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# Shoreline Gateway - West Tower

Long Beach, California

April 26, 2013

Planning Commission Submittal

## Agenda Item #1

### Project Information

**Description:**  
Proposed use is for one eighteen story mixed-use residential tower with neighborhood serving retail and a public plaza.

**Lot Area:**  
0.7 acre (30,400 sf)

**Construction Type:**  
Type 1A

**Project Address:**  
619 - 645 East Ocean Boulevard  
Long Beach, CA 90045

### Vicinity Map



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### Project Team

Owner	Contractor	Contractor	Architect	Architect	Structural Engineer	MEP Consultant
Shoreline Gateway LLC	Ledcor Group	DW Driver	BAR Architects	Rockefeller Partners Architects, Inc.	Nabih Youssef Associates	Donald F. Dickerson Associates
James Anderson Ryan Altoon 6701 Center Dr. West Suite 710 Los Angeles, CA 90045 310.689.2300	Pat Patterson 9790 Irvine Center Dr Suite 100 Irvine, CA 92618 949.756.8467	Brian Chartrand 15615 Alton Parkway Suite 350 Irvine, CA 92618 949.261.5100	Chris Haeggglund Jung Suh 543 Howard Street San Francisco, CA 94105 415.293.5700	Rocky Rockefeller Christopher Kempel 201 Arena St. El Segundo, CA 90245 310.335.6000	Nabih Youssef Ryan Wilkerson 800 Wilshire Blvd. Suite 200 Los Angeles, CA 90017 213.362.0707	April Trafton 6840 Hayvenhurst Ave. 2nd Floor Van Nuys CA 91406 818.385.3600

Shoreline Gateway - West Tower

Long Beach, California

Cover Sheet

**BAR ARCHITECTS**

543 Howard Street, San Francisco, CA 94105, T. 415 293 5700, F. 415 293 5701 WWW.BARARCH.COM

SHORELINE GATEWAY, LLC  
ANDERSONPACIFIC INC.  
ROCKEFELLER

NABIH YOUSSEF ASSOCIATES  
DRIVER URBAN  
FULL SERVICE ARCHITECTURAL & INTERIOR DESIGN

LEDCOR GROUP

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**A1.00**

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## Floor 1 - Area Summary

Residential Lobby	1,527
Elevator Lobby	398
Leasing Office	654
Retail Space	2,636
Retail/Restaurant	5,540
Café/Retail	1,006
Tenant Storage	2,851
Stair/ Service	2,457
Trash Chute Room	470
Trash Service Room	725
Electrical Room	497
Transformer Vault	886
Parking Ramps	3,993
Podium Stair	118
<b>Total</b>	<b>23,758</b>

## Gross Area & Parking Summary

Floor Level	Floor Description	Residential Areas			Retail Areas		Parking Areas		Total	Exterior Areas			Floor Level	Parking Spaces		
		Units	Circulation/ Leasing Trash/Service/Lobby*	Amenity Spaces	Leasable Space	Service & Circulation	Parking Garage	Private Terraces		Podium Deck	Total					
17	Roof/ Mechanical	-	11,985	gsf	-	gsf	-	gsf	11,985	gsf	-	gsf	0	gsf	17	0
16	Penthouse/ Amenity	11,871	2,625	gsf	4,278	gsf	-	gsf	18,774	gsf	1,859	gsf	2,933	gsf	16	0
15	Residential/ Amenity	16,442	2,528	gsf	230	gsf	-	gsf	19,200	gsf	1,639	gsf	-	gsf	15	0
14	Typical Residential	16,810	2,554	gsf	-	gsf	-	gsf	19,364	gsf	1,179	gsf	-	gsf	14	0
13	Typical Residential	16,872	2,554	gsf	-	gsf	-	gsf	19,426	gsf	1,179	gsf	-	gsf	13	0
12	Typical Residential	16,803	2,554	gsf	-	gsf	-	gsf	19,357	gsf	1,179	gsf	-	gsf	12	0
11	Typical Residential	16,865	2,554	gsf	-	gsf	-	gsf	19,419	gsf	1,179	gsf	-	gsf	11	0
10	Typical Residential	16,796	2,554	gsf	-	gsf	-	gsf	19,350	gsf	1,179	gsf	-	gsf	10	0
9	Typical Residential	16,858	2,554	gsf	-	gsf	-	gsf	19,412	gsf	1,179	gsf	-	gsf	9	0
8	Typical Residential	16,789	2,554	gsf	-	gsf	-	gsf	19,343	gsf	1,179	gsf	-	gsf	8	0
7	Typical Residential	16,851	2,554	gsf	-	gsf	-	gsf	19,405	gsf	1,179	gsf	-	gsf	7	0
6	Typical Residential	16,792	2,544	gsf	-	gsf	-	gsf	19,336	gsf	1,114	gsf	-	gsf	6	0
5	Typical Residential	16,844	2,554	gsf	-	gsf	-	gsf	19,398	gsf	1,179	gsf	-	gsf	5	0
4	Typical Residential/Podium	18,874	2,814	gsf	2,657	gsf	-	gsf	24,345	gsf	3,599	gsf	2,694	gsf	4	0
P3	Podium Parking	-	1,326	gsf	-	gsf	-	gsf	22,738	gsf	-	gsf	-	gsf	P3	54
P2	Podium Parking	-	1,326	gsf	-	gsf	-	gsf	22,738	gsf	-	gsf	-	gsf	P2	48
1*	Street Level	-	8,212	gsf	-	gsf	9,182	gsf	2,371	gsf	3,993	gsf	-	gsf	1*	0
B1	Basement Parking	-	1,358	gsf	-	gsf	-	gsf	28,527	gsf	-	gsf	-	gsf	B1	83
B2	Basement Parking	-	1,358	gsf	-	gsf	-	gsf	28,527	gsf	-	gsf	-	gsf	B2	90
<b>Total</b>		<b>215,467</b>	<b>59,062</b>	<b>gsf</b>	<b>7,165</b>	<b>gsf</b>	<b>9,182</b>	<b>gsf</b>	<b>2,371</b>	<b>gsf</b>	<b>106,523</b>	<b>gsf</b>	<b>399,771</b>	<b>gsf</b>	<b>Total</b>	<b>275 spaces</b>

\* Refer to Floor 1 Area Summar Table

## Unit Mix Summary

Name	Description	Units	%	Average Size*
1a	Jr 1 Bed	24	11%	610 gsf
1b	1 Bed	103	45%	730 gsf
1c	1 Bed	24	11%	960 gsf
1d	1+ Bed	11	5%	1215 gsf
1e	1+ Bed	1	0.5%	630 gsf
1f	1+ Bed	5	2%	590 gsf
1g	1+ Bed	1	0.5%	985 gsf
<b>Total One Bedrooms</b>		<b>169</b>	<b>75%</b>	
2a	2 Bed	24	11%	1215 gsf
2b	2 Bed	12	5%	1090 gsf
2c	2+ Bed	11	5%	970 gsf
2ph	PH 2+ Bed	8	4%	1175 gsf **
<b>Total Two Bedrooms</b>		<b>55</b>	<b>25%</b>	
<b>Total Units</b>		<b>224</b>		

\* Excludes exterior terraces

\*\* Individual plans vary in size and configuration

## Unit Mix Summary - By Floor Level

Floor Level	One Bedroom Units							2 Bedrooms Units				Total
	1a	1b	1c	1d	1e	1f	1g	2a	2b	2c	2ph	
16	0	0	0	0	0	0	0	0	0	0	8	8
15	2	4	2	0	0	5	1	2	1	1	0	18
14	2	9	2	1	0	0	0	2	1	1	0	18
13	2	9	2	1	0	0	0	2	1	1	0	18
12	2	9	2	1	0	0	0	2	1	1	0	18
11	2	9	2	1	0	0	0	2	1	1	0	18
10	2	9	2	1	0	0	0	2	1	1	0	18
9	2	9	2	1	0	0	0	2	1	1	0	18
8	2	9	2	1	0	0	0	2	1	1	0	18
7	2	9	2	1	0	0	0	2	1	1	0	18
6	2	9	2	1	0	0	0	2	1	1	0	18
5	2	9	2	1	0	0	0	2	1	1	0	18
4	2	9	2	1	1	0	0	2	1	0	0	18
<b>Total</b>	<b>24</b>	<b>103</b>	<b>24</b>	<b>11</b>	<b>1</b>	<b>5</b>	<b>1</b>	<b>24</b>	<b>12</b>	<b>11</b>	<b>8</b>	<b>224</b>

