAL. ALL
LANDSCAPED AND PAVED AREAS SHALL BE MAINTAINED IN A NEAT AND ORDERLY CONDITION
WITH HEALTHY LANDSCAPING FREE OF WEEDS AND LITTER.
LIVE PLANT MATERIAL SHALL COVER A MINIMUM OF FIFTY PERCENT (50%) OF ANY FRONT
SETBACK AREA.
THE USE OF INVASIVE PLANT SPECIES, SUCH AS THOSE LISTED BY THE CALIFORNIA INVASIVE
PLANT
COUNCIL, SHALL BE PROHIBITED IN THE COASTAL ZONE.
NEW RESIDENTIAL LANDSCAPE PROJECTS WITH AN AGGREGATE LANDSCAPE AREA EQUAL TO OR
GREATER
THAN FIVE HUNDRED (500) SQUARE FEET REQUIRE A LANDSCAPE PLUMBING PERMIT. ALL
LANDSCAPING SHALL BE CONSISTENT WITH STANDARDS ESTABLISHED UNDER THE STATE MODEL
WATER EFFICIENT LANDSCAPE ORDINANCE
(MWELO) (SECTION 21.42.035)



AS THE ARCHITECT/ENGINEER OF RECORD, I HAVE SELECTED APPROPRIATE
BMPs TO EFFECTIVELY MINIMIZE THE NEGATIVE IMPACTS OF THIS PROJECT'S
CONSTRUCTION ACTIVITIES ON STORM WATER QUALITY. THE PROJECT OWNER
AND CONTRACTOR ARE AWARE THAT THE SELECTED BMPs MUST BE
INSTALLED, MONITORED, AND MAINTAINED TO ENSURE THEIR EFFECTIVENESS.
THE BMPs NOT SELECTED FOR IMPLEMENTATION ARE REDUNDANT OR DEEM
NOT APPLICABLE TO THE PROPOSED CONSTRUCTION ACTIVITIES.

NAME

POSITION

DATE

DRAWN BY: EVG

SCALE: NOTED

CAD FILE: XXXXXXXX

PROJECT NO.:

DATE: 1-7-2022

I CERTIFY THAT THE PROPOSED WORK WILL NOT DESTROY OR UNREASONABLY
INTERFERE WITH ANY ACCESS OR UTILITY EASEMENT BELONGING TO OTHERS
AND LOCATED ON MY PROPERTY, BUT IN THE EVENT SUCH WORK DOES
DESTROY OR UNREASONABLY INTERFERE WITH SUCH EASEMENT, A
SUBSTITUTE EASEMENT(S) SATISFACTORY TO THE HOLDER(S) OF THE
EASEMENT WILL BE PROVIDED.

NAME

POSITION

DATE

GD

GULIAN
DESIGN
ARCHITECTURE

5855 NAPLES PLAZA SUITE 212
LONG BEACH, CALIFORNIA 90803
(562) 434-6993

REVISIONS:

PETERS RESIDENCE
NEW CUSTOM RESIDENTIAL DUPLEX
5925 E SEASIDE WALK
LONG BEACH, CA 90803

TITLE SHEET
SITE DATA
SITE PLAN

T-1

SHEET ___ OF ___

SEASIDE WALK

N55°27'39"W

40.04'

N32°03'00"E

3'-0"

UP 14R

WINE STORAGE

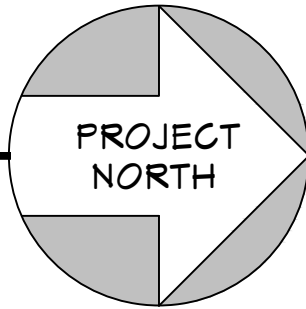
UTILITIES

BASEMENT

60TH PLACE

BASEMENT PLAN

SCALE: 1/4" = 1'-0"
850 SQ. FT.





