



EXISTING GARAGE
CONVERSION TO ADU
COUNTY OF LOS ANGELES
STATE OF CALIFORNIA

Attachment B

3325 E 4TH STREET
LONG BEACH, CA, 90814



JEFF@JRSENGINEERINGDESIGN.COM

3325 E 4TH STREET
LONG BEACH, CA, 90814
JRSENGINEERINGDESIGN.COM
562-850-1223

PROJECT SCOPE	HOME OWNER	
1. CONVERT EXISTING 462 SF GARAGE IN REAR YARD TO 2 BED 2 BATH ACCESSORY DWELLING UNIT (ADU), EXTEND EXISTING GARAGE FOOTPRINT BY 361 SF, DEMOLISH 23 SF EXISTING GARAGE. TOTAL ADU SF TO BE 800 SF	OWNER: JEFF AND RACHEL SCHAEFER 3325 E 4TH STREET LONG BEACH, CA, 90814 PHONE: 808-657-2157 808-464-8343 JEFFREY.SCHAEFER@GMAIL.COM RACHEL4989@GMAIL.COM	ENGINEER: JRS ENGINEERING & DESIGN 3325 E 4TH STREET LONG BEACH, CA, 90814 PHONE: 652-850-1223 JEFF@JRSENGINEERINGDESIGN.COM
2. ADD 385-SF DECK, 303 SF DECK TO REAR YARD OF PROPERTY (NOT VISIBLE FROM STREET) FOR ADU PRIVATE USE AND 82 SF DECK TO FRONT ENTRYWAY		

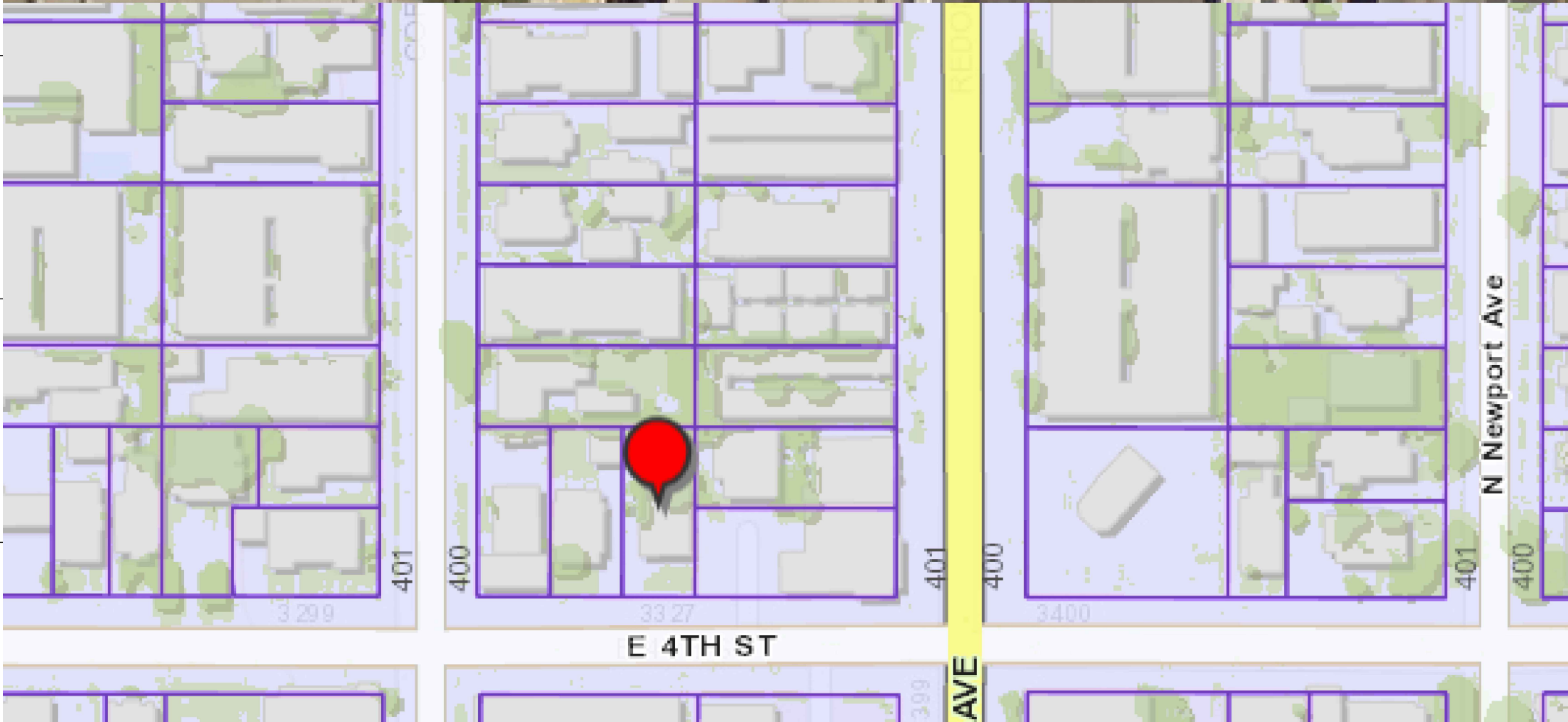
PROPERTY INFORMATION	SHEET LIST	SDC INFORMATION
ADDRESS LOT AREA (SF) LOT # OCCUPANCY TYPE ZONING CONSTRUCTION TYPE FIRE SPRINKLERS (E) MAIN DWELL, 1-STORY (N) ADU, SINGLE-STORY LOT COVERAGE	3325 E 4TH ST LONG BEACH, CA 90814 4,725 SF LONG BEACH HEIGHTS E 45 FT OF LOT 21 AND VAC ST ADJ ON S AND E 45 FT OF LOT 23 BLK 7 R-3 LBR3T V-B NONE EXISTING IN MAIN 1084 SF 800 SF 22.9%	SOIL BEARING CAPACITY 1500 PSF SDC D SITE CLASS D IMPORTANCE FACTOR II, STANDARD Ss 1.932 S1 0.747 A101 COVER SHEET A102 GREEN BUILDING NOTES A103 GREEN BUILDING NOTES A104 GREEN BUILDING NOTES A105 SITE PLAN A106 ELEVATIONS A107 FLOOR PLAN M101 MECHANICAL, ELECTRICAL, PLUMBING S107 DOOR AND WINDOW SPECIFICATIONS S108 ACCORDION DOOR DETAIL SHEET 1 S109 ACCORDION DOOR DETAIL SHEET 2