## Parking Analysis

PROGRAM	CODE	UNIT / AREA	REQUIRED STALLS
<b>RESIDENTIAL:</b>			
1 BR	1.00 SPACE / UNIT	169 UNITS	169 SPACES
2 BR	1.00 SPACE / UNIT	55 UNITS	55 SPACES
SUBTOTAL - NO. OF RESIDENTIAL UNITS :		224 UNITS	
SUBTOTAL - "CODE" REQUIRED NO. OF PARKING STALLS:			224 SPACES
SUBTOTAL - "CLIENT PREFERRED" NO. OF PARKING STALLS:			
<b>GUEST / RETAIL:</b>			
GUEST	0.25 SPACE / UNIT		56.0 SPACES
RETAIL	1.00 SPACE / 1,000 SF	9,182 SF	9.2 SPACES
SUBTOTAL - GUEST / RETAIL REQUIRED:			65.2 SPACES
SUBTOTAL - GUEST / RETAIL PREFERRED:			
TOTAL REQUIRED RESIDENTIAL / GUEST / RETAIL:			289.2 SPACES
TOTAL PREFERRED RESIDENTIAL / GUEST / RETAIL:			
<b>5% T.O.D. DISCOUNT:</b>			
DISCOUNT OF REQUIRED RESIDENTIAL / GUEST / RETAIL:			(14.5) SPACES
DISCOUNT OF PREFERRED RESIDENTIAL / GUEST / RETAIL:			
TOTAL REDUCED + DISCOUNTED REQUIRED RESIDENTIAL / GUEST / RETAIL:			274.7 SPACES
TOTAL REDUCED + DISCOUNTED CLIENT PREFERRED RESIDENTIAL / GUEST / RETAIL:			
<b>ALLOWABLE REDUCTIONS:</b>			
SHARED (REQUIRED) 50%:		56 SPACES	(28) SPACES
SHARED (PREFERRED) 50%:		56 SPACES	
TOTAL REDUCED REQUIRED RESIDENTIAL / GUEST / RETAIL:			246.7 SPACES
TOTAL REDUCED PREFERRED RESIDENTIAL / GUEST / RETAIL:			
<b>PARKING SUMMARY:</b>			
FLOOR LEVEL			PARKING SPACES PROVIDED
PODIUM	P3	LEVEL 3	54 SPACES
PODIUM	P2	LEVEL 2	48 SPACES
GROUND FLOOR	G		0 SPACES
BASEMENT	B1		83 SPACES
BASEMENT	B2		90 SPACES
TOTAL PROVIDED PARKING IN THE BUILDING:			275 SPACES
SURPLUS REQUIRED PARKING:			+ 28.3 SPACES SURPLUS

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Long Beach, California

Project Data Sheet

BAR ARCHITECTS

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ANDERSONPACIFIC INC.

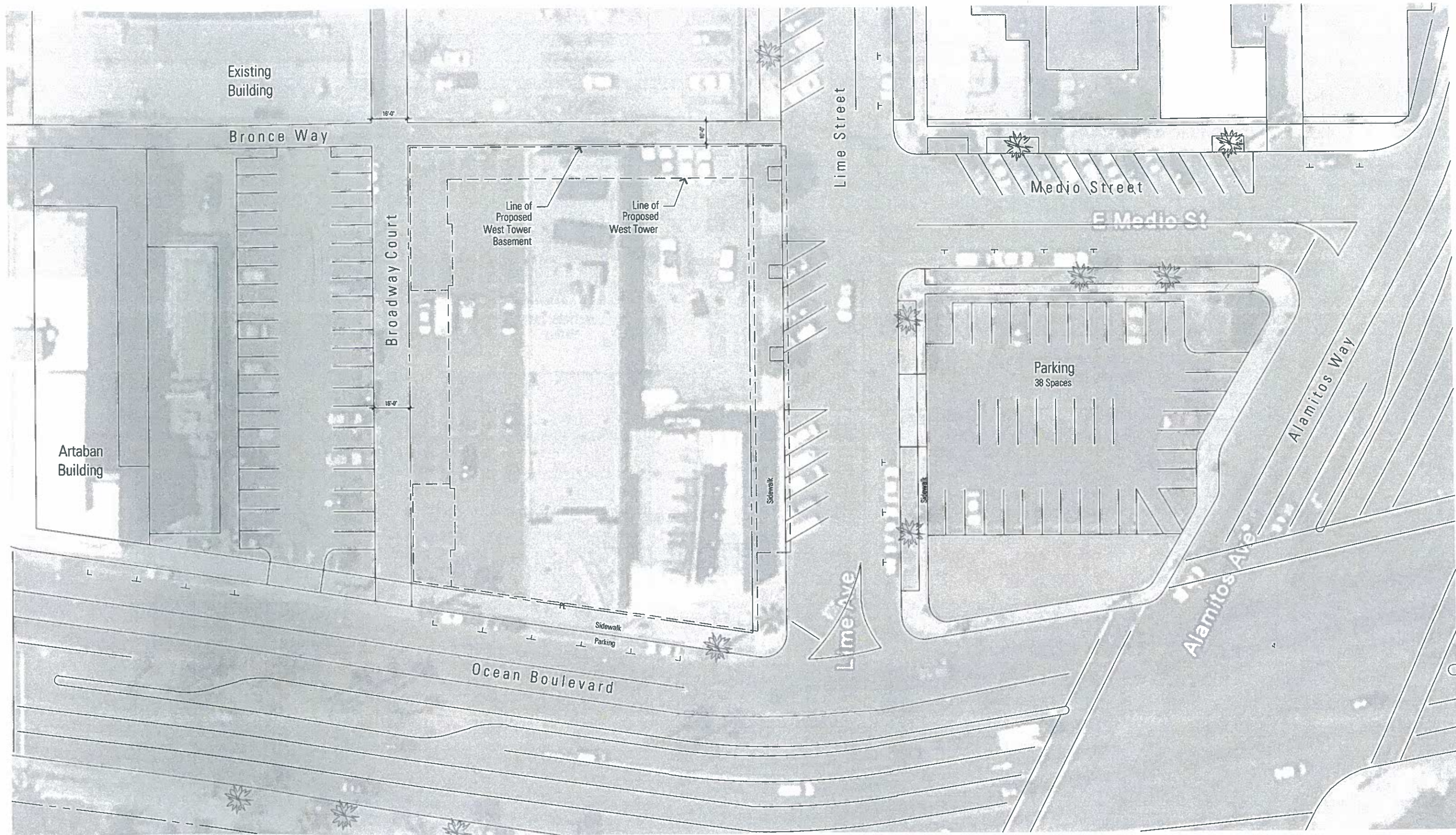
NABII YOUSSEF ASSOCIATES  
STRUCTURAL ENGINEERS  
Driver URBAN  
BUILDERS OF GREAT LIVING EXPERIENCES