**GULIAN
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ARCHITECTURE

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NEW CUSTOM RESIDENTIAL DUPLEX

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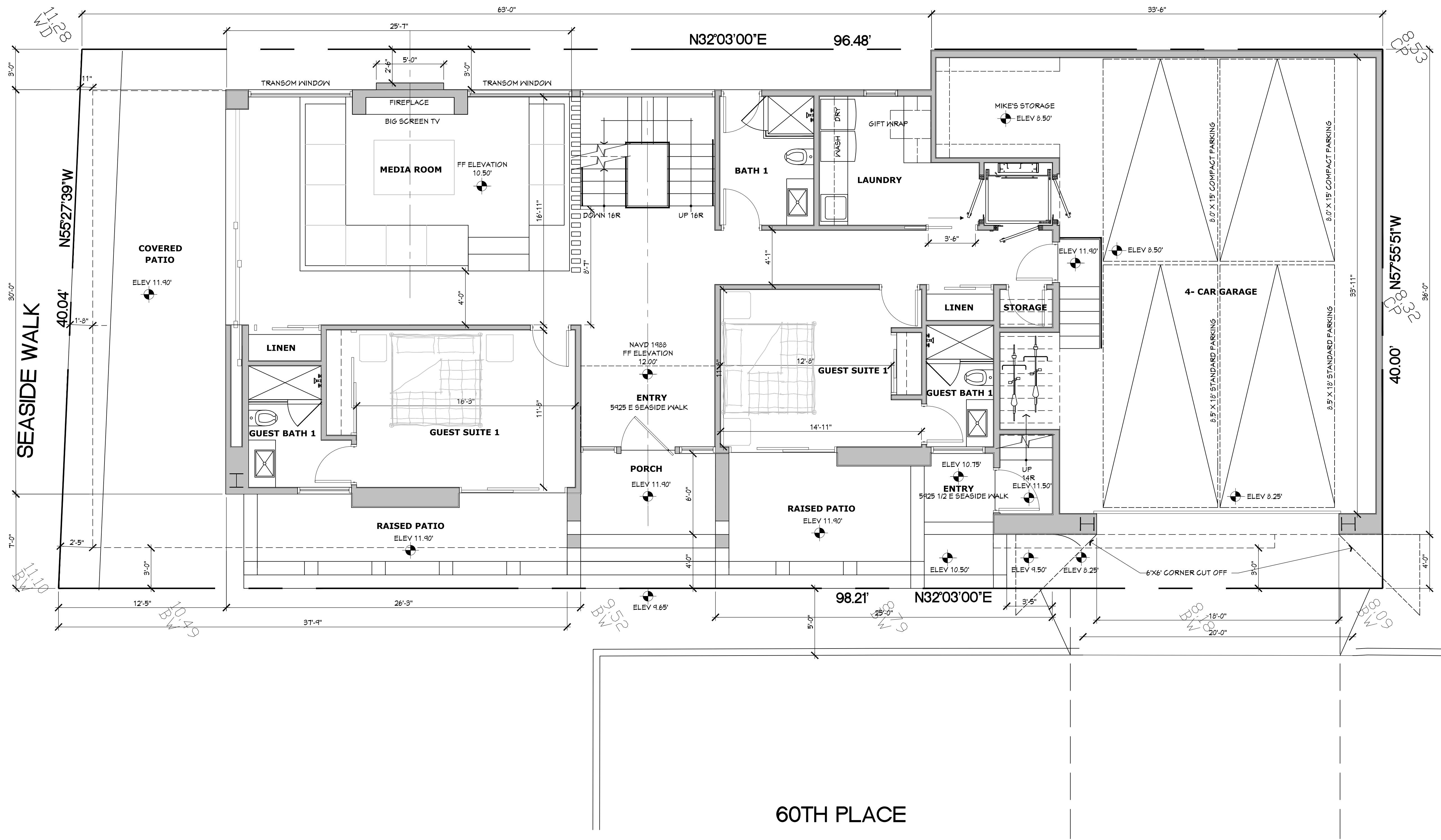
PROPOSED
BASEMENT PLAN

