

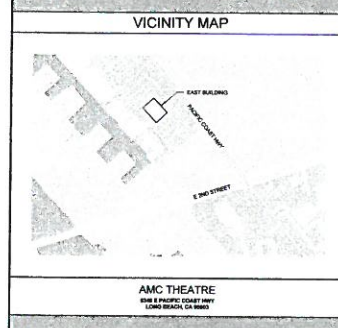
AMC MARINA PACIFICA EAST BUILDING RESEATING REMODEL 6346 E PACIFIC COAST HWY LONG BEACH, CA 90803

BID/PERMIT SET ISSUED MARCH 16, 2016

AMC MARINA PACIFICA EAST BUILDING 6346 E PACIFIC COAST HWY LONG BEACH, CA 90803 PROJECT NUMBER: 20160101

CHECKED BY: [Signature] DATE: [Date] PROJECT: [Project Name]

COVER SHEET C0011



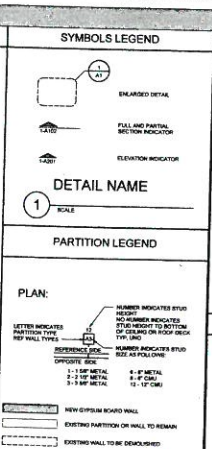
PROJECT DIRECTORY table with columns: OWNER, FOOD SERVICES, ARCHITECTURAL, WAYFINDING, STRUCTURAL, AUTHORITY HAVING JURISDICTION, MEP.

DRAWING INDEX table with columns: GENERAL, ARCHITECTURAL, ELECTRICAL, MECHANICAL, PLUMBING, FINISHES.

ABBREVIATION LEGEND table listing various construction abbreviations and their corresponding symbols.

SITE VERIFICATION REQUIREMENTS table detailing the contractor's obligations for site verification and demotion.

GENERAL NOTES table providing detailed instructions and specifications for the construction project.



SEATING SUMMARY table showing the distribution of seating for males and females across different areas.

CODE INFORMATION table listing project references, codes, and standards.

FIXTURE CALCULATIONS table detailing the requirements for various fixtures like toilets and lavatories.

FIXTURE REQUIREMENTS table listing the specific requirements for different fixture types.

Demotion and Construction Details Table (continued from previous page).

Demotion and Construction Details Table (continued from previous page).

Demotion and Construction Details Table (continued from previous page).

Demotion and Construction Details Table (continued from previous page).

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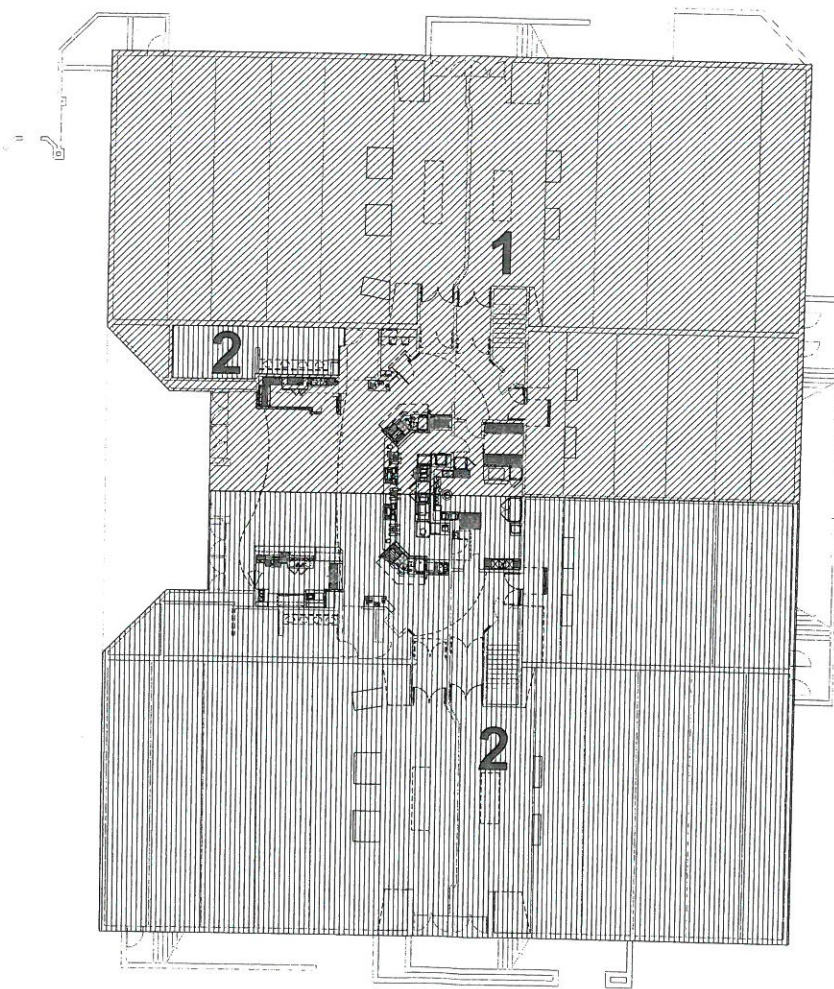
Demotion and Construction Details Table (continued from previous page).

Demotion and Construction Details Table (continued from previous page).



1 CONSTRUCTION PHASING PLAN

1st FLOOR



SHEET NOTES		EGRESS LOADS	
1. COMMON AREAS CAN BE ISOLATED FROM THEATRE PHASING AS OUTLINED BY THE CONSTRUCTION SCHEDULE, BUT MUST BE FINISHED BY SUBSTANTIAL COMPLETION DATE.		PHASE 1:	
2. THE REQUIRED NUMBER OF EGRESS & REQUIRED EGRESS WIDTHS SHALL BE MAINTAINED THROUGHOUT ALL PHASES OF CONSTRUCTION.		TOTAL OCCUPANTS: 886 EXISTING AND 8 4/8 (8) FROM AHEAD & 88 (COMMON AREAS) 790 OCCUPANTS	
3. THE REQUIRED NUMBER OF PLUMBING FIXTURES SHALL BE MAINTAINED THROUGHOUT ALL PHASES OF CONSTRUCTION.		756 OCCUPANTS & 2 187 REQUIRED 176 PROVIDED	
4. TEMPORARY BARRIERS SHALL BE PROVIDED AROUND ALL PORTIONS OF THE WORK TO PREVENT PUBLIC ENTRY.		PHASE 2:	
		TOTAL OCCUPANTS: 188 EXISTING AND 8 4/8 (8) FROM AHEAD & 28 (COMMON AREAS) 196 OCCUPANTS	
		188 OCCUPANTS & 2 38 REQUIRED 176 PROVIDED	
PHASING LEGEND		FIXTURE COUNT	
PHASE 1 PHASE 2		PHASE 1:	
		TOTAL OCCUPANTS: 846 EXISTING AND 8 4/8 (8) FROM AHEAD & 28 (COMMON AREAS) 874 OCCUPANTS	
		847 OCCUPANTS & 2 204 MALE / 204 FEMALE	
		MALE: 204 / 122 +13 TOILETS (140) MAX 204 / 204 +13 TOILETS (140) MAX 204 / 0% +13 TOILETS (140) MAX	
		204 / 204 +12 LAVATORIES REQUIRED	
		FEMALE: 204 / 181 +12 TOILETS REQUIRED	
		204 / 204 +12 LAVATORIES REQUIRED	
		PHASE 2:	
		TOTAL OCCUPANTS: 188 EXISTING AND 8 4/8 (8) FROM AHEAD & 28 (COMMON AREAS) 196 OCCUPANTS	
		188 OCCUPANTS & 2 84 MALE / 84 FEMALE	
		MALE: 84 / 42 +11 TOILETS REQUIRED 84 / 84 +11 TOILETS (97) MAX 84 / 0% +11 LAVATORIES REQUIRED	
		FEMALE: 84 / 88 +12 TOILETS REQUIRED	
		84 / 204 +11 LAVATORIES REQUIRED	

PHASING NOTES

1. EXISTING FLOORING, FINISHES AND FIXTURES SHALL BE MAINTAINED AND ALL AREAS SHALL BE SAFELY DEMOLISHED TO EXPOSE ALL UNDERLYING STRUCTURE AND TEMPORARY FLOORING SHALL BE INSTALLED AS REQUIRED PER CODE.
2. CONSTRUCTION BARRIERS SHALL BE CONSTRUCTED IN PHASE 1 AND PHASE 2.
3. REFER TO THE FLOORING PROVIDE REQUIRED FIXTURES AS REQUIRED.