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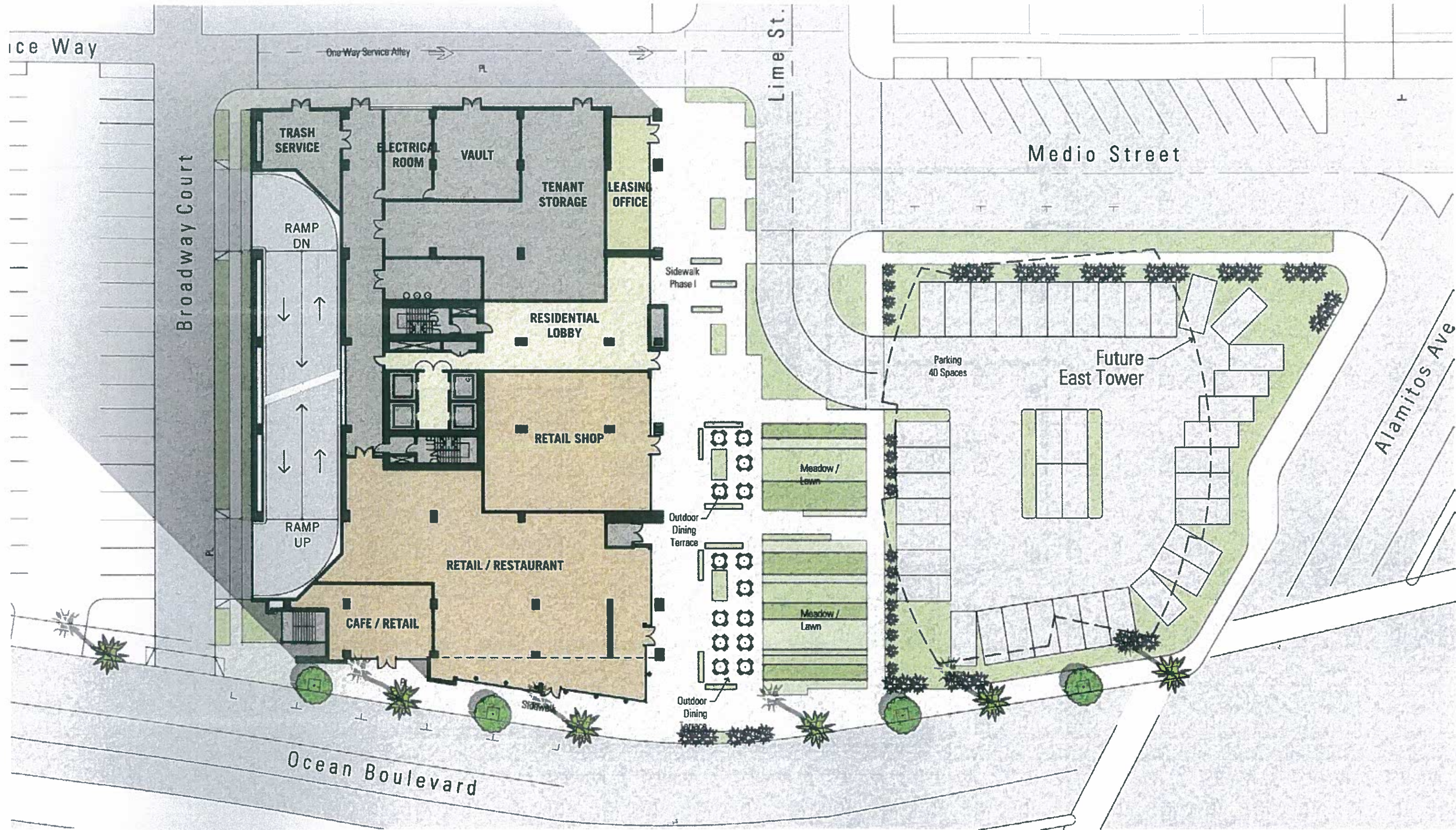
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# Shoreline Gateway - West Tower

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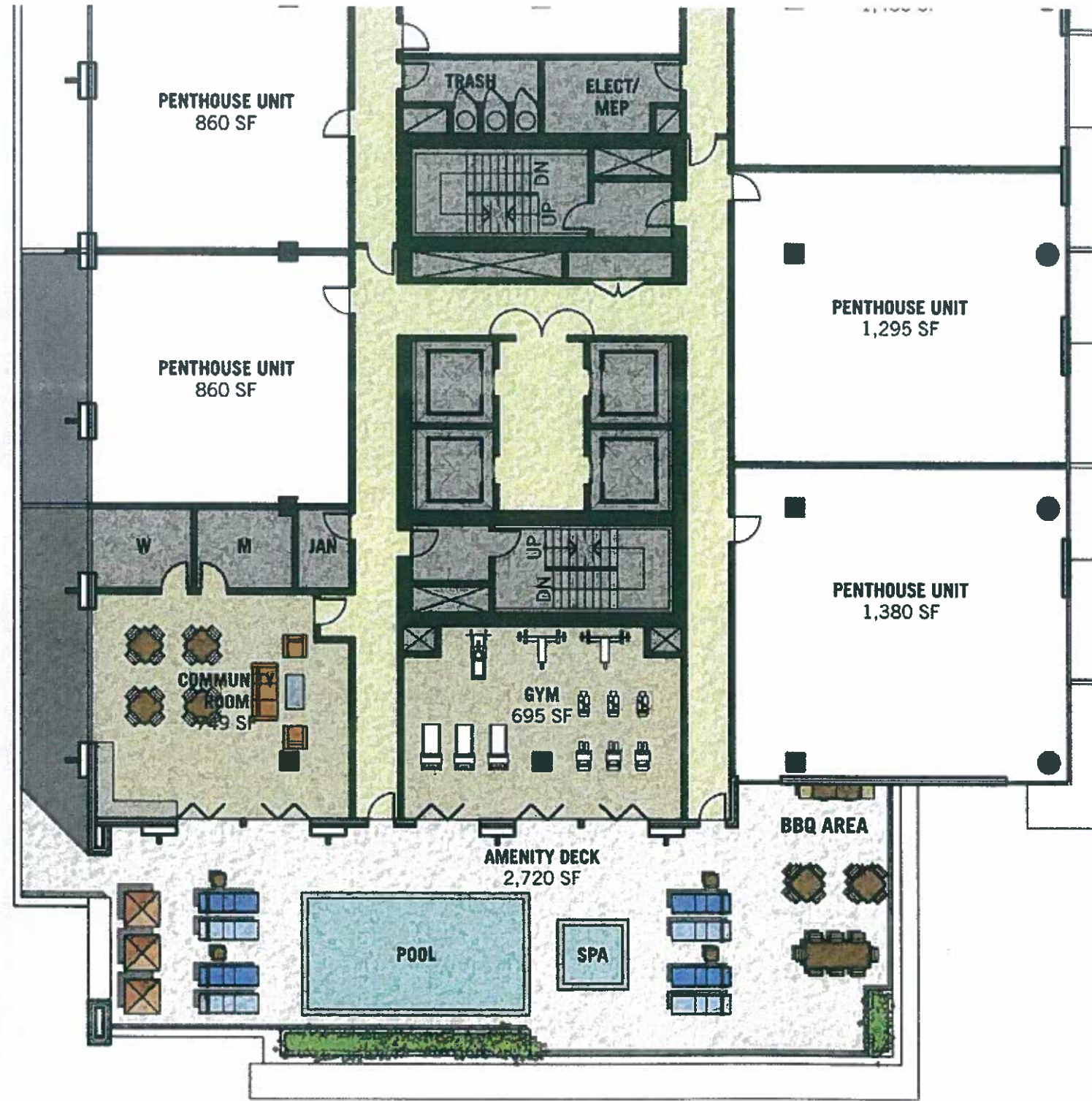
# Existing Site Plan



# Shoreline Gateway - West Tower

# Long Beach, California

# Illustrative Phase One Site Plan / Landscape Plan



# Shoreline Gateway - West Tower

# Long Beach, California

# Illustrative Penthouse Plan - Floor Sixteen



South East Corner



North East Corner



South West Corner



North West Corner

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Perspective Views

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**Aerial View of Podium Deck and Plaza**