NOTES	APPLICABLE CODES
1. WORK PERFORMED SHALL COMPLY WITH THE CURRENT APPLICABLE CODES. SEE TABLE: 1.1. THESE GENERAL NOTES UNLESS OTHERWISE NOTED ON PLANS OR SPECIFICATIONS. 1.2. STANDARD SPECIFICATIONS OF A.S.T.M. 1.3. AMENDMENTS BY THE LOCAL JURISDICTION 2. ON SITE VERIFICATION OF ALL DIMENSIONS AND CONDITIONS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND SUB-CONTRACTORS. NOTES AND DIMENSIONS TAKES PRECEDENCE OVER SCALING OF THE DRAWING. EACH CONTRACTOR OR SUB-CONTRACTOR SHALL REPORT TO PROJECT OWNER AND DESIGNER ALL CONDITIONS WHICH PREVENT THE PROPER EXECUTION OF THEIR WORK. 3. TYPICAL DETAILS AND SPECIFICATIONS ARE MINIMUM REQUIREMENTS TO BE USED WHEN CONDITIONS ARE NOT OTHERWISE SHOWN. 4. SPECIFIC NOTES AND DETAILS ON DRAWINGS SHALL TAKE PRECEDENCE OVER GENERAL NOTES AND TYPICAL DETAILS. WHERE NO DETAILS ARE SHOWN CONSTRUCTION SHALL CONFORM TO SIMILAR WORK ON PROJECT. 5. APPROVAL BY THE INSPECTOR DOES NOT MEAN APPROVAL OR ALLOWABLE FAILURE TO COMPLY WITH THE PLANS AND SPECIFICATIONS. ANY DESIGN WHICH FAILS TO BE CLEAR OR IS AMBIGUOUS MUST BE REFERRED TO THE ENGINEER IN WRITING FOR INTERPRETATION OR CLARIFICATION 6. ADHESIVES, SEALANTS AND CAULKS SHALL BE COMPLIANT WITH VOC AND OTHER TOXIC COMPOUND LIMITS PER CALIFORNIA GREEN BUILDING STANDARDS (CGBS) SECTION 4.504.2 6.1. PAINT, STAINS AND OTHER COATINGS SHALL BE COMPLIANT WITH VOC LIMITS 6.2. AEROSOL PAINTS AND COATINGS SHALL BE COMPLIANT WITH PRODUCT WEIGHTED MIR LIMITS FOR ROC AND OTHER TOXIC COMPOUNDS 6.3. DOCUMENTATION SHALL BE PROVIDED TO VERIFY COMPLIANT VOC LIMIT FINISH MATERIALS HAVE BEEN USED 6.4. CARPET AND CARPET SYSTEMS SHALL BE COMPLIANT WITH VOC LIMITS 6.5. 80% OF FLOOR AREA CONTAINING RESILIENT FLOORING SHALL COMPLY WITH VOC EMISSION LIMITS PER THE COLLABORATIVE FOR HIGH-PERFORMANCE SCHOOLS (CHPS) LOW-EMITTING MATERIALS LIST OR BE CERTIFIED UNDER THE RESILIENT FLOOR COVERING INSTITUTE (RFCI) FLOOR SCORE PROGRAM 6.6. PARTICLEBOARD, MEDIUM DENSITY FIBERBOARD (MDF) AND HARDWOOD PLYWOOD USED IN INTERIOR FINISH SYSTEMS SHALL COMPLY WITH LOW FORMALDEHYDE EMISSION STANDARDS	ALL WORK SHALL CONFORM TO THE REQUIREMENTS OF THE FOLLOWING CODES AND STANDARDS 1.1. 2019 CALIFORNIA BUILDING CODE (CBC) 1.2. 2019 CALIFORNIA RESIDENTIAL CODE (CRC) 1.3. 2019 CALIFORNIA PLUMBING CODE (CPC) 1.4. 2019 CALIFORNIA MECHANICAL CODE (CMC) 1.5. 2019 CALIFORNIA BUILDING CODE (CBC) 1.6. 2019 CALIFORNIA ELECTRICAL CODE (CEC) 1.7. 2019 CALIFORNIA ENERGY CODE (CEnc) 1.8. CALIFORNIA GREEN BUILDING STANDARDS CODE (CalGreen) 1.9. LONG BEACH MUNICIPAL CODE