**B|R|R**  
ARCHITECTURE

---

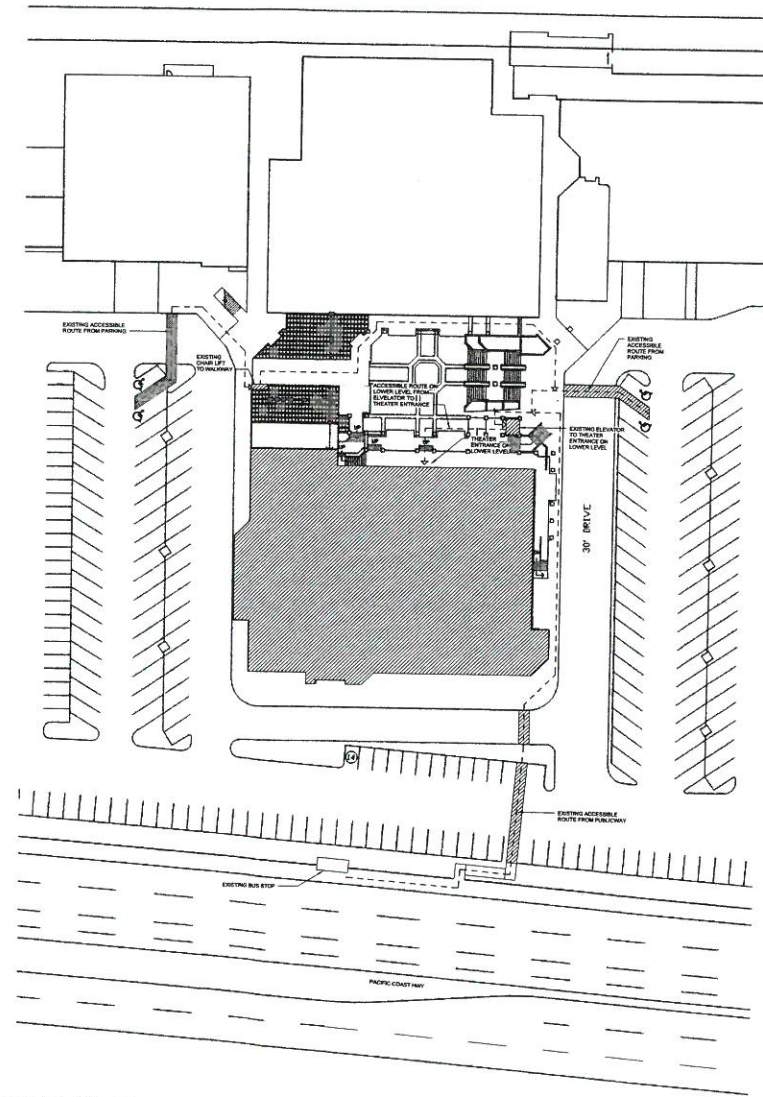
**AMC MARINA PACIFICA  
EAST BUILDING**  
3345 S PACIFIC COAST HWY LONG BEACH, CA 90805  
PROJECT NUMBER: 220202E

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DRAWN BY:           
SCALE:           
DATE:         

CONSTRUCTION PHASING PLAN

Sheet No. G002



1 SITE PLAN  
1"=40'-0"



COORDINATE WITH LANDSCAPE ARCHITECTURE FOR LIGHTING AND IRRIGATION EQUIPMENT

EXISTING ACCESSIBLE ROUTE TO BE MAINTAINED FROM PRIMARY ENTRANCE TO PUBLIC WAY

**SHEET INTENDED FOR INFORMATION ONLY**  
THIS SHEET IS PROVIDED FOR ADDITIONAL INFORMATION ON THE ASSUMED EXISTING CONDITIONS AT THE PROPOSED SITE. THE ARCHITECT OF RECORD HAS NOT MADE INSPECTIONS TO THE SITE OR NEIGHBORHOOD TO VERIFY THE AREA OF PROPOSED WORK AND CANNOT BE HELD RESPONSIBLE FOR THE ACCURACY OF THE CONDITIONS ILLUSTRATED.

**B | I | R**  
ARCHITECTS

**AMC MARINA PACIFICA EAST BUILDING**  
4348 E PACIFIC COAST HWY LONG BEACH, CA 90803  
PROJECT NUMBER: 2008018

DATE	BY	REVISION

CHECKED BY:	
DESIGNED BY:	
DATE:	
SCALE:	
PROJECT:	
CLIENT:	

FOR INFORMATION ONLY

SITE PLAN

Sheet No. **G003**

**SHEET LEGEND**

- ① REPRESENTS THE NUMBER OF OCCUPANTS
- R + S REPRESENTS REQUIRED EGRESS UNITS
- P + S REPRESENTS PROVIDED EGRESS UNITS

**EGRESS REQUIREMENTS**

OCCUPANCY LOAD = (SQUARE FOOTAGE) / (OCCUPANCY LOAD FACTOR)  
 REQUIRED EGRESS WIDTH = (OCCUPANCY LOAD) x (EGRESS WIDTH FACTOR)

OCCUPANCY	ROOM NAME	ROOM NUMBER	AREA (SQ. FT.)	OCCUPANCY LOAD FACTOR	OCCUPANCY LOAD	EGRESS WIDTH		PROVIDED	WIDTH
						REQUIRED	WIDTH		
AUDITORIUM	AUDITORIUM 1	401	3,300 SF	8	413	6.3	21		
AUDITORIUM	AUDITORIUM 2	402	3,334 SF	8	417	6.3	20		
AUDITORIUM	AUDITORIUM 3	403	1,861 SF	8	233	6.3	17		
AUDITORIUM	AUDITORIUM 4	404	1,861 SF	8	233	6.3	17		
AUDITORIUM	AUDITORIUM 5	405	1,124 SF	8	141	6.3	10		
AUDITORIUM	AUDITORIUM 6	406	3,300 SF	8	413	6.3	21		
Total									
						214			

MEZZANINE	ROOM NAME	ROOM NUMBER	AREA (SQ. FT.)	OCCUPANCY LOAD FACTOR	OCCUPANCY LOAD	REQUIRED EGRESS WIDTH	PROVIDED EGRESS WIDTH		
MEZZANINE	MEZZANINE	001	184 SF	8	23	6.3	1		
MEZZANINE	LOBBY	102	22 SF	8	3	6.3	1		
MEZZANINE	CONCESSION	104	289 SF	8	36	6.3	1		
MEZZANINE	CONCESSION SUPPORT	105	475 SF	8	60	6.3	1		
MEZZANINE	MEZZANINE	106	30 SF	8	4	6.3	1		
MEZZANINE	CONCESSION QUELING	107	82 SF	8	10	6.3	1		
MEZZANINE	MACQUFFINS QUELING	108	144 SF	8	18	6.3	1		
MEZZANINE	MEZZANINE	109	111 SF	8	14	6.3	1		
MEZZANINE	STORAGE	201	12 SF	8	2	6.3	1		
MEZZANINE	STORAGE	202	12 SF	8	2	6.3	1		
MEZZANINE	CONFERENCE	203	271 SF	8	34	6.3	1		
MEZZANINE	MEZZANINE	204	87 SF	8	11	6.3	1		
MEZZANINE	PROJECTION	205	82 SF	8	10	6.3	1		
MEZZANINE	STORAGE	207	12 SF	8	2	6.3	1		
MEZZANINE	SUPPORT	208	124 SF	8	16	6.3	1		
MEZZANINE	ELECTRICAL	209	89 SF	8	11	6.3	1		
MEZZANINE	PROJECTION	210	97 SF	8	12	6.3	1		
MEZZANINE	MEZZANINE	211	111 SF	8	14	6.3	1		
						214			



CONTRACT NO.