**View of Plaza at South East Corner**

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**Perspective Views**



**Aerial View from the North West**

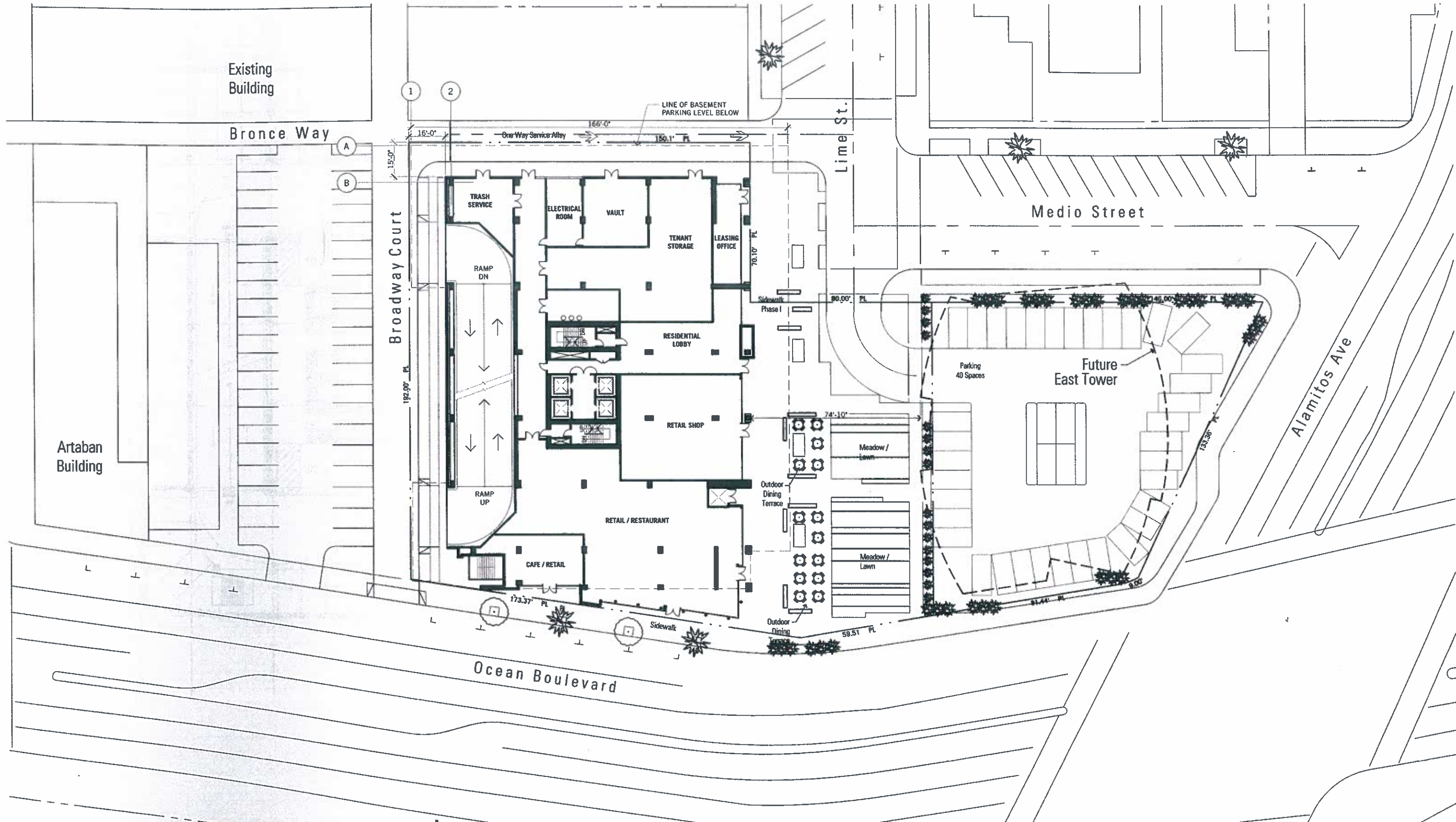


**Aerial View from the North East**

# Shoreline Gateway - West Tower | Long Beach, California

## Aerial Perspective Views

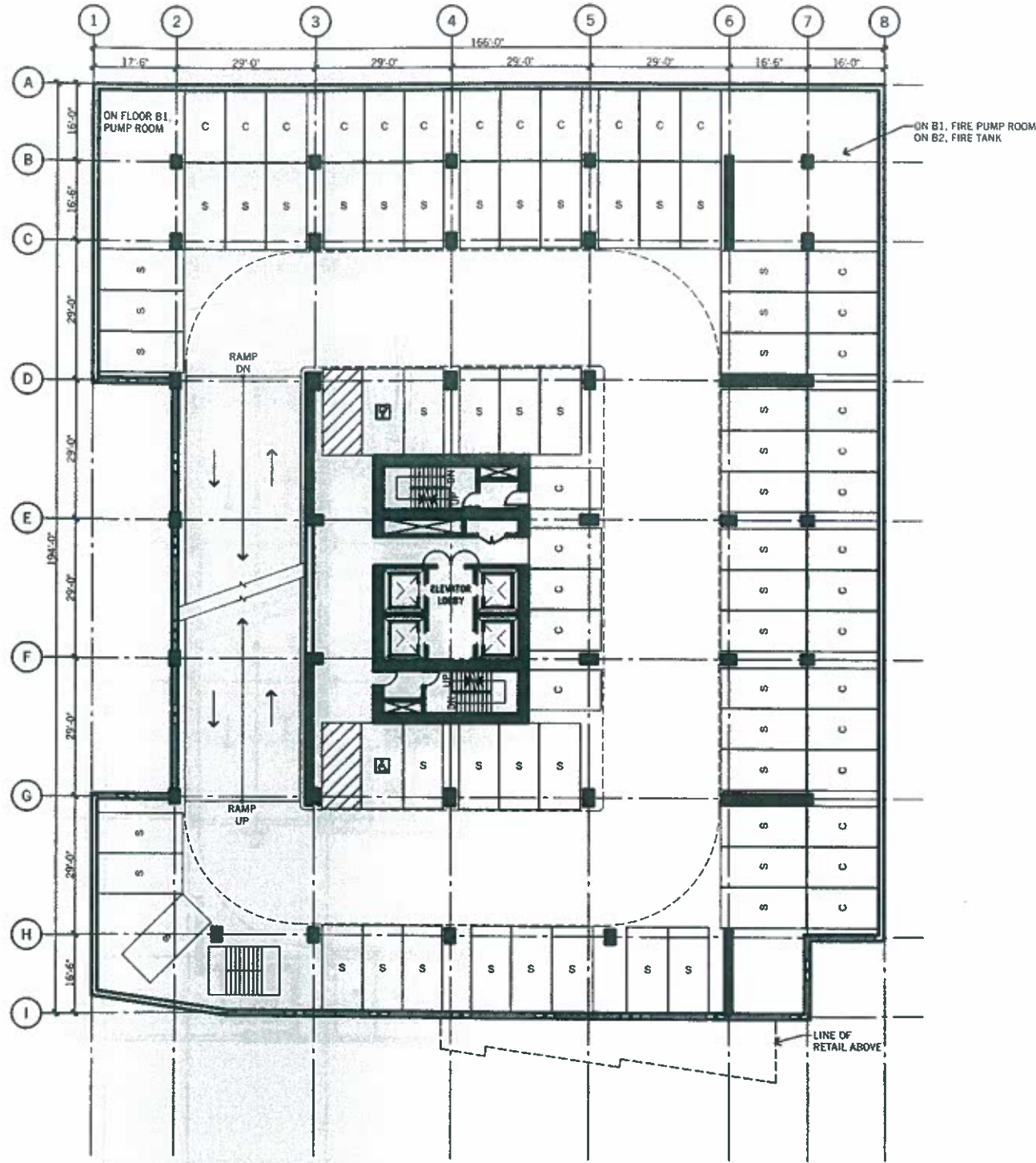