DRAWN BY:	EVG
SCALE:	NOTED
CAD FILE:	XXXXXXXXXX
PROJECT NO.:	
DATE:	1-7-2022

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SHEET ____ OF ____

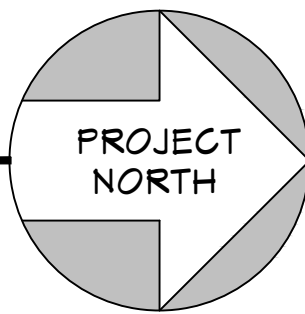
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60TH PLACE

FIRST FLOOR PLAN

SCALE: 1/4"=1'-0"
1690 SQ. FT. HOUSE
974 SQ. FT. GARAGE + STORAGE



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1	
2	
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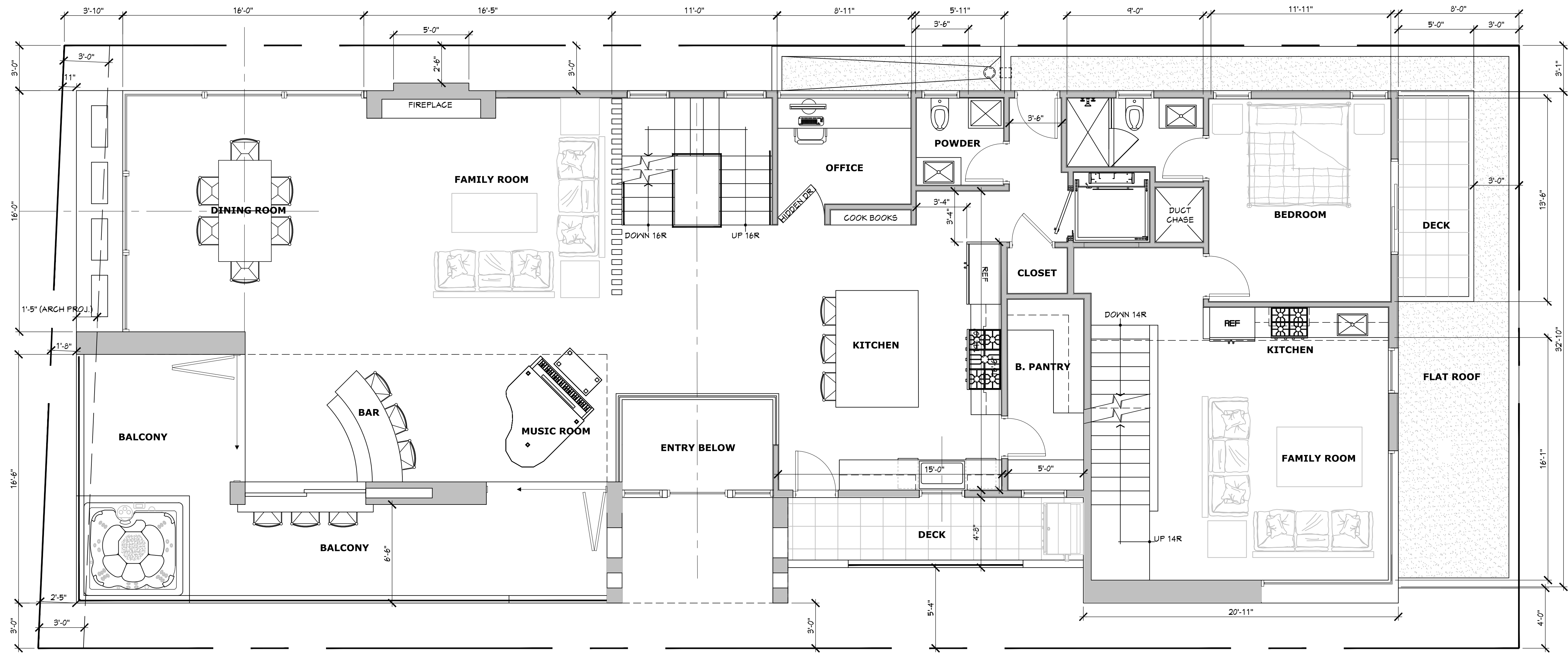
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LONG BEACH, CA 90803