**AMC MARINA PACIFICA EAST BUILDING**  
 1500 E PACIFIC COAST HWY LONG BEACH, CALIF 90802  
 PROJECT NUMBER: 220010

REVISION BLOCK

NO.	DESCRIPTION	DATE

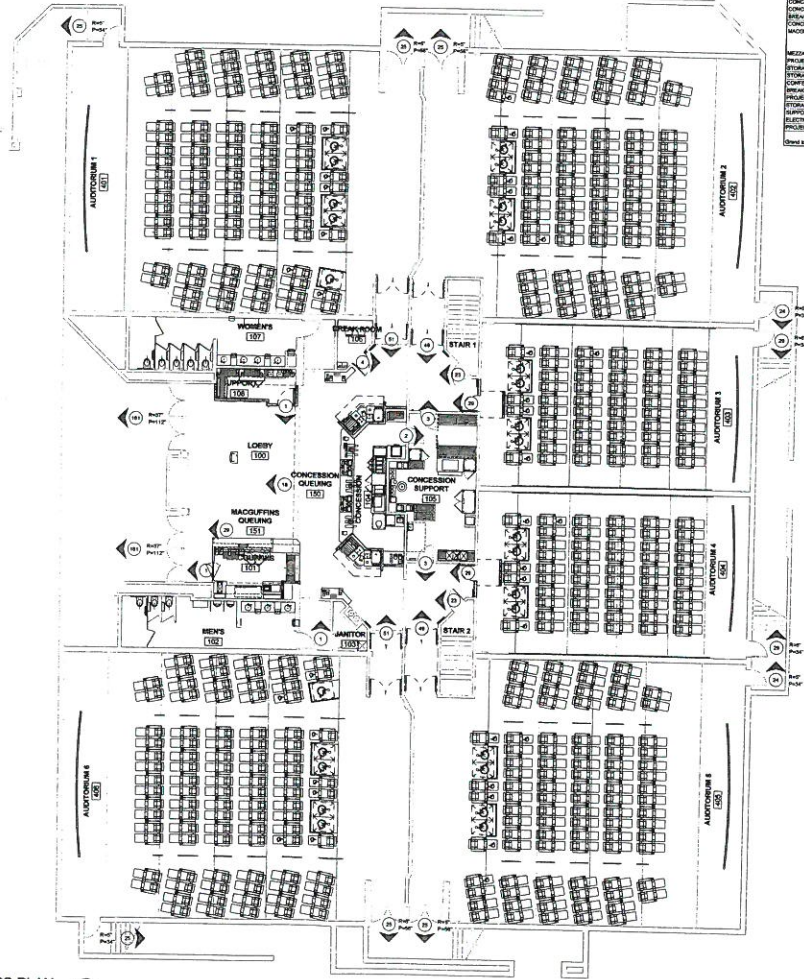
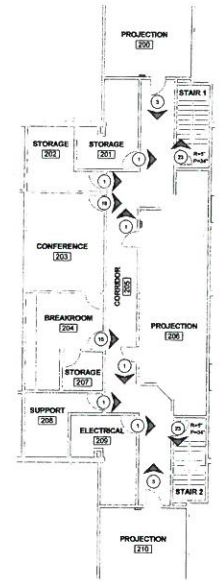
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 CHECKED BY: JAU  
 DATE: 06/18/2022  
 PROJECT: 220010

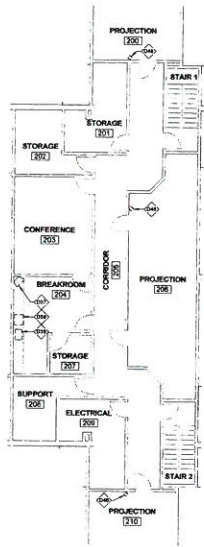
EGRESS PLAN

Sheet No. **N001**

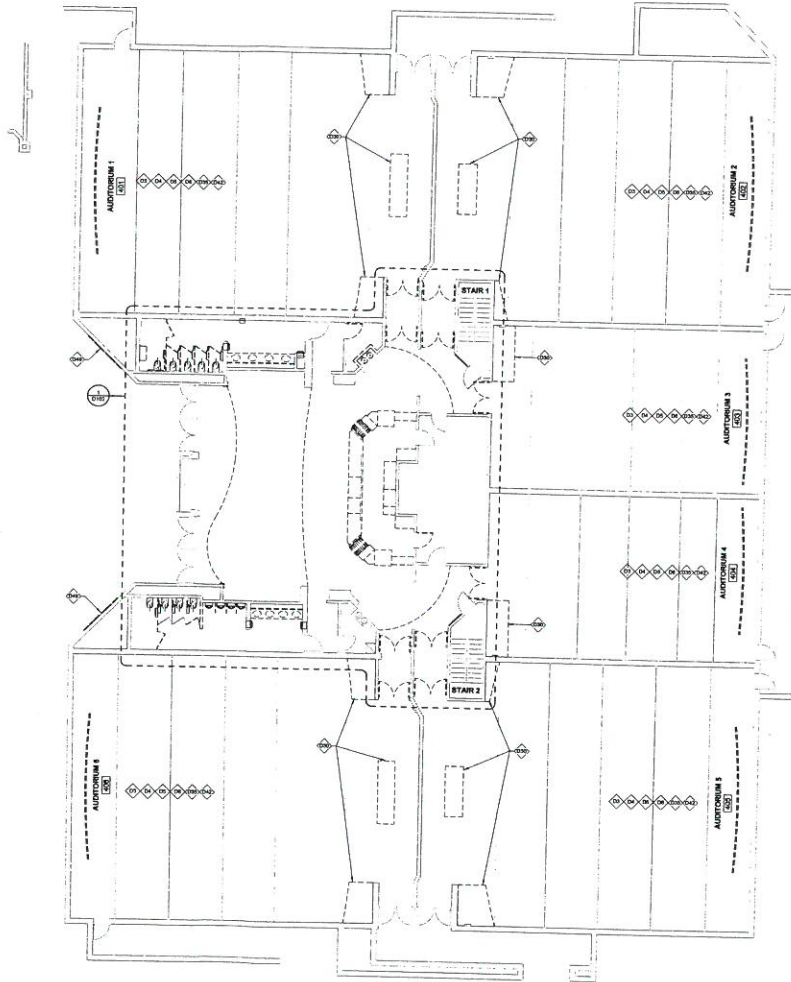
② EGRESS PLAN - MEZZANINE LEVEL

① EGRESS PLAN





2 PARTIAL DEMOLITION PLAN MEZZANINE LEVEL  
1/8" = 1'-0"



1 DEMOLITION PLAN MAIN LEVEL  
1/8" = 1'-0"

**LEGEND**

	EXISTING TO REMAIN
	DEMOLISH/REMOVE
	EXTENTS TO DEMOLISH/REMOVE

- SHEET NOTES**
1. PROVIDE TEMPORARY SHIELDING AROUND ALL PORTIONS OF THE WORK TO PREVENT PUBLIC ACCESS.
  2. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING EXISTING SIGNAGE, SIGNAGE CONTRACTOR TO INSTALL ALL NEW SIGNAGE.
  3. REMOVE ALL CORNER GUARDS IN AREA OF CURB. REMOVE EXISTING TRANSFER TABLES IN AREA OF WORK. SALVAGE FOR REUSE.
  4. REMOVE ALL REFRIG. IN AREA OF WORK.