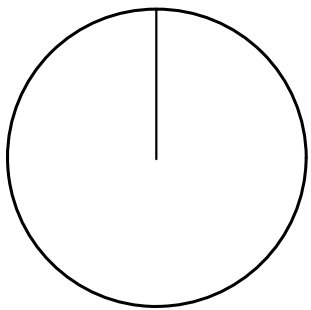


Existing garage
to be converted
to ADU

Bus Stop

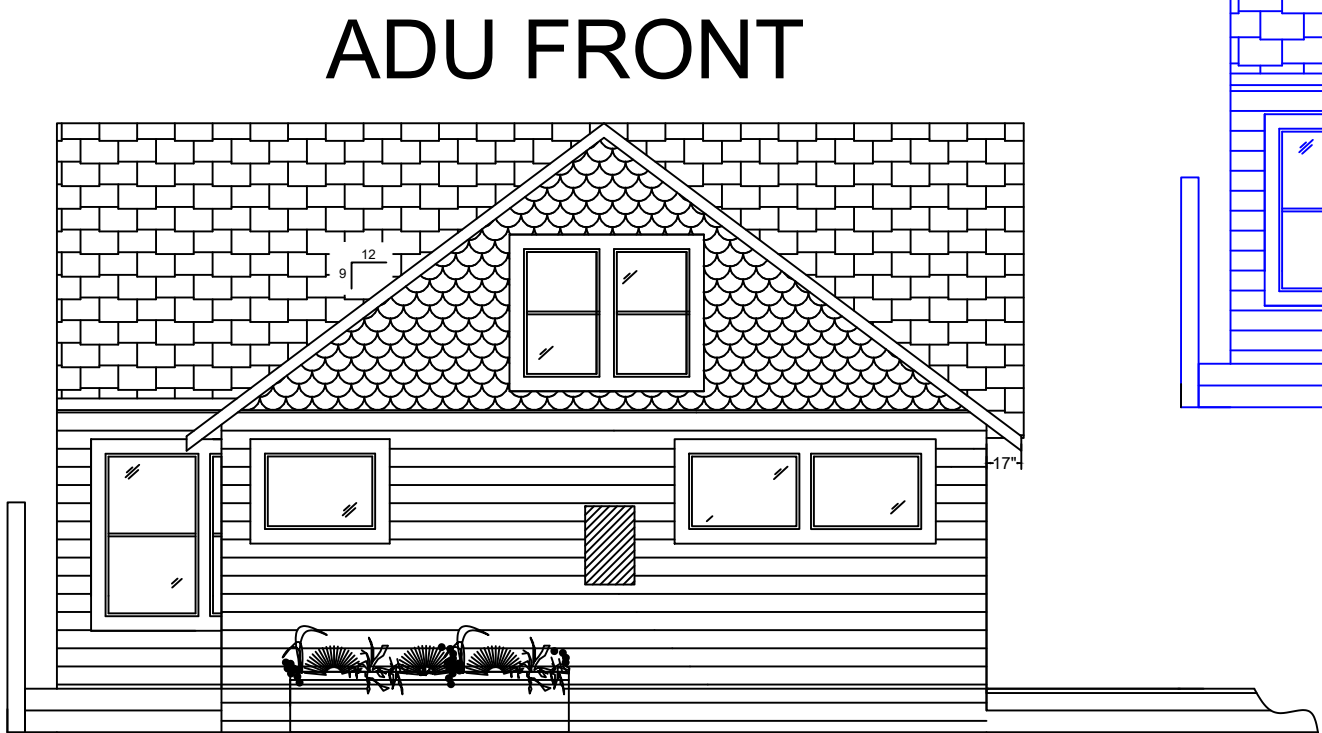


NORTH

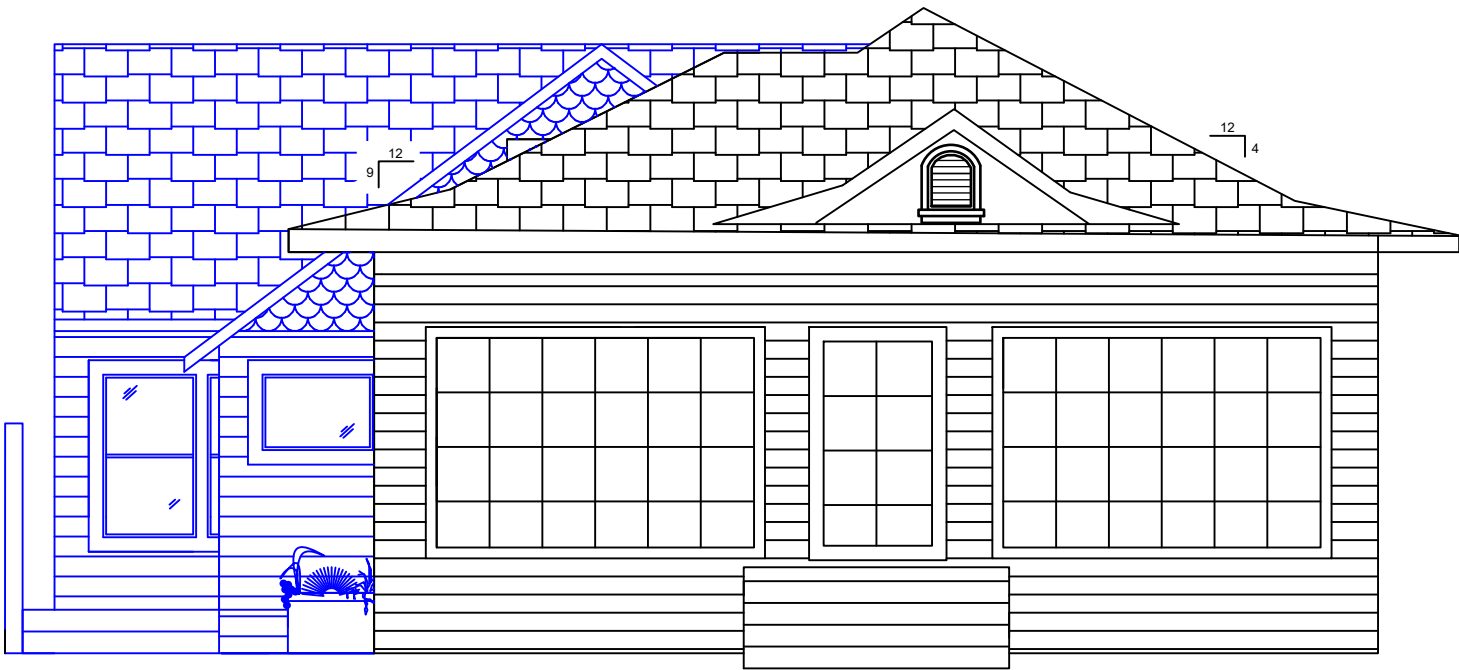


NORTH SITE PLAN 1

Elevation Drawings



ADU FRONT W/ EXISTING HOME



COVER SHEET

SCALE: as noted

DATE: 4/3/2022

JOB NUMBER: Number

SHEET:

A101

GENERAL INFORMATION

1. WORK PERFORMED SHALL COMPLY WITH THE CURRENT APPLICABLE CODES. SEE TABLE:
 - 1.1. THESE GENERAL NOTES UNLESS OTHERWISE NOTED ON PLANS OR SPECIFICATIONS
 - 1.2. STANDARD SPECIFICATIONS OF A.S.T.M.
 - 1.3. AMENDMENTS BY THE LOCAL JURISDICTION
2. ON SITE VERIFICATION OF ALL DIMENSIONS AND CONDITIONS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND SUB-CONTRACTORS. NOTES AND DIMENSIONS TAKES PRECEDENCE OVER SCALING OF THE DRAWING. EACH CONTRACTOR OR SUB-CONTRACTOR SHALL REPORT TO PROJECT OWNER AND DESIGNER ALL CONDITIONS WHICH PREVENT THE PROPER EXECUTION OF THEIR WORK.
3. TYPICAL DETAILS AND SPECIFICATIONS ARE MINIMUM REQUIREMENTS TO BE USED WHEN CONDITIONS ARE NOT OTHERWISE SHOWN.
4. SPECIFIC NOTES AND DETAILS ON DRAWINGS SHALL TAKE PRECEDENCE OVER GENERAL NOTES AND TYPICAL DETAILS. WHERE NO DETAILS ARE SHOWN CONSTRUCTION SHALL CONFORM TO SIMILAR WORK ON PROJECT.
5. APPROVAL BY THE INSPECTOR DOES NOT MEAN APPROVAL OR ALLOWABLE FAILURE TO COMPLY WITH THE PLANS AND SPECIFICATIONS. ANY DESIGN WHICH FAILS TO BE CLEAR OR IS AMBIGUOUS MUST BE REFERRED TO THE ENGINEER IN WRITING FOR INTERPRETATION OR CLARIFICATION.

SITE WORK

1. FINISH GRADE FROM ANY FOUNDATION FACE SHALL FALL NOT FEWER THAN 6 INCHES WITHIN THE FIRST 10 FEET. IMPERVIOUS SURFACES WITHIN 10 FEET OF THE BUILDING FOUNDATION SHALL BE SLOPED NOT LESS THAN 2% AWAY FROM THE BUILDING.
2. HOME OWNER / BUILDER HAS VERIFIED THE SUBJECT PROPERTY'S GRANT DEED AND TITLE REPORT AND HAVE FOUND NO EASEMENTS IN THE AREA OF CONSTRUCTION. I ACKNOWLEDGE THAT I AM RESPONSIBLE AND ACCOUNTABLE FOR NOT CONSTRUCTION IN THE EASEMENTS