PROPOSED
FIRST FLOOR PLAN

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SCALE:	NOTED
CAD FILE:	XXXXXXXXXX
PROJECT NO.:	
DATE:	1-7-2022

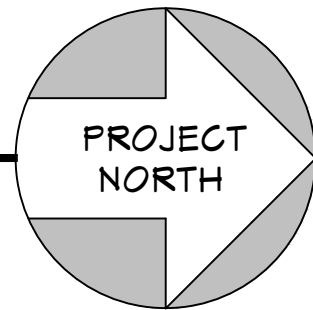
A1.1
SHEET ____ OF ____

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SECOND FLOOR PLAN

SCALE: 1/4"=1'-0"
1665 SQ. FT. HOUSE
660 SQ. FT. UNIT 2



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NEW CUSTOM RESIDENTIAL DUPLEX

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LONG BEACH, CA 90803

CONSTRUCTION

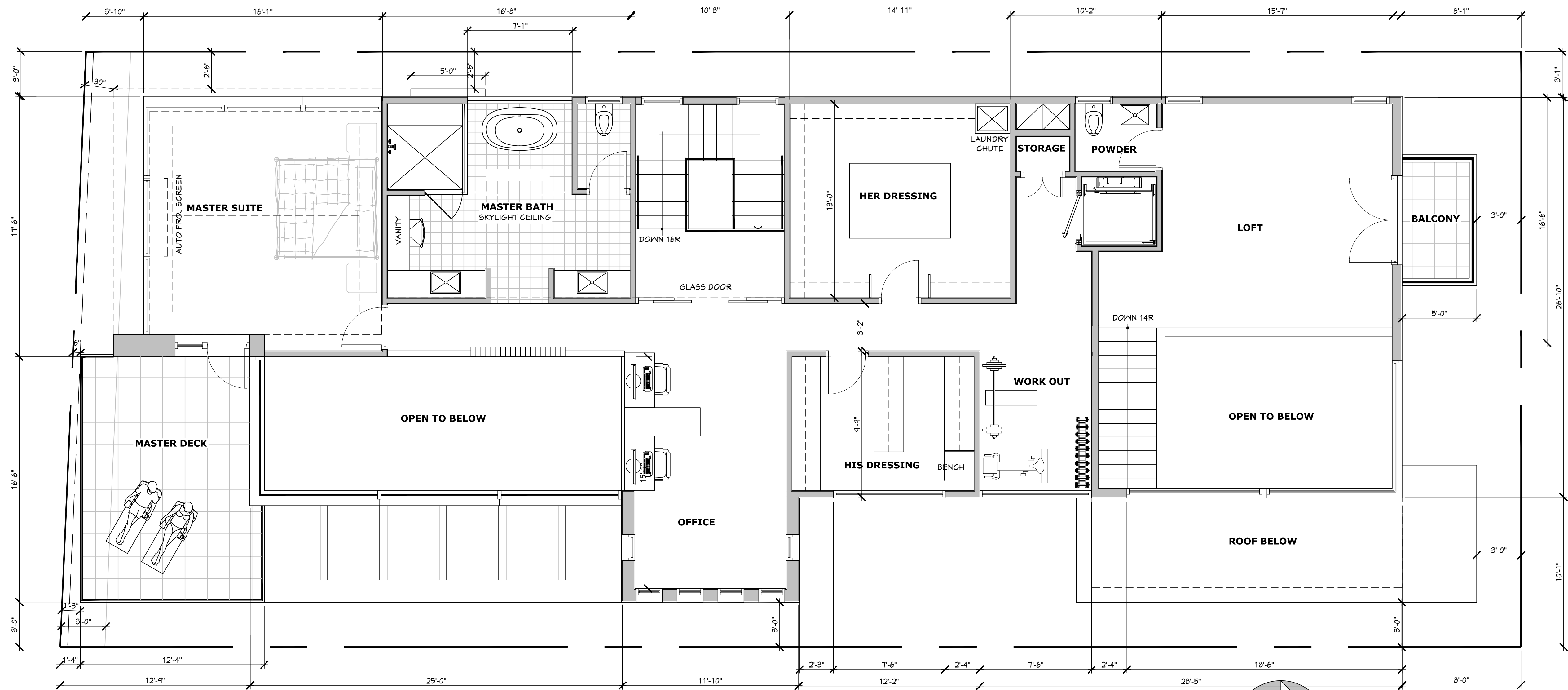
SECOND FLOOR

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SCALE:	NOTED
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PROJECT NO.:	
DATE:	1-7-2022

A1.2

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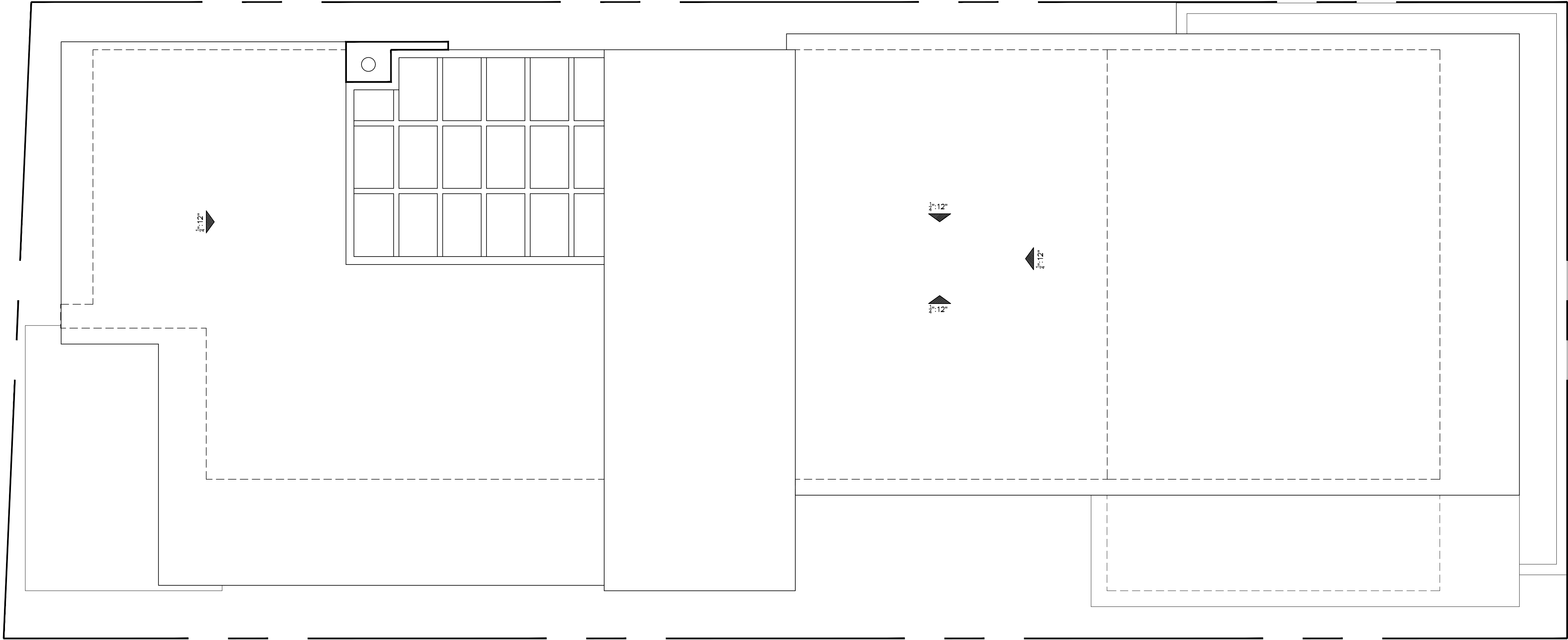
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CONSTRUCTION
THIRD FLOOR PLAN