- DEMOLITION KEYNOTES**
- 01 REMOVE EXISTING BEST OF EXISTING STUCCO ALONG WITH FLOOR.
  - 04 REMOVE CARPET.
  - 06 REMOVE BASE BOARDING.
  - 08 REMOVE WALL BOARDING.
  - 09 REMOVE PORTION OF EXISTING CONCRETE SLAB.
  - 0M REMOVE WALL CARPET AND WALL CARPET TRIM.
  - 07 REMOVE TV.
  - 08 REMOVE MICROWAVE.
  - 09 REMOVE REFRIGERATOR.
  - 04 REMOVE EXISTING LIGHTING FROM EXISTING PANELS, TERMINATE ELECTRICAL CONNECTIONS.
  - 04 REMOVE WIRE EXCEEDING 180° AND BALANCE FOR REUSE.
  - 04 REMOVE EXISTING PESTER CASES. REMOVE LOCATION BRONZE PITCH AND REPAIR WALL TO MATCH ADJACENT.



CONSULTANT

AMC  
AMC MARINA PACIFICA  
EAST BUILDING  
3441 E PACIFIC COAST HWY, LONG BEACH, CA 90805  
PROJECT NUMBER: 20200108

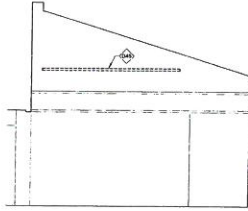
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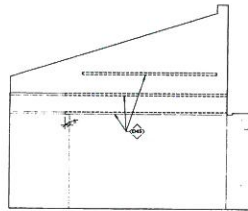
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 SCALE:     
 PROJECT:   

DEMOLITION  
PLANS MAIN  
LEVEL AND  
MEZZANINE  
LEVEL

Sheet No. **D101**



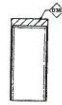
4 INTERIOR ELEVATION - LOBBY MACGUFFINS SUPPORT SIDE  
1/8" = 1'-0"



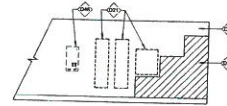
3 INTERIOR ELEVATION - LOBBY MACGUFFINS SIDE  
1/8" = 1'-0"



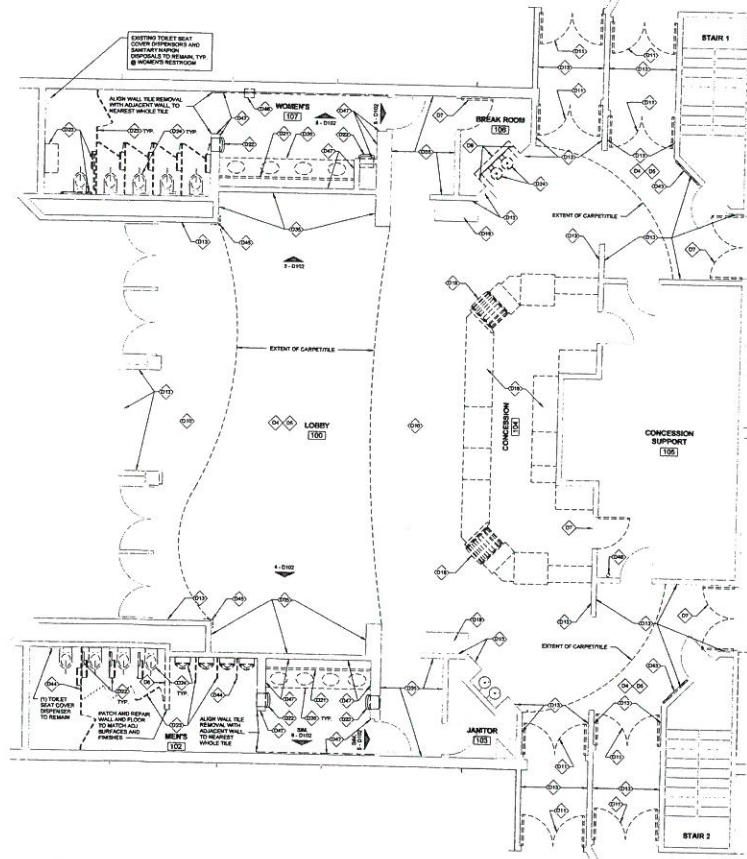
2 REFLECTED CEILING DEMO PLAN - MAIN LEVEL  
1/8" = 1'-0"



6 INTERIOR ELEVATION - WOMEN'S  
1/8" = 1'-0"



5 INTERIOR ELEVATION - WOMEN'S ENTRY  
1/8" = 1'-0"



1 ENLARGED DEMOLITION PLAN  
1/8" = 1'-0"

LEGEND



SHEET NOTES

1. PROVIDE TEMPORARY BARriers AROUND ALL EXPOSURE OF THE WORK TO PREVENT PUBLIC ACCESS.
2. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRS TO EXISTING REMAINING STRUCTURE.
3. CONTRACTOR TO VERIFY ALL DIMENSIONS. REMOVE ALL CONCRETE SLABS IN AREA OF WORK. REMOVE EXISTING TRASH RECYCLABLES IN AREA OF WORK. BALANCE FOR REUSE.
4. REMOVE ALL REPAIRS IN AREA OF WORK.

DEMOLITION KEYNOTES

- 01 REMOVE EXISTING BRICK OFF FACED BRICK & CONCRETE BLOCK
- 02 REMOVE CLAY TILE
- 03 REMOVE BASE COATING
- 04 REMOVE DOOR, FRAME AND HARDWARE
- 05 REMOVE PORTION OF WALL
- 06 REMOVE WALL
- 07 REMOVE FLOOR
- 08 REMOVE DOOR AND HARDWARE, FRAME TO REMAIN
- 09 REMOVE WALL COVERING
- 10 REMOVE PORTION OF GYP RD CEILING
- 11 REMOVE EQUIPMENT, COORDINATE WITH WHITE BUSHOLE
- 12 REMOVE COUNTERTOP, BASE CABINETS TO REMAIN
- 13 REMOVE COUNTERTOP, LAVATORY, AND SINKS, CAP PLUMBING AS REQUIRED
- 14 REMOVE MIRROR
- 15 REMOVE RESTROOM ACCESSORIES, PATCH AND REPAIR WALL TO MATCH ADJACENT AS REQUIRED
- 16 REMOVE TOILET PARTITIONS AND ACCESSORIES
- 17 REMOVE PLUMBING WITH PIPE, CAP PLUMBING AS REQUIRED
- 18 REMOVE WALL, SCHEDULE, TERMINATE ELECTRICAL CONNECTIONS
- 19 REMOVE WALL, CABINET AND WALL CABINET TRIM
- 20 REMOVE MIRROR LIGHTS, TERMINATE ELECTRICAL
- 21 REMOVE PORTION OF GYP RD CEILING
- 22 REMOVE RESTROOM PARTIAL, TERMINATE ELECTRICAL CONNECTION
- 23 REMOVE PORTER CASE
- 24 REMOVE TOILET PARTITIONS AND ACCESSORIES, BALANCE FOR REUSE
- 25 REMOVE WOOD TRIM, PATCH AND REPAIR WALLS TO MATCH ADJACENT
- 26 REMOVE WALL, TILE AND GYPSUM, REMOVE TILE SUBSTRATE AS REQUIRED, PATCH, REPAIR AND PAINT FOR FINISH
- 27 REMOVE AIR DISTRIBUTION AND BALANCE FOR REUSE
- 28 REMOVE MIRROR AND TRIM, PATCH AND REPAIR WALLS TO MATCH ADJACENT

B | R | R  
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1000 17TH AVENUE, SUITE 1000  
DENVER, CO 80202  
TEL: 303.733.8800  
WWW.BRRARCHITECTS.COM