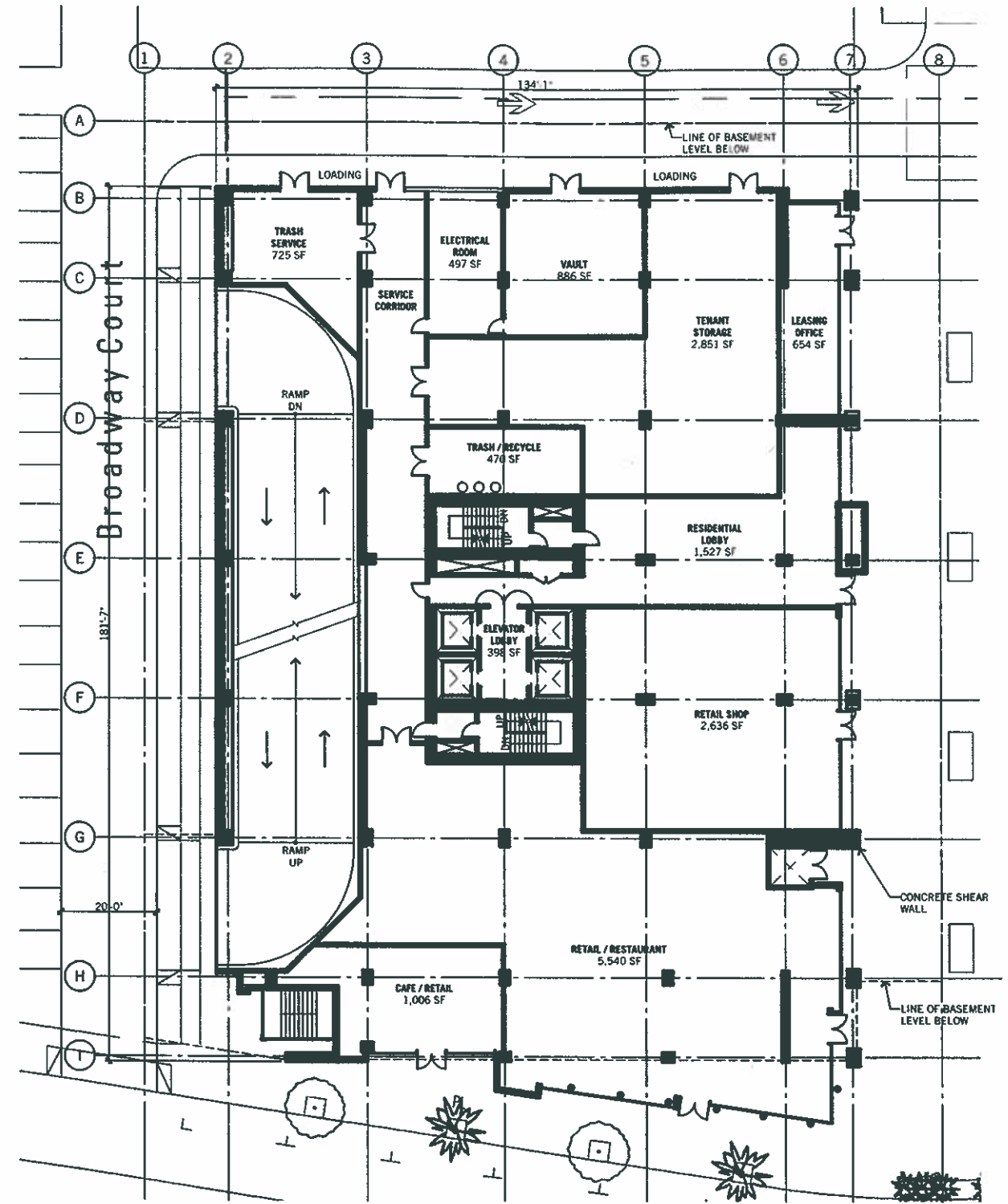
# Shoreline Gateway - West Tower

# Long Beach, California

# Site Plan



**BASEMENT PARKING LEVEL - FLOOR B1**  
FLOOR B2 SIMILAR

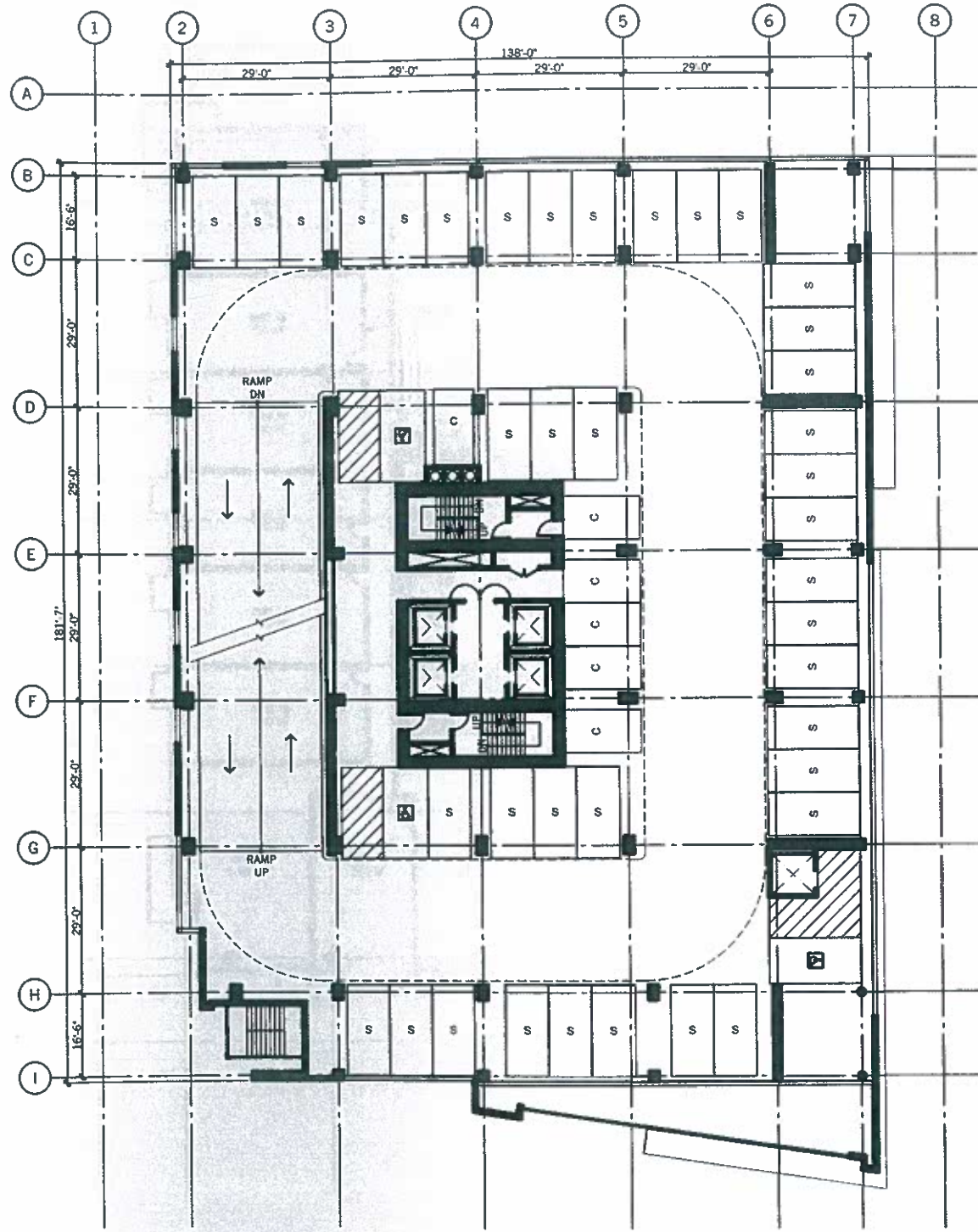


**STREET LEVEL - FLOOR 1**

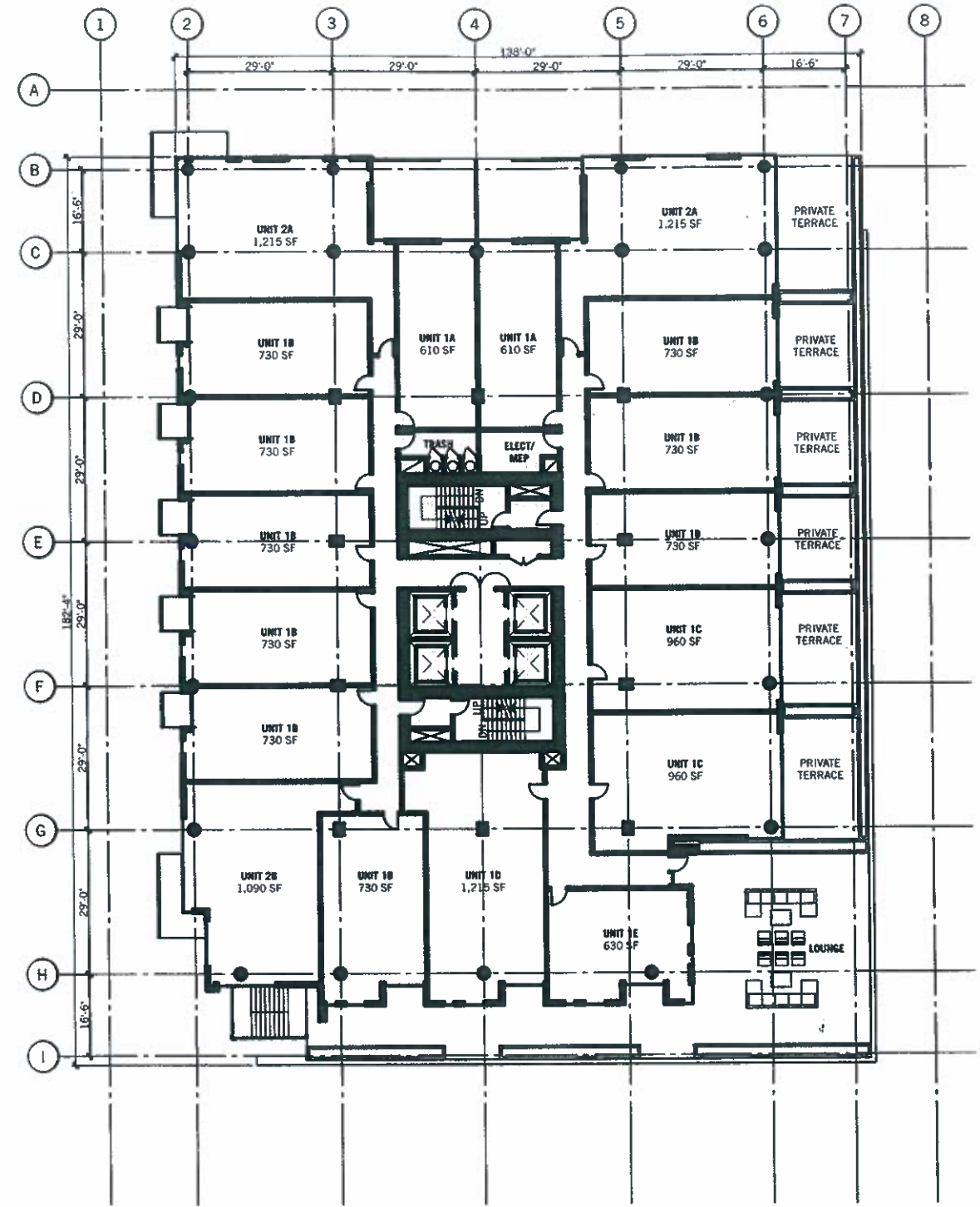