DRAWN BY:	EVG
SCALE:	NOTED
CAD FILE:	XXXXXXXXXX
PROJECT NO.:	
DATE:	1-7-2022

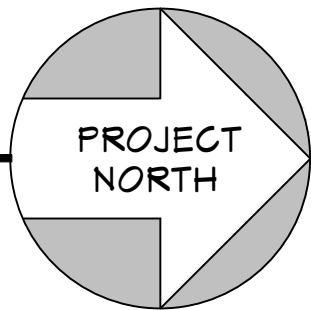
A1.3
SHEET ____ OF ____

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ROOF PLAN

SCALE: 1/4"=1'-0"





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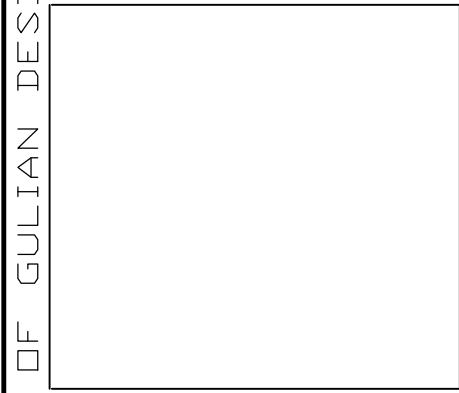
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NEW CUSTOM RESIDENTIAL DUPLEX