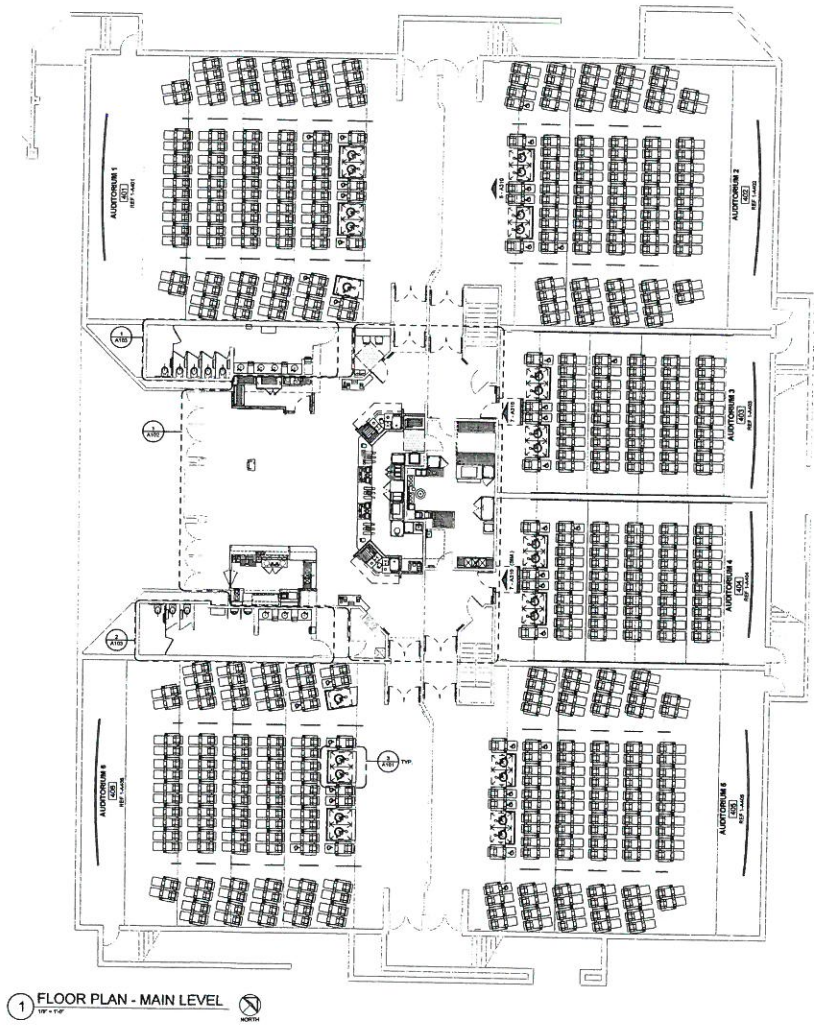
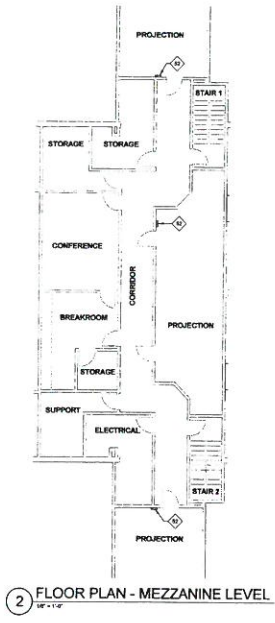
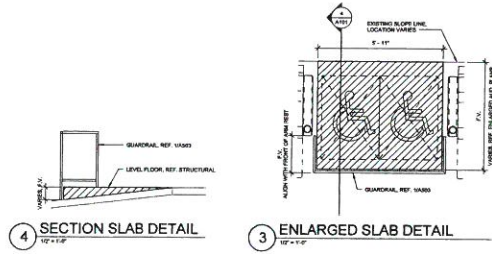
AMC  
AMC MARINA PACIFICA  
EAST BUILDING  
3345 S PACIFIC COAST HWY, LONG BEACH, CA 90805  
PROJECT MANAGER: LINDSEY

REVISION	DATE	DESCRIPTION

CHECKED BY: JLL  
DESIGNED BY: JLL  
DATE: 08/12/2014  
SCALE: 1/8" = 1'-0"  
PROJECT: MARINA PACIFICA  
SHEET: 1012

ENLARGED DEMOLITION PLAN AND RCP

Sheet No. D102



**SHEET NOTES**

- MINIMUM SLOPE OF ALL RAMPS SHALL BE 1:12 (2 IN. RISE PER 24 IN. RUN). ALL RAMP SURFACES SHALL BE 2" MIN. THICK. ALL RAMP SURFACES SHALL BE 2" MIN. THICK. ALL RAMP SURFACES SHALL BE 2" MIN. THICK.
- RAMPS SHALL BE MOUNTED ON FLAT AND LEVEL SURFACES.
- ALL RAMPS SHALL BE MOUNTED ON FLAT AND LEVEL SURFACES.
- ALL RAMPS SHALL BE MOUNTED ON FLAT AND LEVEL SURFACES.
- ALL RAMPS SHALL BE MOUNTED ON FLAT AND LEVEL SURFACES.

**LEGEND**

- 8'x12' AUDITORIUM PAIR OF SEATS
- 8'x12' AUDITORIUM SINGLE SEAT
- DESIGNATED AILE SEAT WITH MOVABLE ARM
- NON-ADJACENT SEAT (STAIRS)
- 5'-0" x 4'-0" ACCESSIBLE SPACE
- 5'-0" x 4'-0" ACCESSIBLE SPACE

**KEYNOTES**

1. ALL SEAT LOCATIONS TO BE ADJUSTED TO ACCESSIBLE SEAT TO HAVE MOVABLE ARM ADJACENT TO ACCESSIBLE SPACE.

2. TO RECOVER FIRE EXTINGUISHER WITH GUN CABINET.

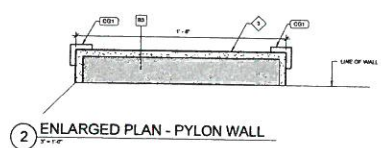
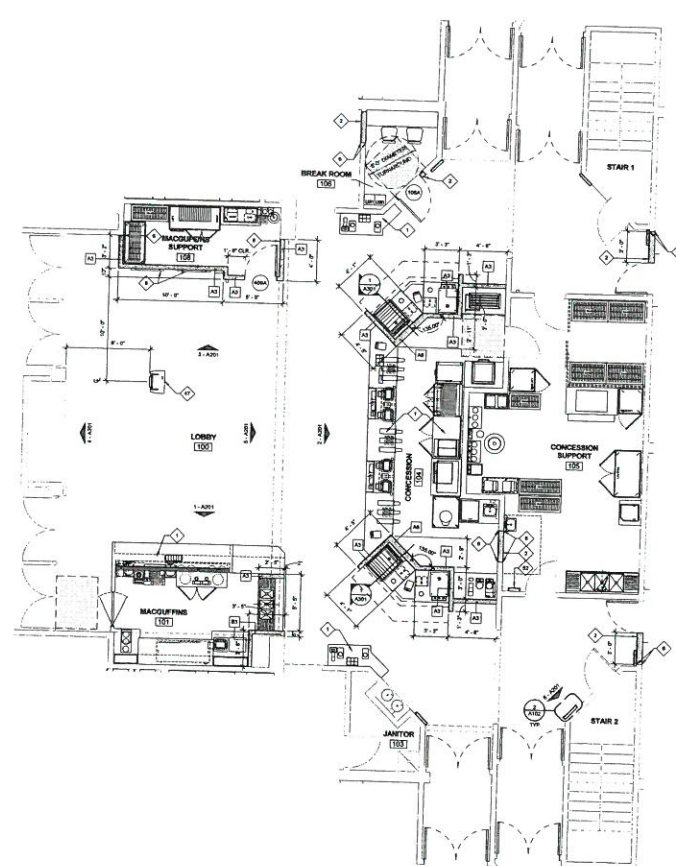
**BIR**  
ARCHITECTS