# Shoreline Gateway - West Tower

# Long Beach, California

# Floor Plans



UPPER PARKING LEVEL - FLOOR P2  
FLOOR 3 SIMILAR

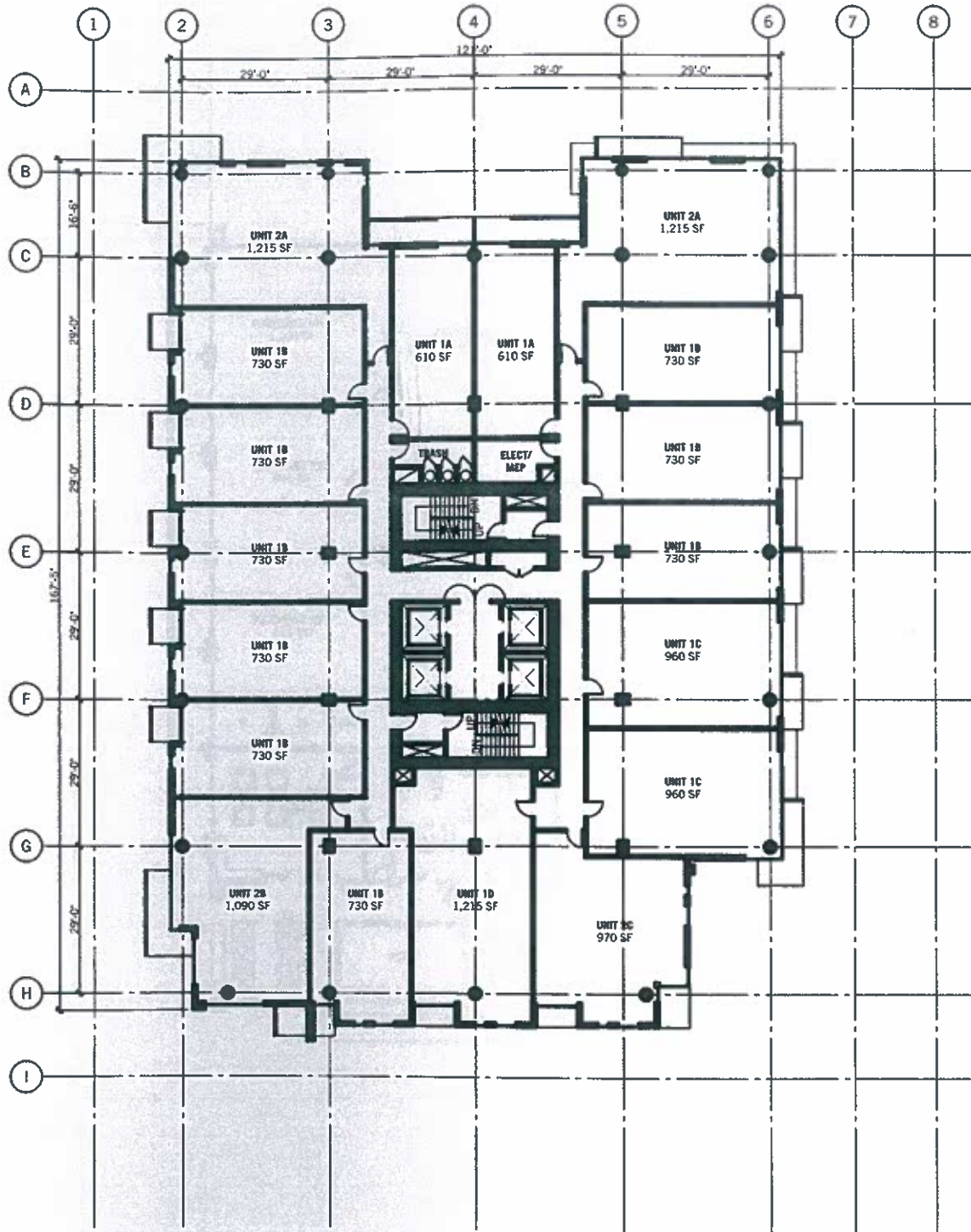


PODIUM TERRACE LEVEL - FLOOR 4

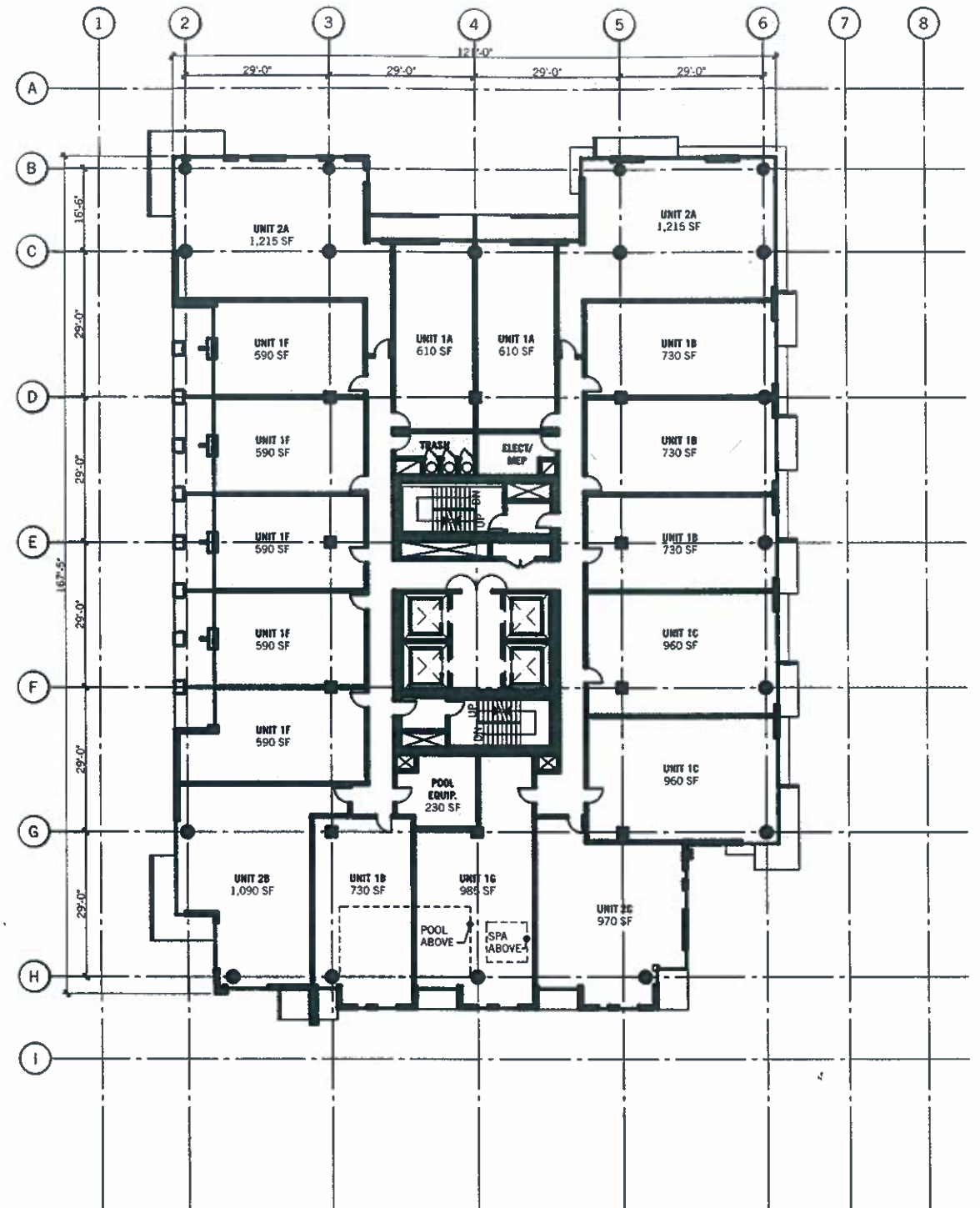
# Shoreline Gateway - West Tower

# Long Beach, California

# Floor Plans



TYPICAL RESIDENTIAL LEVEL - FLOOR 5  
FLOORS 6-14 SIMILAR