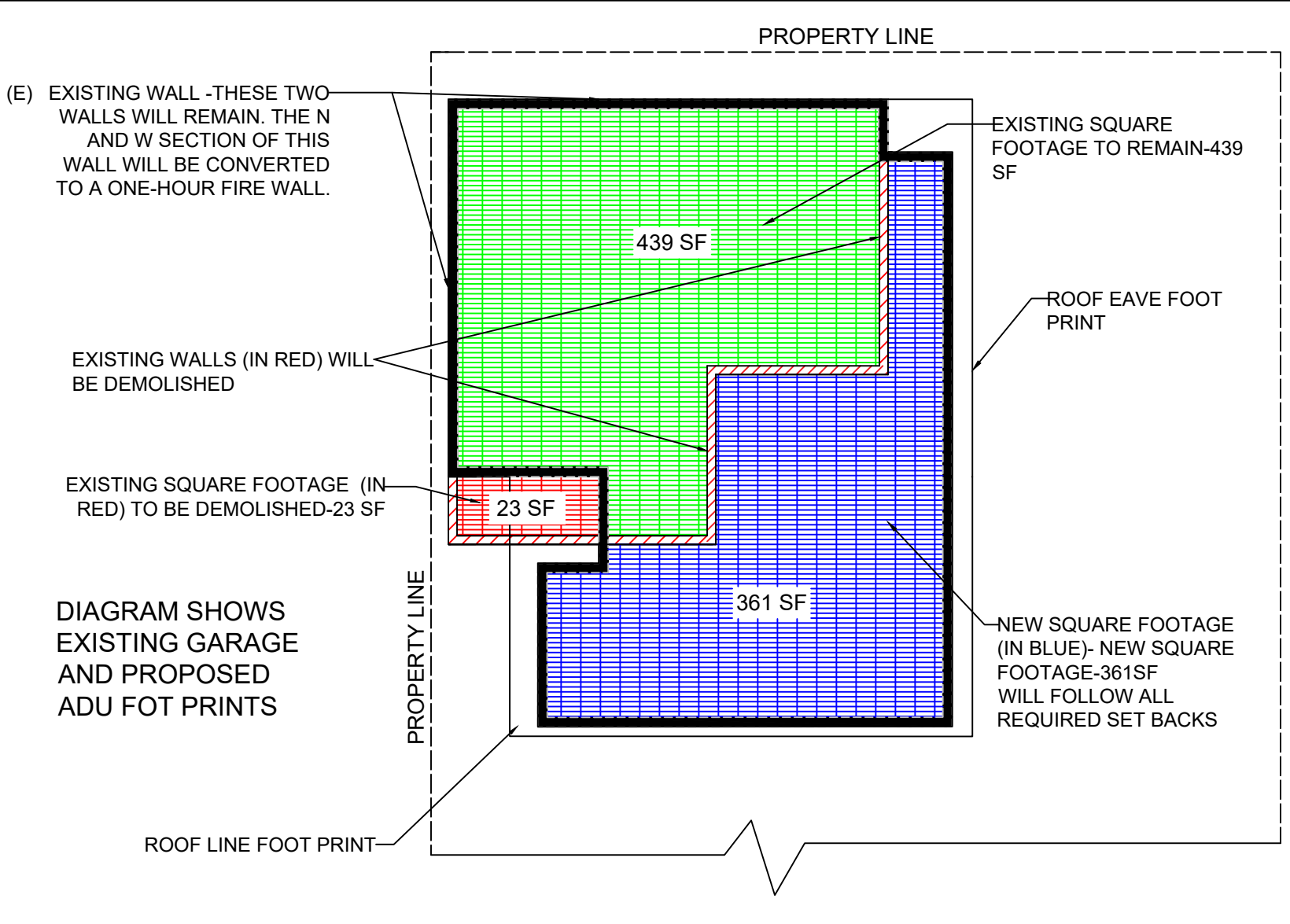
PROPERTY INFORMATION

ADDRESS 3325 E 4TH ST LONG BEACH, CA 90814
LOT AREA (SF) 4,725 SF
LOT # LONG BEACH HEIGHTS E 45 FT OF LOT 21 AND VAC ST ADJ ON S AND E 45 FT OF LOT 23 BLK 7
OCCUPANCY TYPE R-3
ZONING LBR3T
CONSTRUCTION TYPE V-B
FIRE SPRINKLERS NONE EXISTING IN MAIN
(E) MAIN DWELL, 1-STORY 1084 SF
(N) ADU, 1-STORIES 800 SF
LOT COVERAGE 31.4%

STRUCTURAL ENGINEERING

1. USE PRESSURE TREATED DOUGLAS FIR NO. 2 OR BETTER FOR DIMENSIONAL LUMBER
2. ALL NEW CONCRETE SHALL HAVE MIN F'c = 2,500 PSI
3. NO DEVIATIONS FROM STRUCTURAL DETAILS SHALL BE MADE WITHOUT THE WRITTEN APPROVAL OF THE STRUCTURAL DESIGN ENGINEER. APPROVAL BY CITY INSPECTOR DOES NOT CONSTITUTE AUTHORITY TO DEVIATE FROM PLANS OR SPECIFICATIONS.
4. STRUCTURAL DESIGN DOES NOT CONSIDER EFFECTS OF MECHANICAL EQUIPMENT.
5. THE DESIGN ADEQUACY AND SAFETY OF ERECTION BRACING, SHORING, TEMPORARY SUPPORTS, ETC. IS SOLE RESPONSIBILITY OF THE CONTRACTOR AND HAS NOT BEEN CONSIDERED BY THE ENGINEER. THE CONTRACTOR IS RESPONSIBLE FOR THE STABILITY OF THE STRUCTURE PRIOR TO THE APPLICATION OF ALL SHEAR WALLS, ROOF AND FLOOR DIAPHRAGMS AND FINISH MATERIALS.

NEW / EXISTING SQUARE FOOTAGE DIAGRAM



SCOPE OF WORK: CONVERT EXISTING GARAGE AND ADD NEW SQUARE FOOTAGE TO MAKE AN 800 SF ADU. THE CURRENT GARAGE IS 462 SF. 23 EXISTING SQUARE FEET WILL BE DEMOLISHED, 361 NEW SQUARE FEET WILL BE ADDED FOR A TOTAL OF 800 SF.

(E) EXISTING WALL -THESE TWO WALLS WILL REMAIN. THE N AND W SECTION OF THIS WALL WILL BE CONVERTED TO A ONE-HOUR FIRE WALL. DETAIL ON S104

OUTDOOR DECK-BELOW 30" IN HEIGHT AND NO MORE THAN 1" BELOW EXTERIOR DOOR. DECK TO BE 82 SF

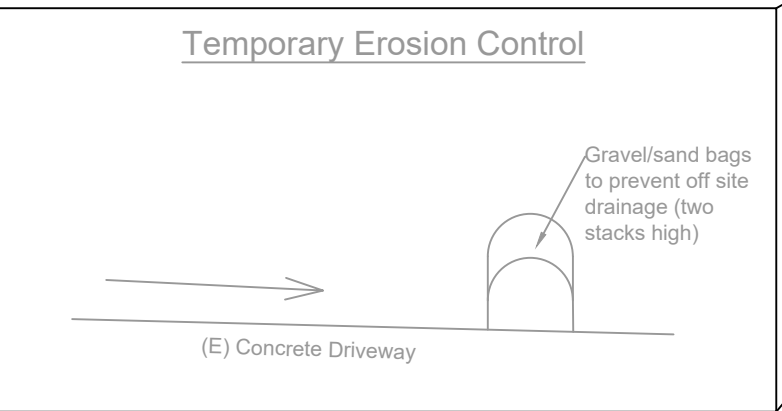
(N) PER LONG BEACH MUNICIPAL CODE SECTION 21.51.276.D.3.D NEW 18" DEEP LANDSCAPE AREA ABUTTING DRIVE WAY

(T) PORTABLE TOILET WITH SECONDARY CONTAINMENT

EXTEND EXISTING MAIN WATER LINE UNDERGROUND TO SERVICE ADU

(T) CLOSED / COVERED TRASH RECEPTACLE

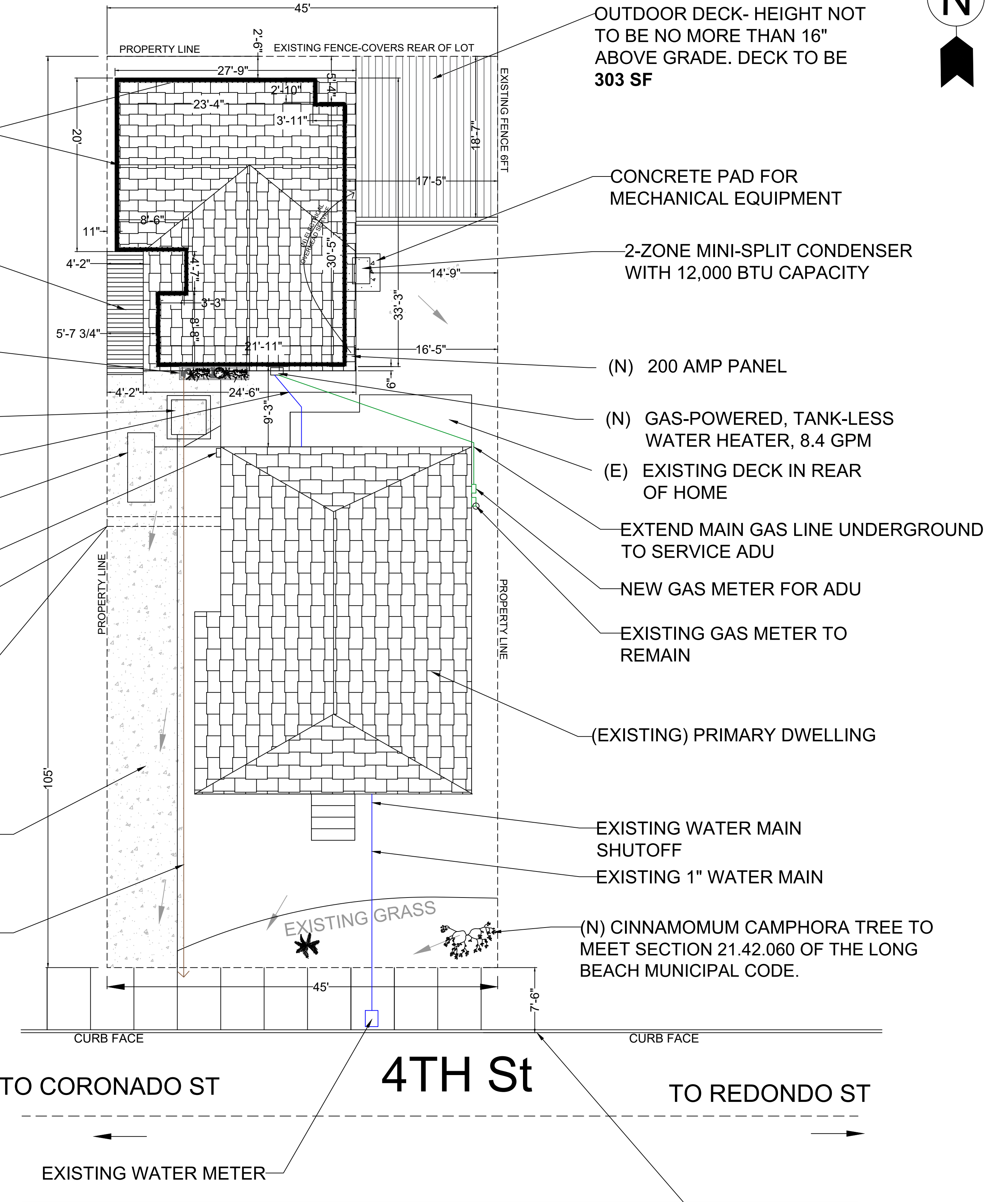
EXISTING 100-AMP PANEL NOT TO BE CONNECTED TO ADU