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CONSTRUCTION
ROOF PLAN

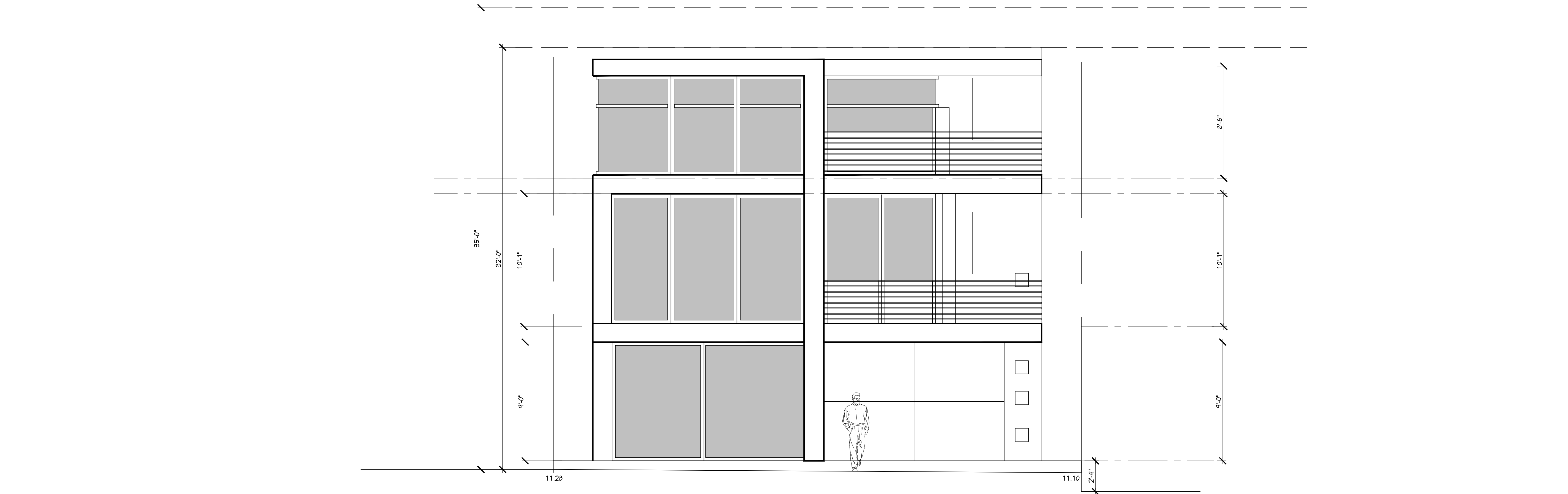


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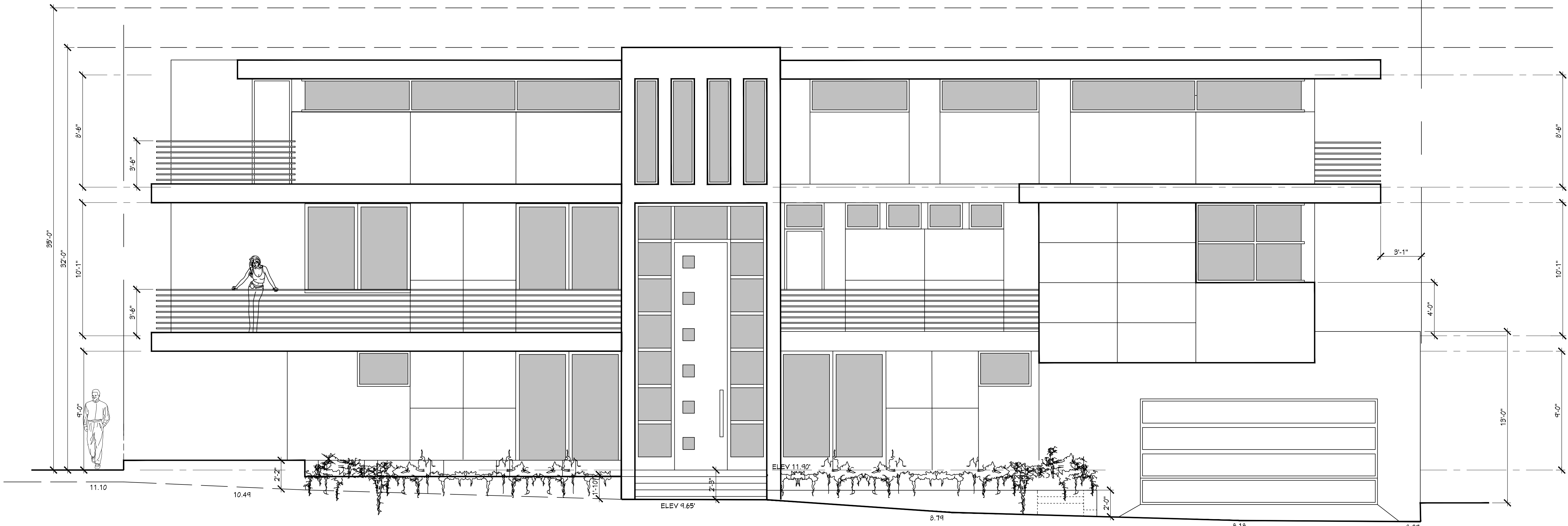
A1.3

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SOUTH ELEVATION
SCALE: 1/4"=1'-0"



EAST ELEVATION
SCALE: 1/4"=1'-0"



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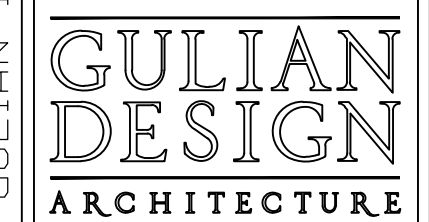
PROPOSED
EXTERIOR ELEVATIONS

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PROJECT NO.:	
DATE:	1-7-2022

A2.0

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REVISIONS:



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PROPOSED
SECOND FLOOR
PLAN

DRAWN BY:	EVG
SCALE:	NOTED
CAD FILE:	XXXXXXXXXX
PROJECT NO.:	
DATE:	1-7-2022

A1.3

SHEET OF



SCALE: 1/4"=1'-0"



SCALE: 1/4"=1'-0"



BUILDING SECTION
SCALE: 1/4"=1'-0"



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ARCHITECTURE

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PETERS RESIDENCE
NEW CUSTOM RESIDENTIAL DUPLEX

5925 E SEASIDE WALK
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PROPOSED
SECTIONS

DRAWN BY:	EVG
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A5.0

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