RESIDENTIAL LEVEL - FLOOR 15

# Shoreline Gateway - West Tower

# Long Beach, California

# Floor Plans

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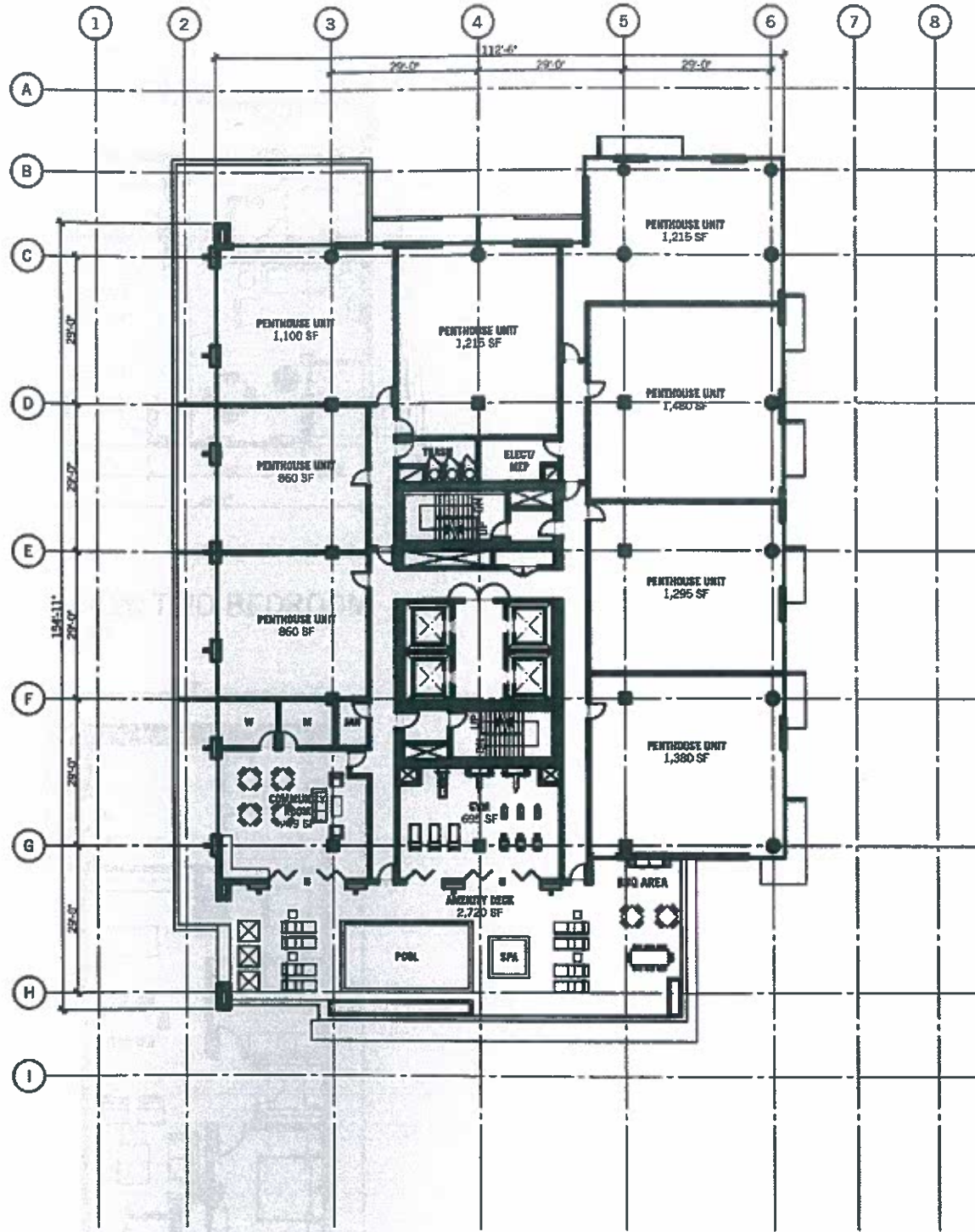


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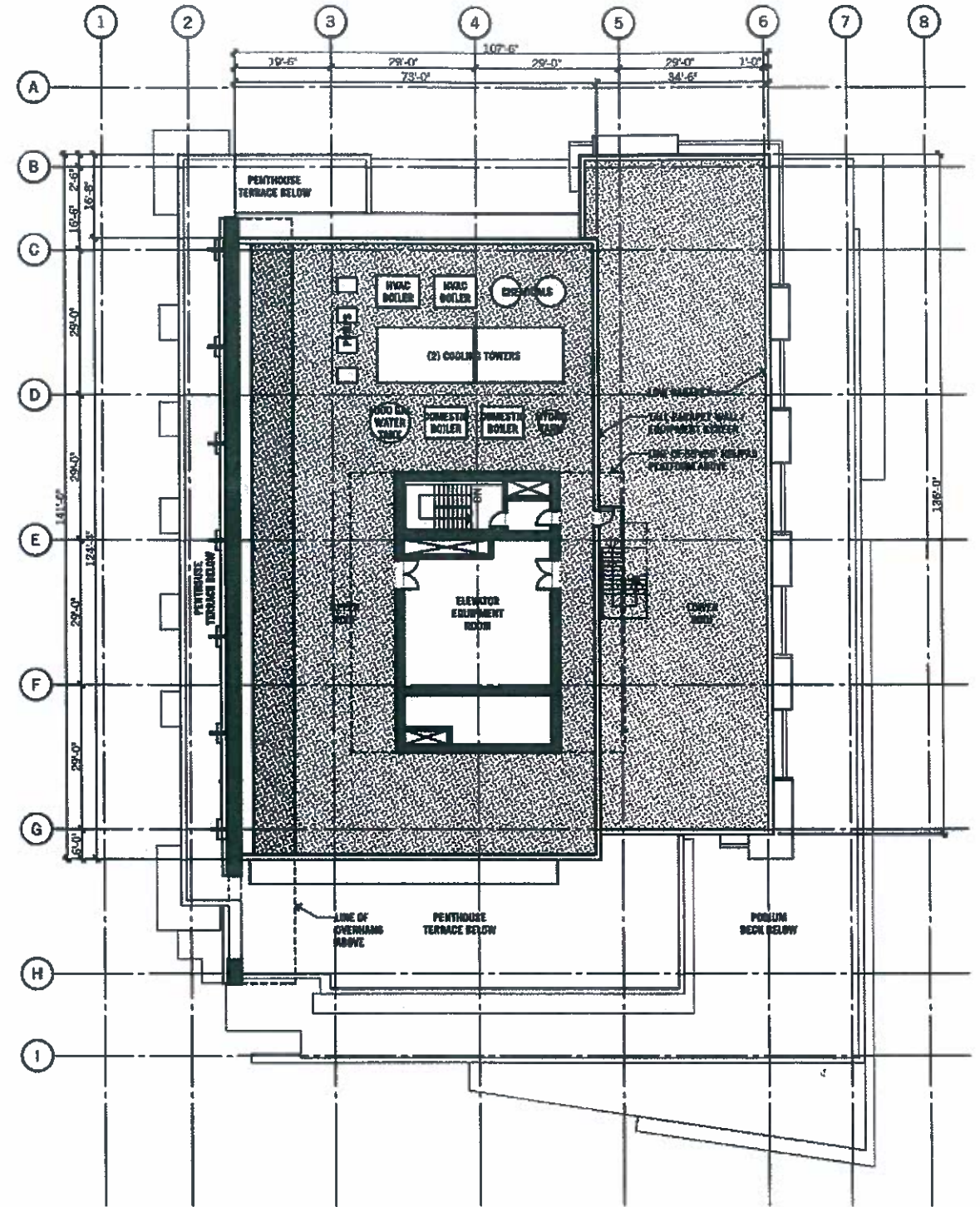
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**A2.30**