(E) CONCRETE DRIVEWAY

(N) 4" SEWER LINE TO CONNECT WITH CITY MAIN IN STREET

EXISTING LOT IS RELATIVELY FLAT WITH GENTLE SLOPE TOWARDS STREET IN FRONT AND ALLEY IN REAR. NO MAJOR RE-GRADING WILL BE REQUIRED WHERE EXISTING CONCRETE SURFACE EXISTS. ENSURE GENTLE SLOPE (2% GRADE) AWAY FROM CONCRETE FOUNDATIONS WHEREVER EXTERIOR CONCRETE SLAB IS CUT/REPLACED



General Notes



Jeffrey Schaefer, P.E.
(562) 850-1223
License Number - C91734
Expiration Date - Dec 31, 2022

3325 E 4th St.
Long Beach, CA 90814

No.	Revision/Issue	Date

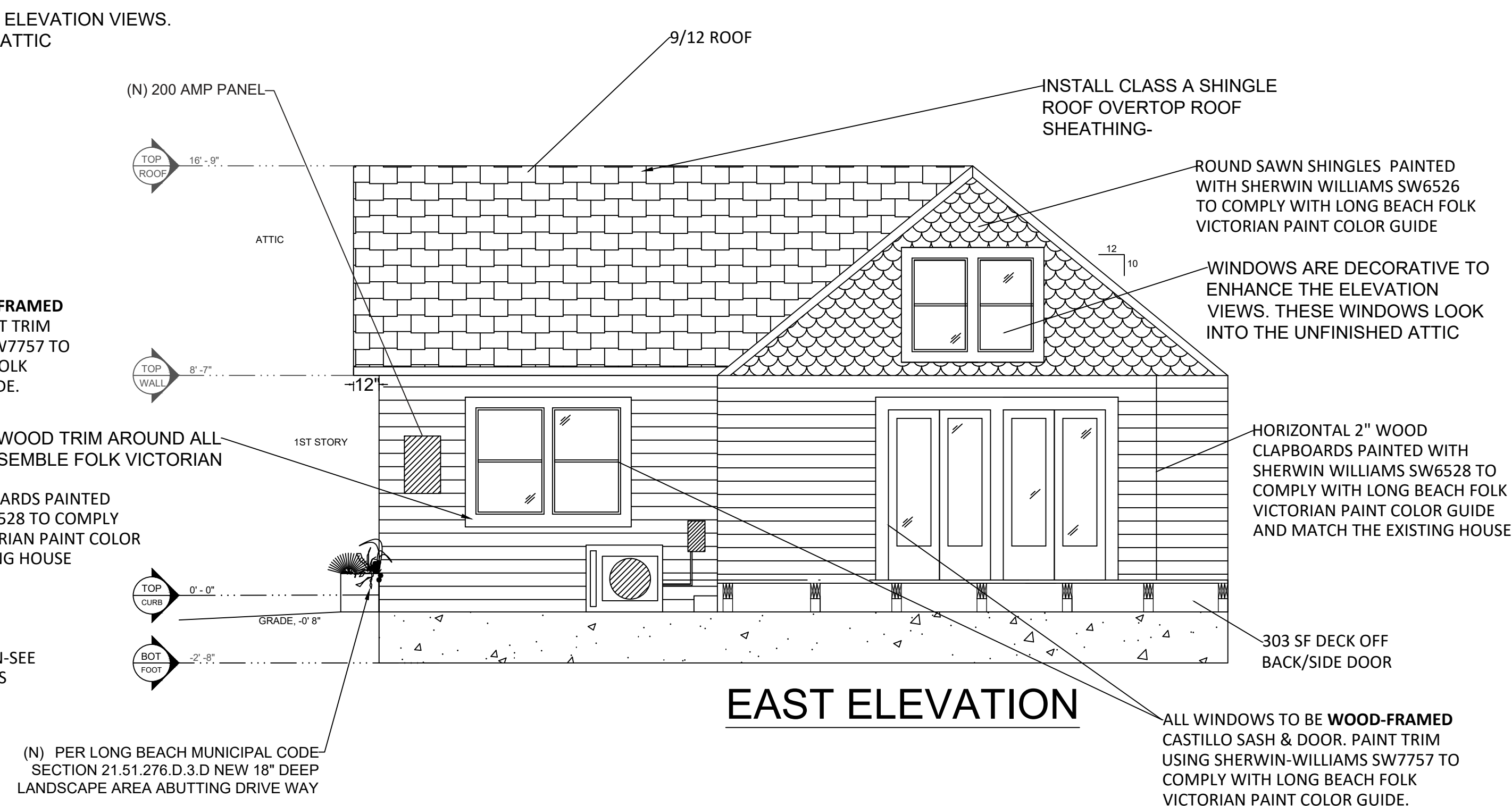
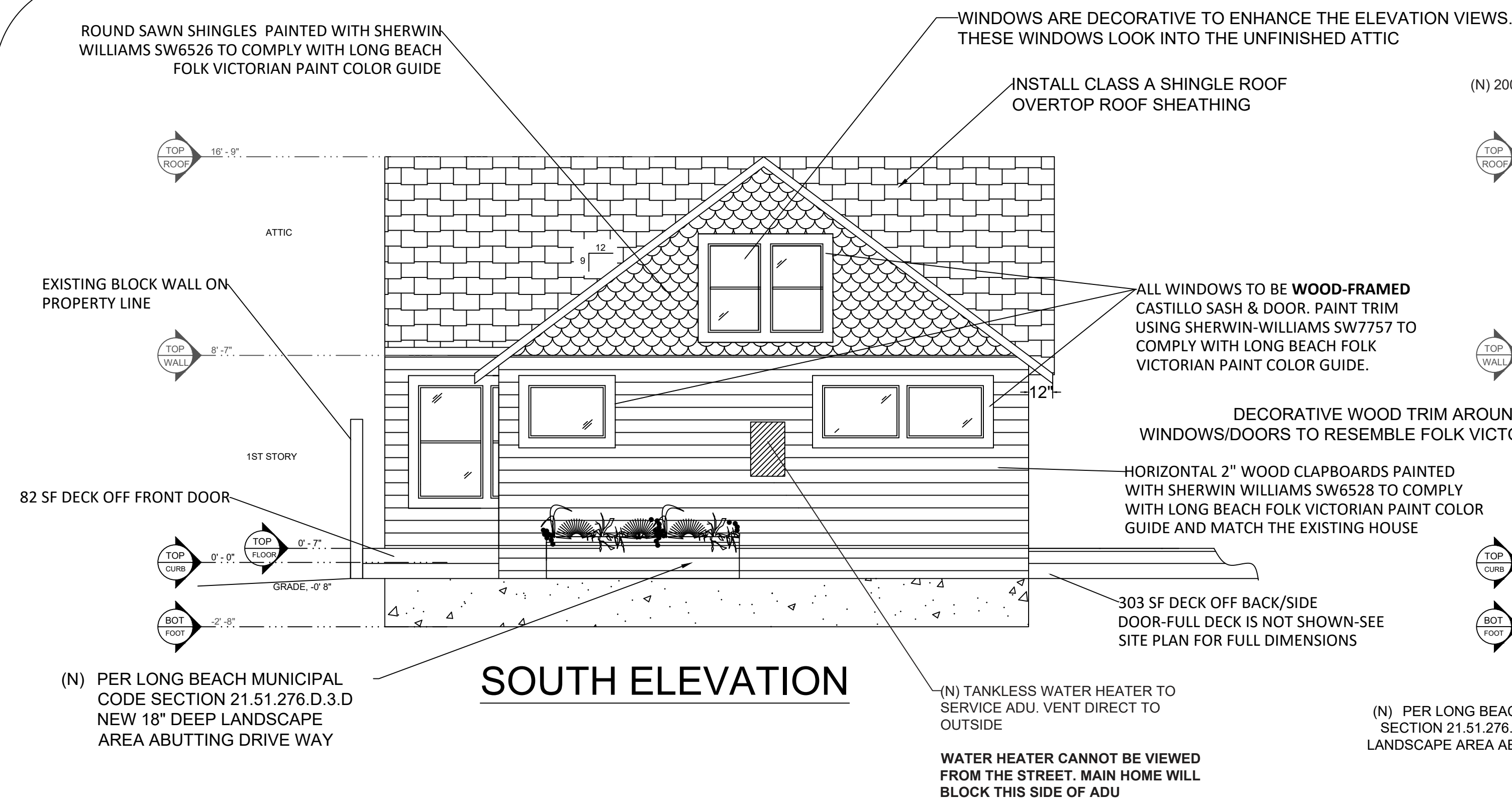
Sheet Name