**AMC MARINA PACIFICA EAST BUILDING**  
3345 PACIFIC COAST HWY LONG BEACH, CA 90803  
PROJECT NUMBER: 2002000000

**MAIN LEVEL FLOOR PLAN**

Sheet No. **A101**





2 ENLARGED PLAN - PYLON WALL  
10'-0" x 1'-0"

1 ENLARGED LOBBY PLAN  
10'-0" x 10'-0"

SHEET NOTES

1. MINIMUM SLOPE OF ALL SURFACES SHALL BE 1/4" IN 12".
2. CURBS OR BENCHES OF ALL RAMP SURFACES SHALL BE 30" HIGH AND 12" WIDE. BENCHES SHALL BE 12" HIGH AND 12" WIDE.
3. BENCHES SHALL BE 12" HIGH AND 12" WIDE.
4. BENCHES SHALL BE 12" HIGH AND 12" WIDE.
5. BENCHES SHALL BE 12" HIGH AND 12" WIDE.
6. BENCHES SHALL BE 12" HIGH AND 12" WIDE.
7. BENCHES SHALL BE 12" HIGH AND 12" WIDE.
8. BENCHES SHALL BE 12" HIGH AND 12" WIDE.
9. BENCHES SHALL BE 12" HIGH AND 12" WIDE.
10. BENCHES SHALL BE 12" HIGH AND 12" WIDE.

KEYNOTES

1. CAREFUL REFERENCE TO...
2. CAREFUL REFERENCE TO...
3. CAREFUL REFERENCE TO...
4. CAREFUL REFERENCE TO...
5. CAREFUL REFERENCE TO...
6. CAREFUL REFERENCE TO...
7. CAREFUL REFERENCE TO...
8. CAREFUL REFERENCE TO...
9. CAREFUL REFERENCE TO...
10. CAREFUL REFERENCE TO...

**B | R | R**  
ARCHITECTS  
1000 10TH AVENUE, SUITE 1000  
SAN FRANCISCO, CA 94103  
TEL: 415.774.8800  
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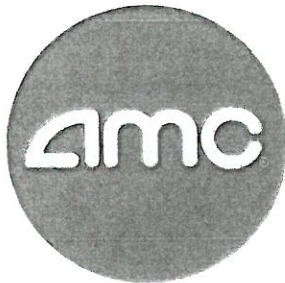
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EAST BUILDING  
3400 PACIFIC COAST HWY LONG BEACH, CA 90801  
PROJECT NUMBER: 2007012

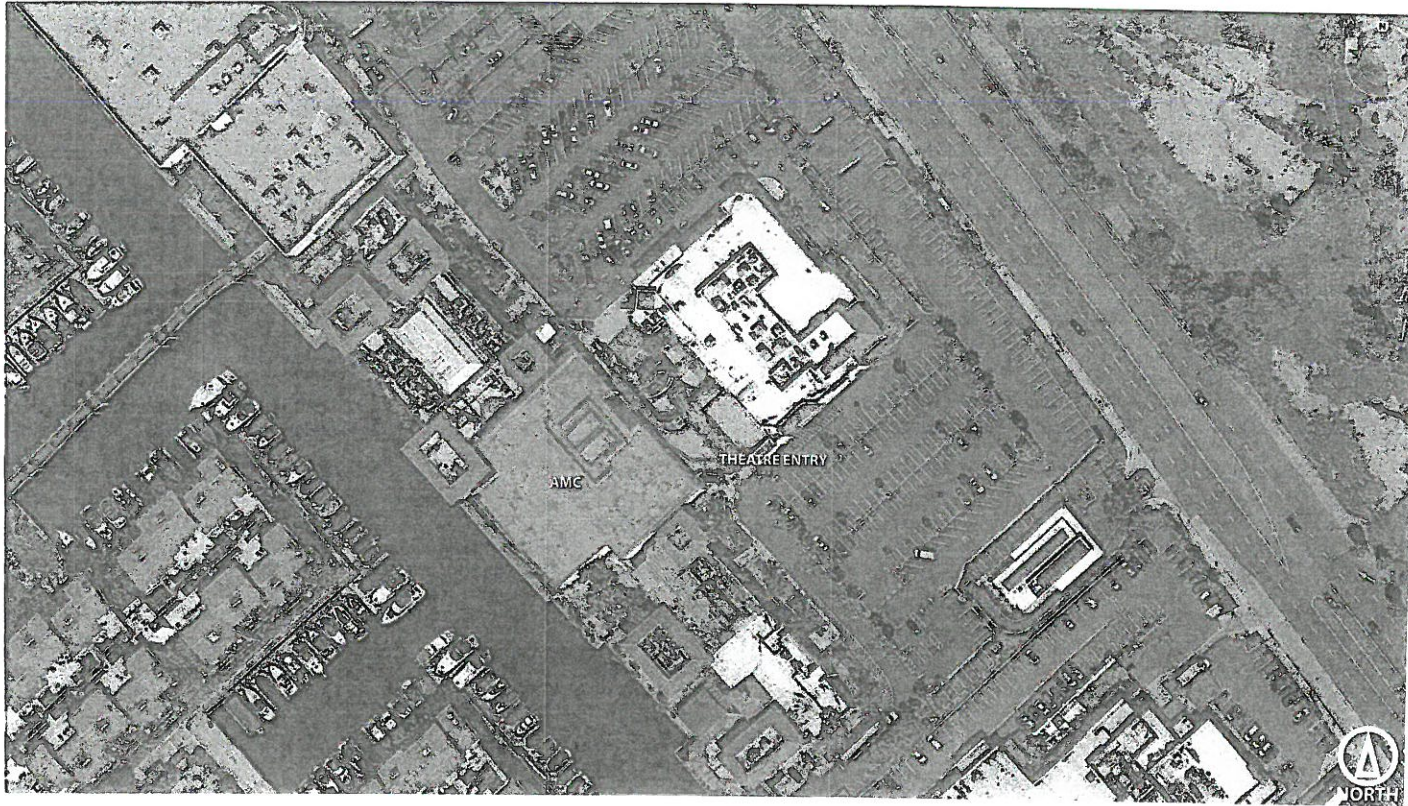
REV	DATE	DESCRIPTION

DESIGNED BY	JAL
DRAWN BY	JAL
CHECKED BY	
DATE	
SCALE	
PROJECT NUMBER	

ENLARGED FLOOR PLAN



**AMC MARINA PACIFICA 12 WEST BUILDING**  
**DESIGN DEVELOPMENT PACKAGE**  
**03/02/2016**



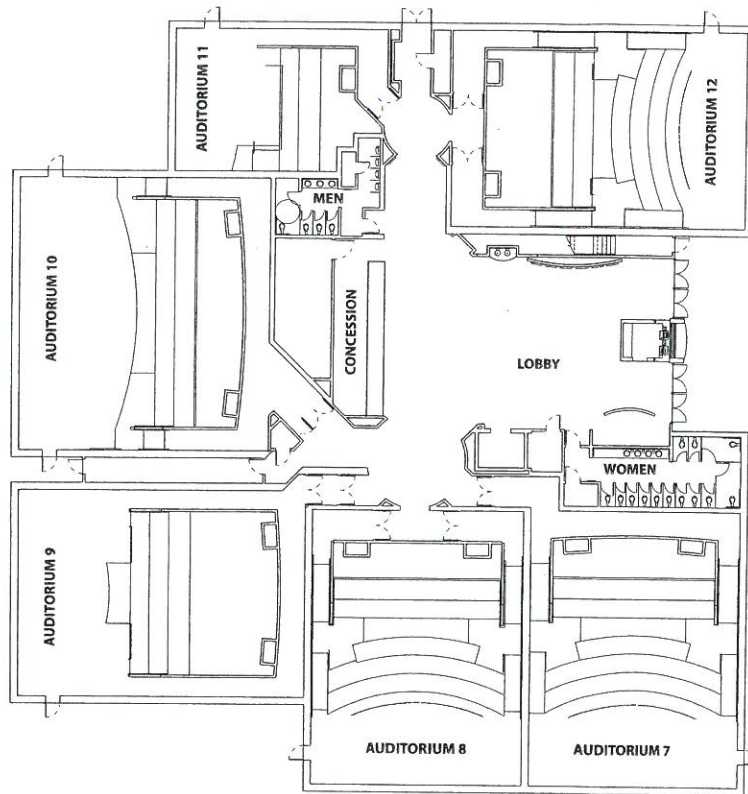
**AMC MARINA PACIFICA 12  
WEST BUILDING**