PLOT PLAN/
SITE PLAN

Project Name and Address

GARAGE CONVERSION
TO ADU
3325 E 4TH ST
LONG BEACH

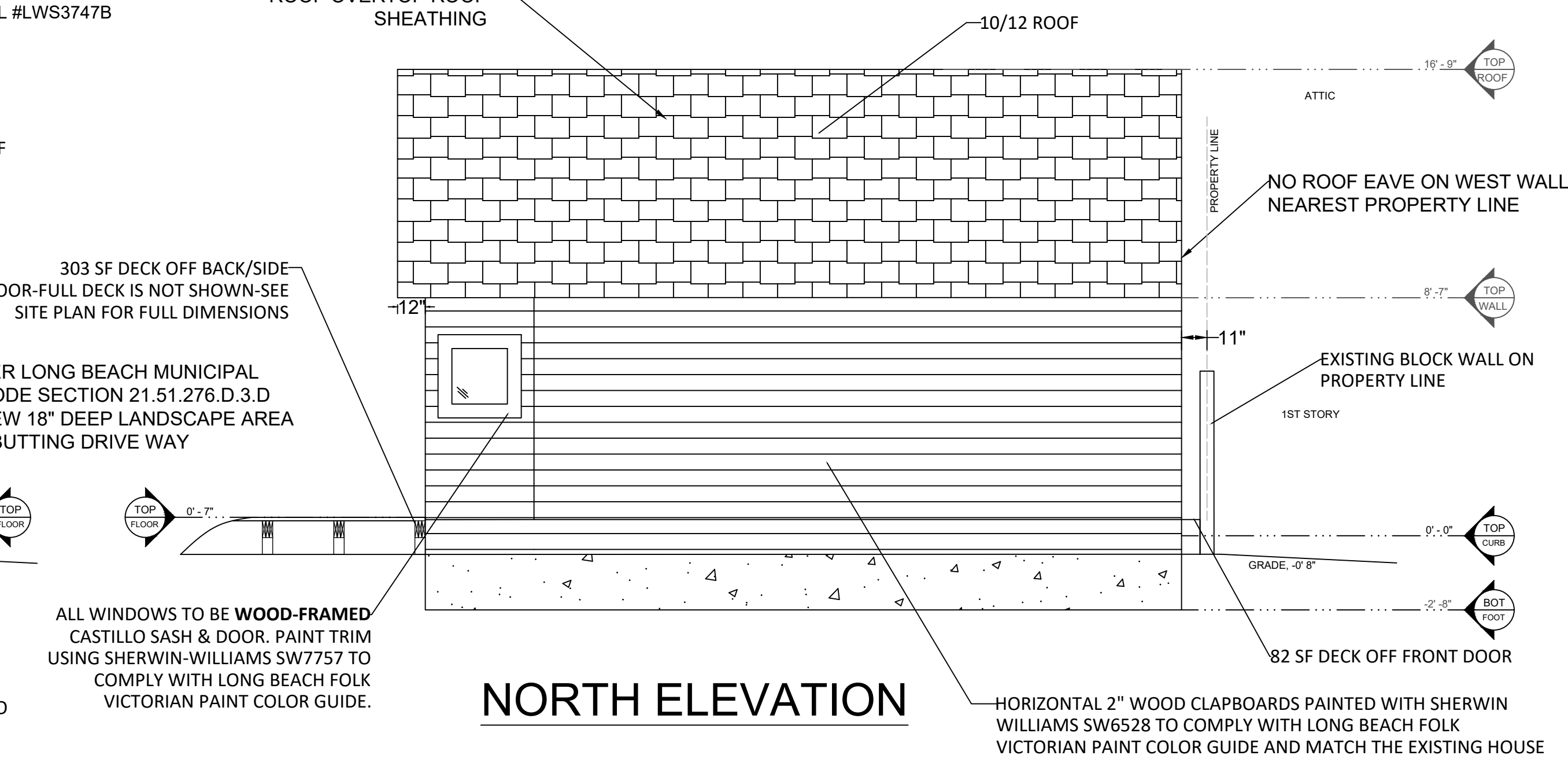
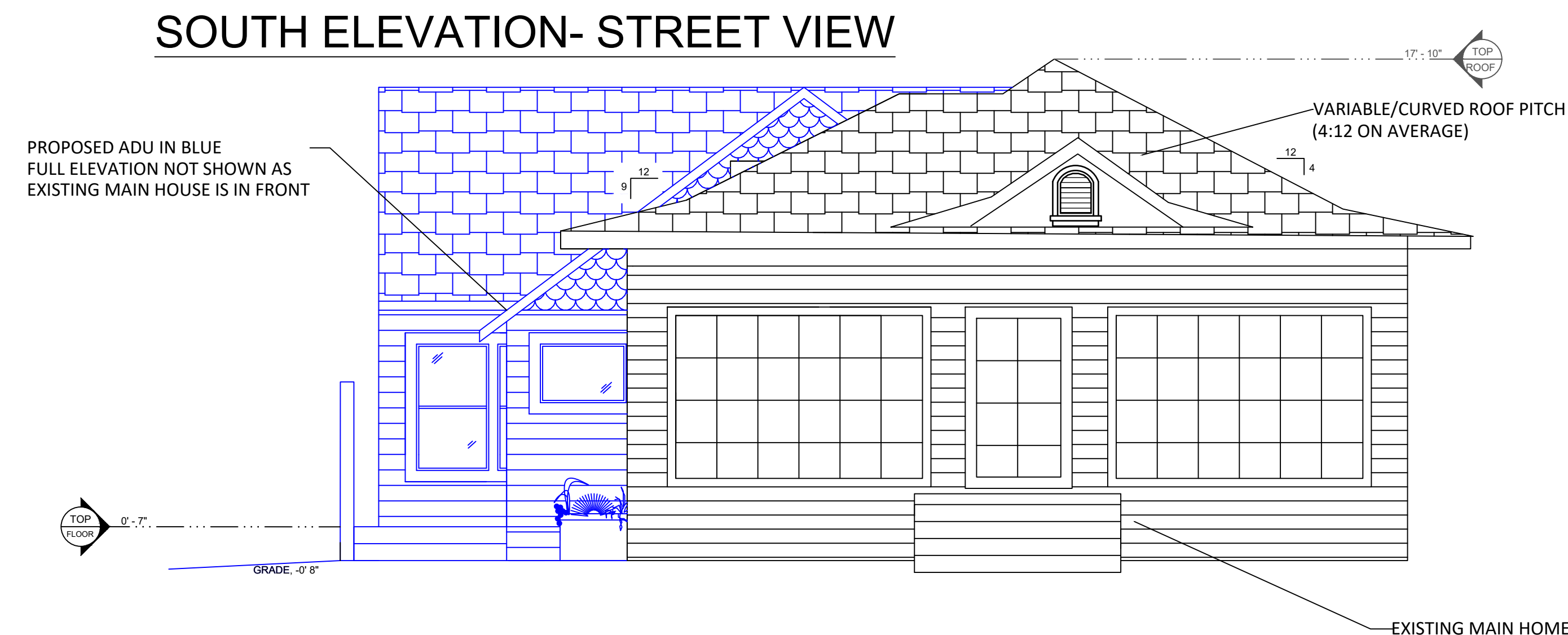
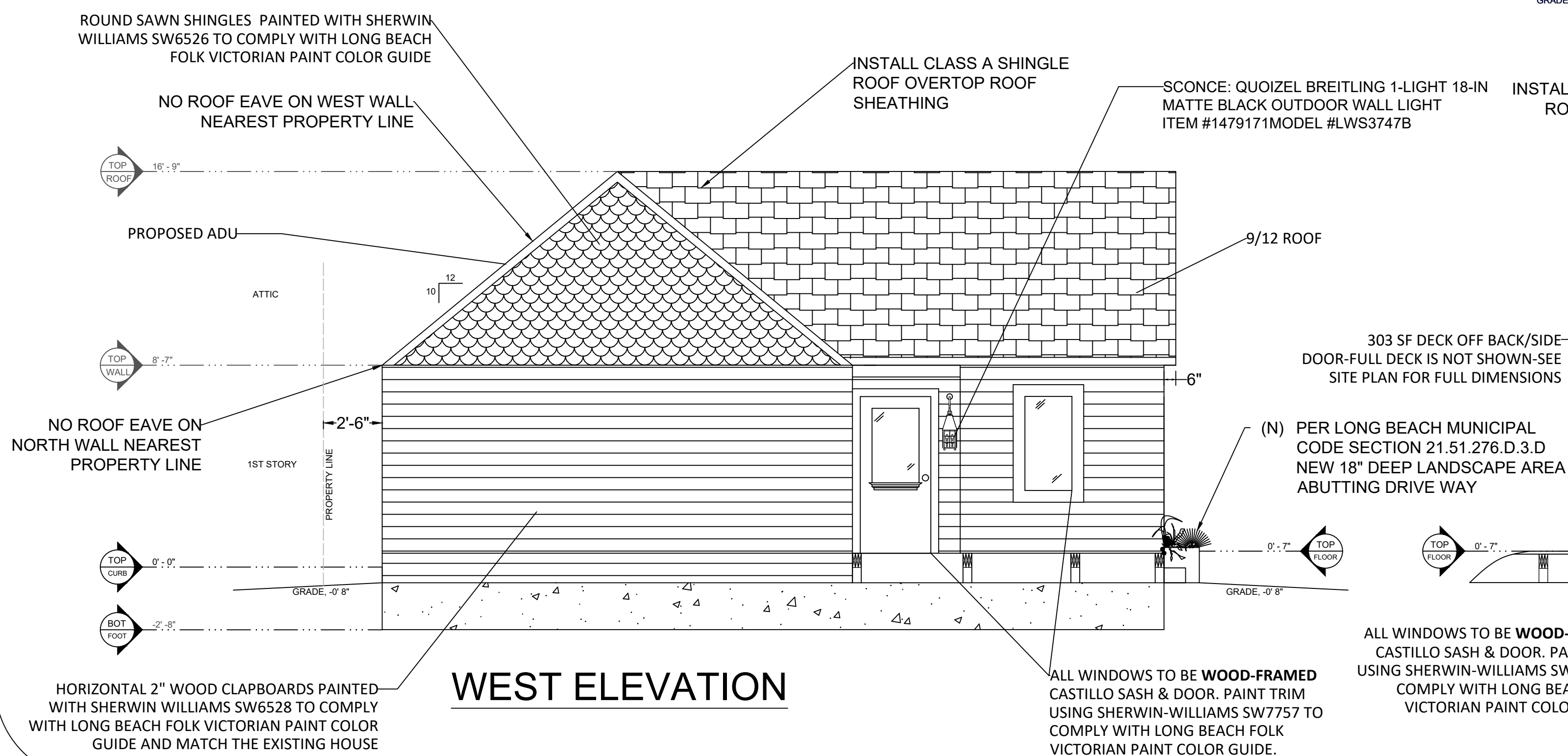
Project	21-1036	Sheet
Date	4/14/2021	A104
Scale	1/2" = 1'0"	



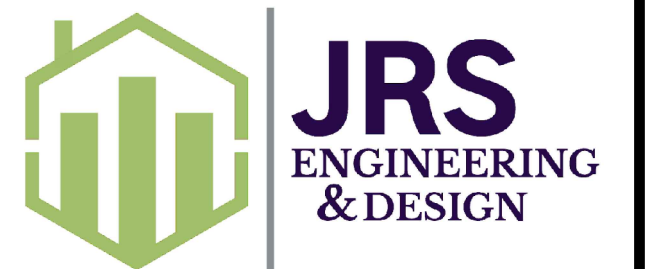
PAINT COLORS TO MEET HISTORICAL GUIDELINES FOR FOLK VICTORIAN



DOOR COLOR	CLAPBOARD COLOR	SHINGLE COLOR	TRIM COLOR



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Sheet Name

ELEVATION DRAWINGS

Project Name and Address
GARAGE CONVERSION TO ADU
3325 E 4TH ST
LONG BEACH

Project	21-1036	Sheet	A106
Date	4/3/2022		
Scale	1/2" = 1'0"		

FLOOR NOTES

- 1

BATHTUB AND SHOWER FLOORS, WALLS ABOVE BATHTUBS WITH A SHOWERHEAD, AND SHOWER COMPARTMENTS SHALL BE FINISHED WITH A NONABSORBENT SURFACE EXTENDING TO A HEIGHT OF NOT LESS THAN 6 FT. ABOVE THE FLOOR. (R307.2)
- 2

TEMPERED GLAZING SHALL BE PROVIDED AT HAZARDOUS LOCATIONS AS IDENTIFIED IN CRC R308.4. HAZARDOUS LOCATIONS INCLUDE, BUT ARE NOT LIMITED TO:
-GLAZING WITHIN A 24" ARC OF A DOOR EDGE
-GLAZING NEAR WET SURFACES (BATHTUBS, SHOWERS, ETC.) WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60" MEASURED VERTICALLY ABOVE ANY STANDING OR WALKING SURFACE AND IS LESS THAN 60" MEASURED HORIZONTALLY IN A STRAIGHT LINE FROM THE WATER'S EDGE OF A BATHTUB OR FROM THE EDGE OF A SHOWER
- 3