LONG BEACH, CA

SITE PLAN

03/02/2016

2



AMC MARINA PACIFICA 12  
WEST BUILDING

LONG BEACH, CA

EXISTING FLOOR PLAN

03/02/2016

3



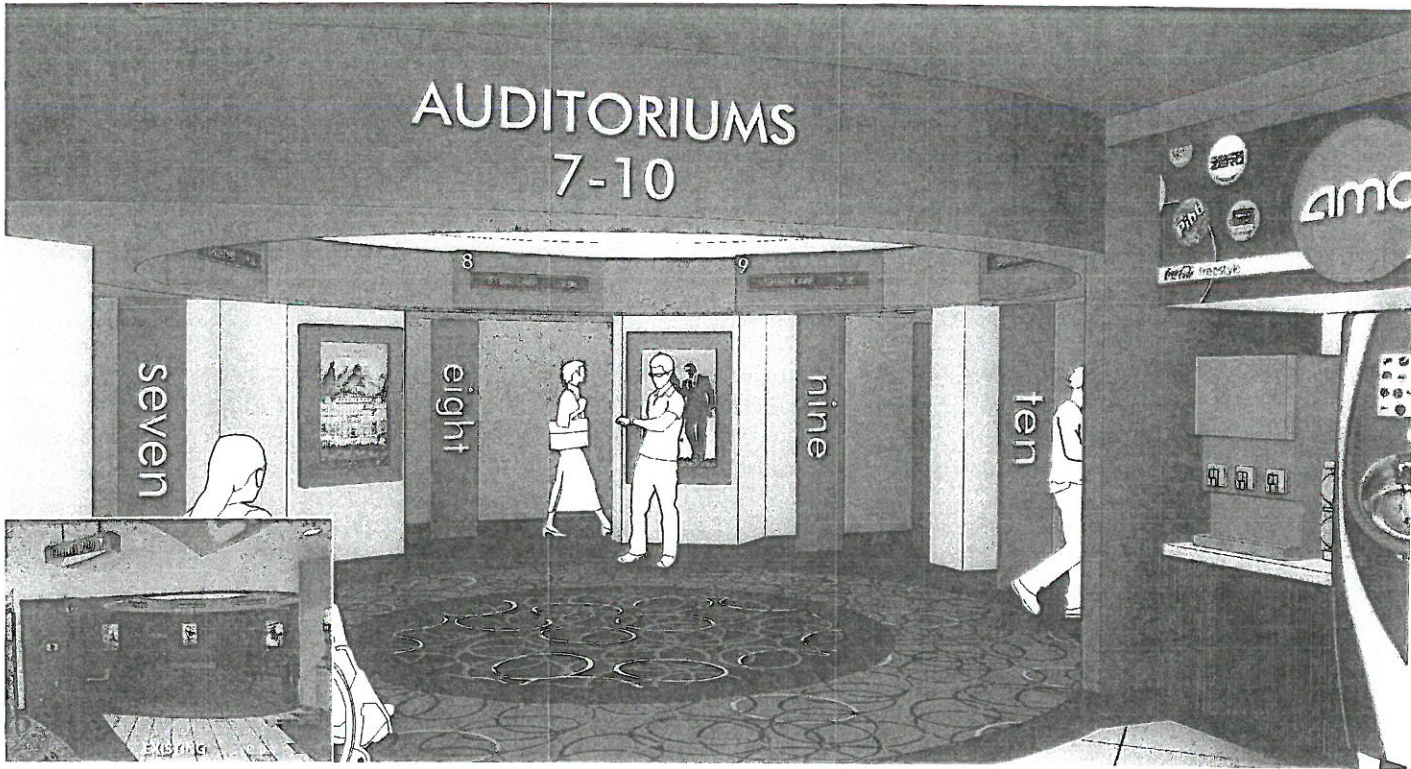
AMC MARINA PACIFICA 12  
WEST BUILDING

LONG BEACH, CA

LOBBY

03/02/2016

9



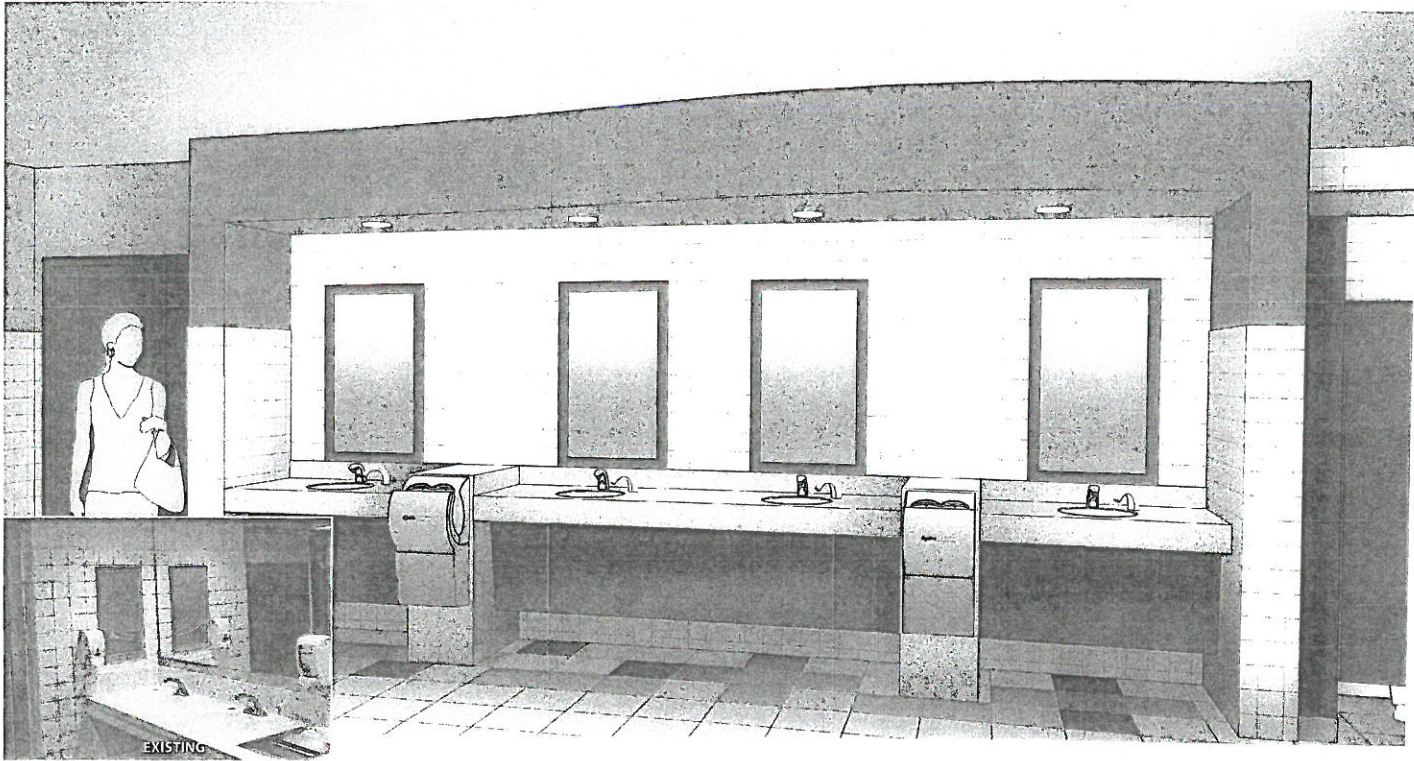
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WEST BUILDING