22-IN. X 30-IN. ATTIC ACCESS WITH 30-IN. MINIMUM HEADROOM FOR ATTIC GREATER THAN 30 SF. (R807.1)
- 4

MINIMUM 100 CFM KITCHEN HOOD EXHAUST TO EXTERIOR WITH METAL DUCT WORK. A CEILING OR WALL EXHAUST MAY BE USED THAT PROVIDES 5 AIR CHANGES PER HOUR
- 5

BUILT IN CABNETRY

WINDOW SCHEDULE

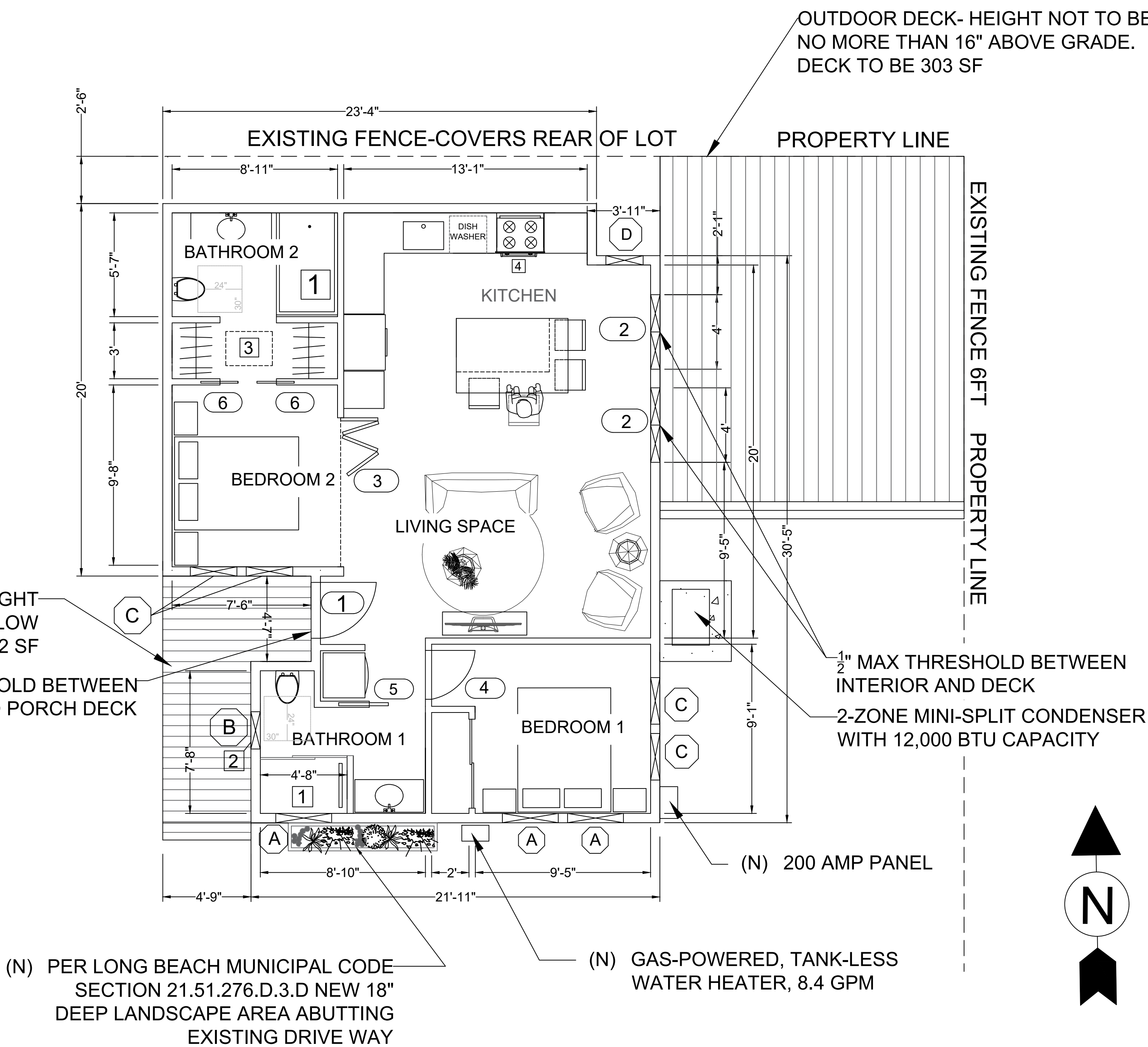
SYMBOL	WIDTH	HEIGHT	SILL HEIGHT	QTY	TYPE	MATERIAL	U-FACTOR	SHGC	MANUFACTURER
A	36"	24"	56"	3	DOUBLE HUNG	TEMPERED GLASS	0.30 MAX	0.23 MAX	CASTILLO SASH & DOOR
B	24"	48"	32"	1	FIXED	TEMPERED GLASS	0.30 MAX	0.23 MAX	CASTILLO SASH & DOOR
C	30"	48"	36"	4	DOUBLE HUNG	TEMPERED GLASS	0.30 MAX	0.23 MAX	CASTILLO SASH & DOOR
D	24"	24"	56"	1	FIXED	TEMPERED GLASS	0.30 MAX	0.23 MAX	CASTILLO SASH & DOOR
E	42"	24"	16"	4 ⁴	DOUBLE HUNG	TEMPERED GLASS	0.30 MAX	0.23 MAX	CASTILLO SASH & DOOR

1. ALL DOORS AND WINDOWS TO BE APPROVED BY OWNER PRIOR TO INSTALLATION
2. EGRESS WINDOWS FROM SLEEPING ROOM SHALL HAVE A NET CLEAR OPENING OF 5.7 SF WITH A MINIMUM CLEAR WIDTH OF 20" AND CLEAR HEIGHT OF 24". FINISHED SILL HEIGHT SHALL NOT BE MORE THAN 44" ABOVE FINISHED FLOOR
3. ALL EXTERIOR DOORS ARE TO BE MADE **WOOD-FRAMED** IN ACCORDANCE WITH ROSE PARK SOUTH HISTORIC REQS.
4. WINDOWS ARE DECORATIVE TO ENHANCE THE ELEVATION VIEWS. THESE WINDOWS LOOK IN TO THE UNFINISHED ATTIC

DOOR SCHEDULE

SYMBOL	WIDTH	HEIGHT	QTY	TYPE	MATERIAL	U-FACTOR	SHGC	MANUFACTURER
1	36"	80"	1	STD	SOLIDCORE	0.2	N/A	CASTILLO SASH & DOOR
2	60"	80"	2	FRENCH	GLASS	0.30 MAX	0.23 MAX	CASTILLO SASH & DOOR
3	96"	96"	1	ACCORDIAN	GLASS	N/A	N/A	DISTINCTIVE DOORS
4	32"	80"	1	STD	SOLIDCORE	N/A	N/A	JELD-WEN OR SIMILAR
5	32"	80"	1	POCKET	SOLIDCORE	N/A	N/A	JELD-WEN OR SIMILAR
6	33"	80"	1	POCKET	SOLIDCORE	N/A	N/A	JELD-WEN OR SIMILAR

1. ALL DOORS AND WINDOWS TO BE APPROVED BY OWNER PRIOR TO INSTALLATION
2. ALL GLAZING WITHIN A DOOR AND WITHIN 24" OF A DOOR SHALL BE TEMPERED AND LABELED AS SUCH
3. ALL EXTERIOR DOORS ARE TO BE MADE **WOOD-FRAMED** IN ACCORDANCE WITH ROSE PARK SOUTH HISTORIC REQS.
4. DOORS 1 AND 2 ARE EXTERIOR



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No.	Revision/Issue	Date
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Sheet Name

FLOOR PLAN

Project Name and Address
GARAGE CONVERSION TO ADU
3325 E 4TH ST
LONG BEACH

Project	21-1036	Sheet	A107
Date	4/4/2022		
Scale	1/2" = 1'0"		