LONG BEACH, CA

CORRIDOR

03/02/2016

10



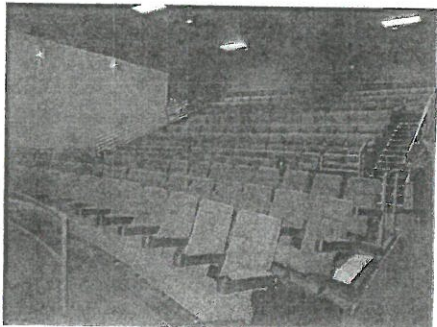
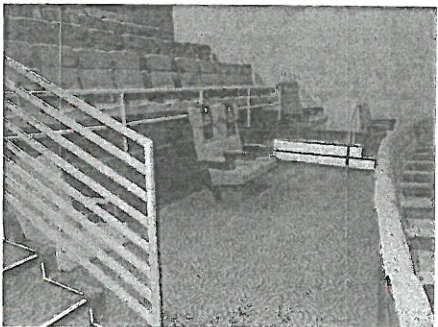
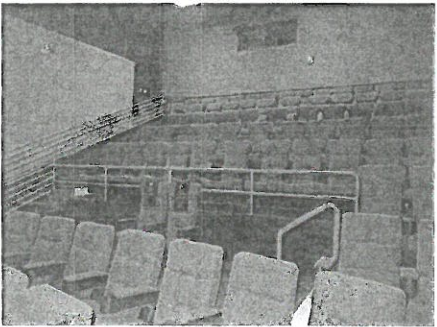
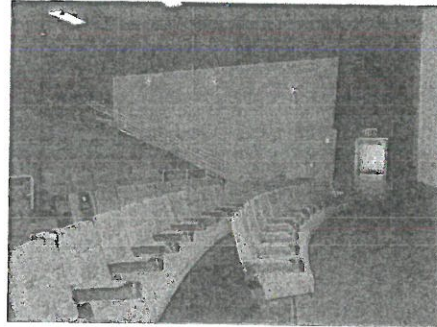
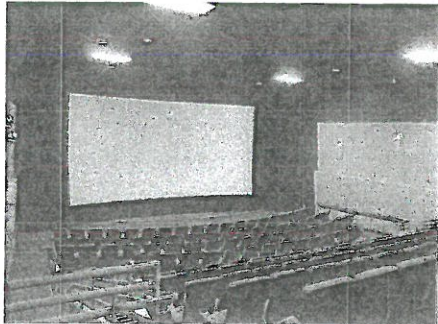
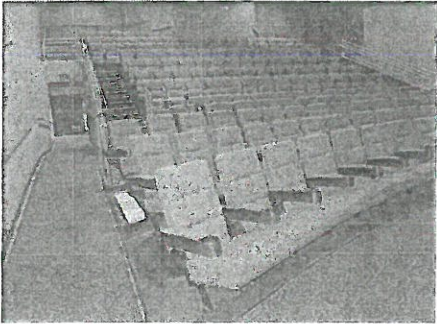
AMC MARINA PACIFICA 12  
WEST BUILDING

LONG BEACH, CA

RESTROOM

03/02/2016

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AMC MARINA PACIFICA 12  
WEST BUILDING

LONG BEACH, CA

EXISTING AUDITORIUMS

03/02/2016

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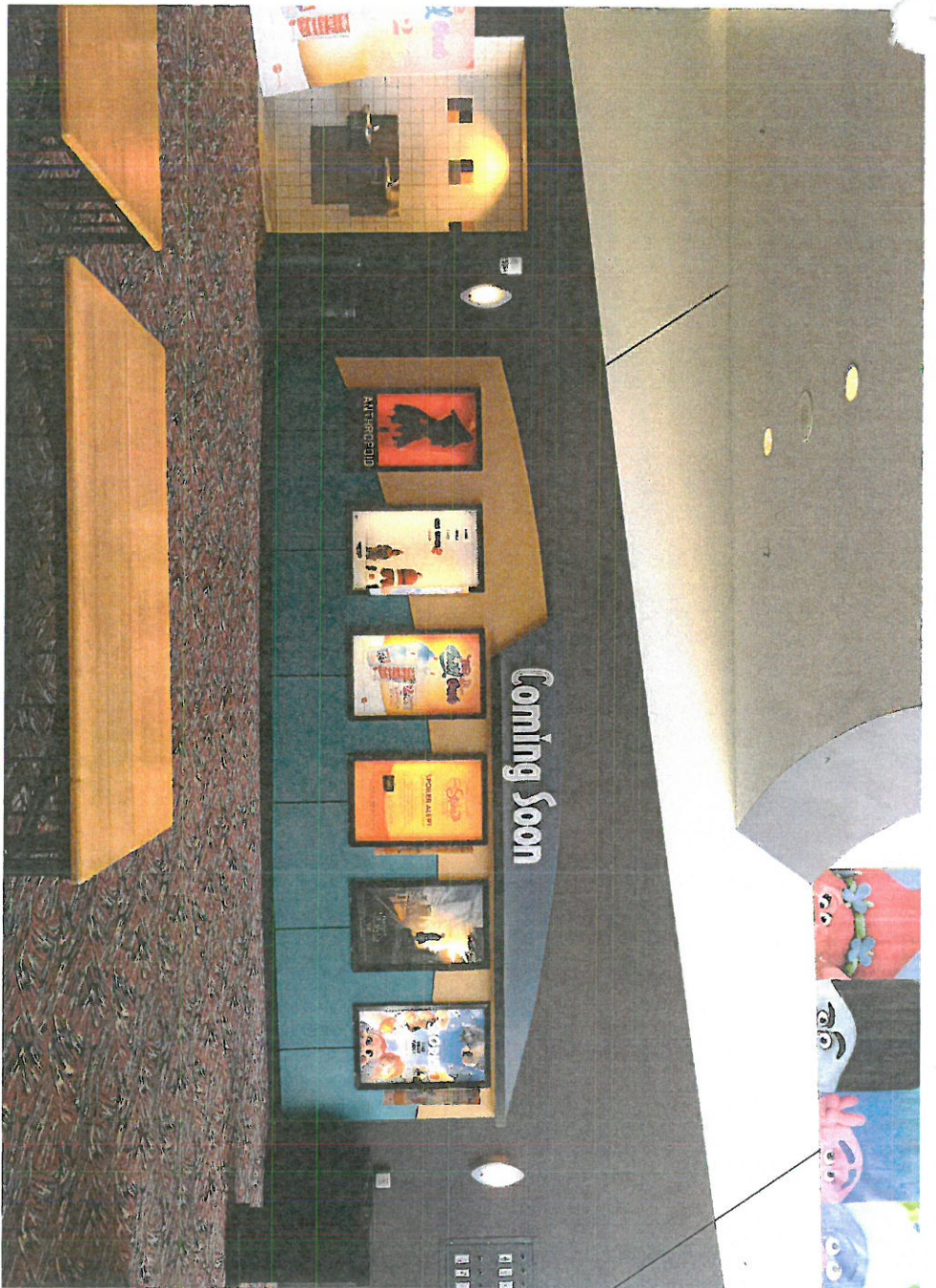
AMC MARINA PACIFICA 12  
WEST BUILDING

LONG BEACH, CA

BOX OFFICE

03/02/2016

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EAST BUILDING



WEST BUILDING