**PENTHOUSE LEVEL - FLOOR 16**

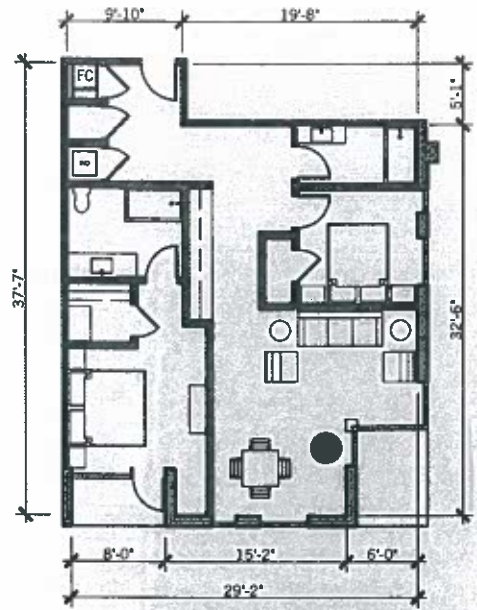


**ROOF PLAN - FLOOR 17**

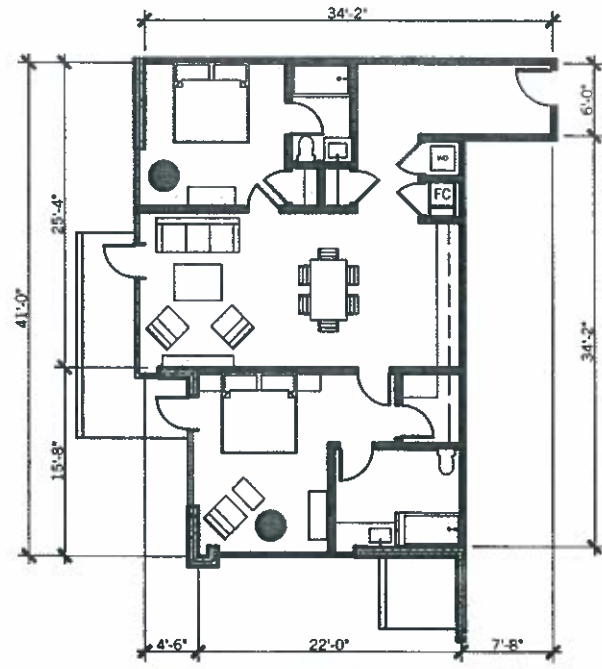
**Shoreline Gateway - West Tower**

**Long Beach, California**

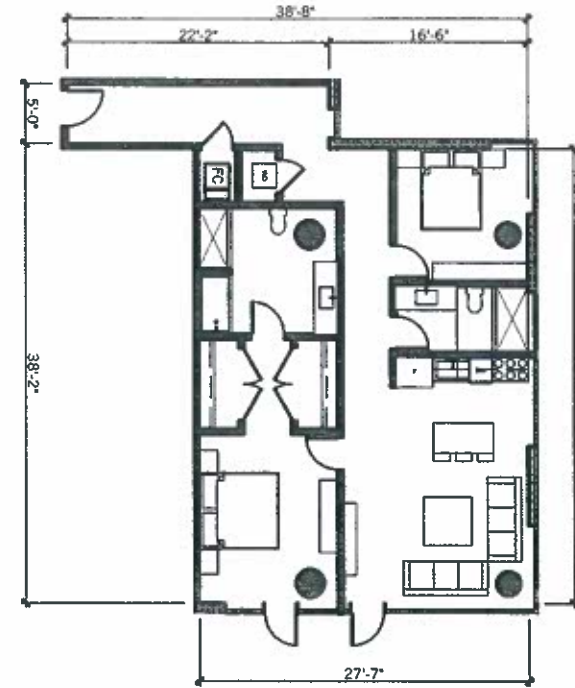
**Roof Plan**



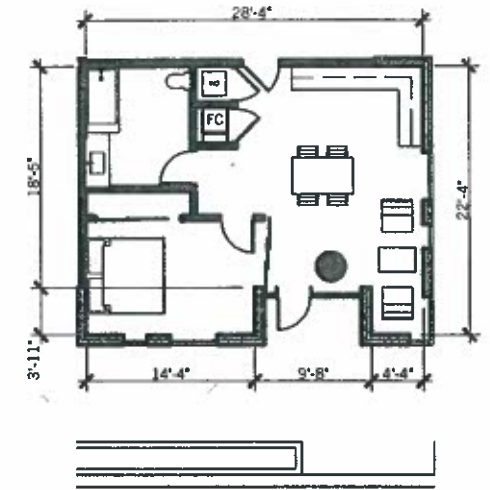
**UNIT 2C TWO BEDROOM**  
970 gsf



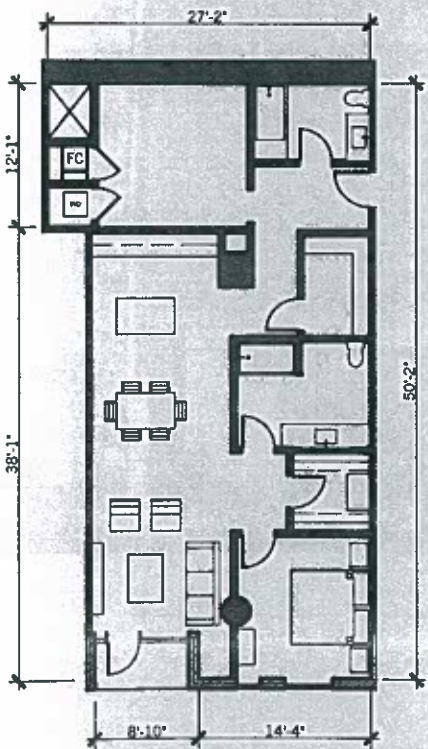
**UNIT 2B TWO BEDROOM**  
1,090 gsf



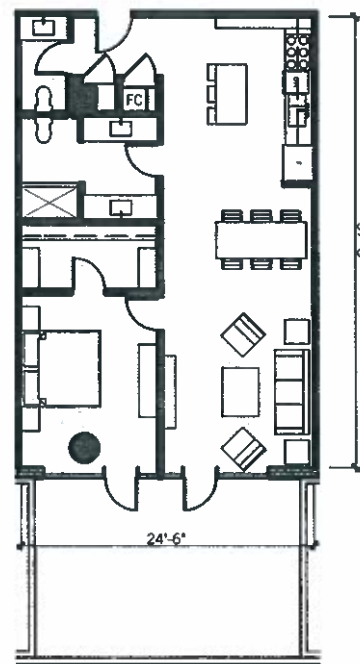
**UNIT 2A TWO BEDROOM**  
1,215 gsf



**UNIT 1E ONE BEDROOM**  
630 gsf



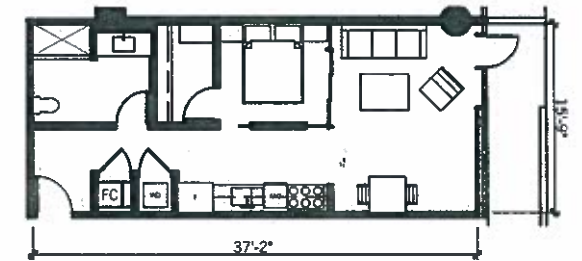
**UNIT 1D ONE BEDROOM**  
1,215 gsf



**UNIT 1C ONE BEDROOM**  
960 gsf



**UNIT 1B ONE BEDROOM**  
730 gsf



**UNIT 1A ONE BEDROOM**  
610 gsf

Shoreline Gateway - West Tower

Long Beach, California

Unit Plans



**South Elevation**



**Materials Legend**

- |                                     |                           |                                    |   |
|-------------------------------------|---------------------------|------------------------------------|---|
| ① Smooth Cement Board, Painted      | ⑤ Painted Aluminum Panel  | ⑨ Painted Aluminum Panel at Garage | ⑬ Composite Architectural Precast Panel |
| ② Smooth Cement Board, Painted      | ⑥ Painted Aluminum Panel  | ⑩ Painted Aluminum Panel at Garage | ⑭ Composite Architectural Precast Panel |
| ③ Anodized Aluminum Window Mullions | ⑦ Clear Low E Glazing     | ⑪ Painted Aluminum Panel at Garage | ⑮ Composite Architectural Precast Panel |
| ④ Painted Aluminum Panel            | ⑧ Painted Aluminum Awning | ⑫ Painted Aluminum Panel at Garage | ⑯ Wood Planks at Penthouse Balconies    |

**Shoreline Gateway - West Tower**

**Long Beach, California**

**Building Elevations**



**North Elevation**



**West Elevation**

**Materials Legend**

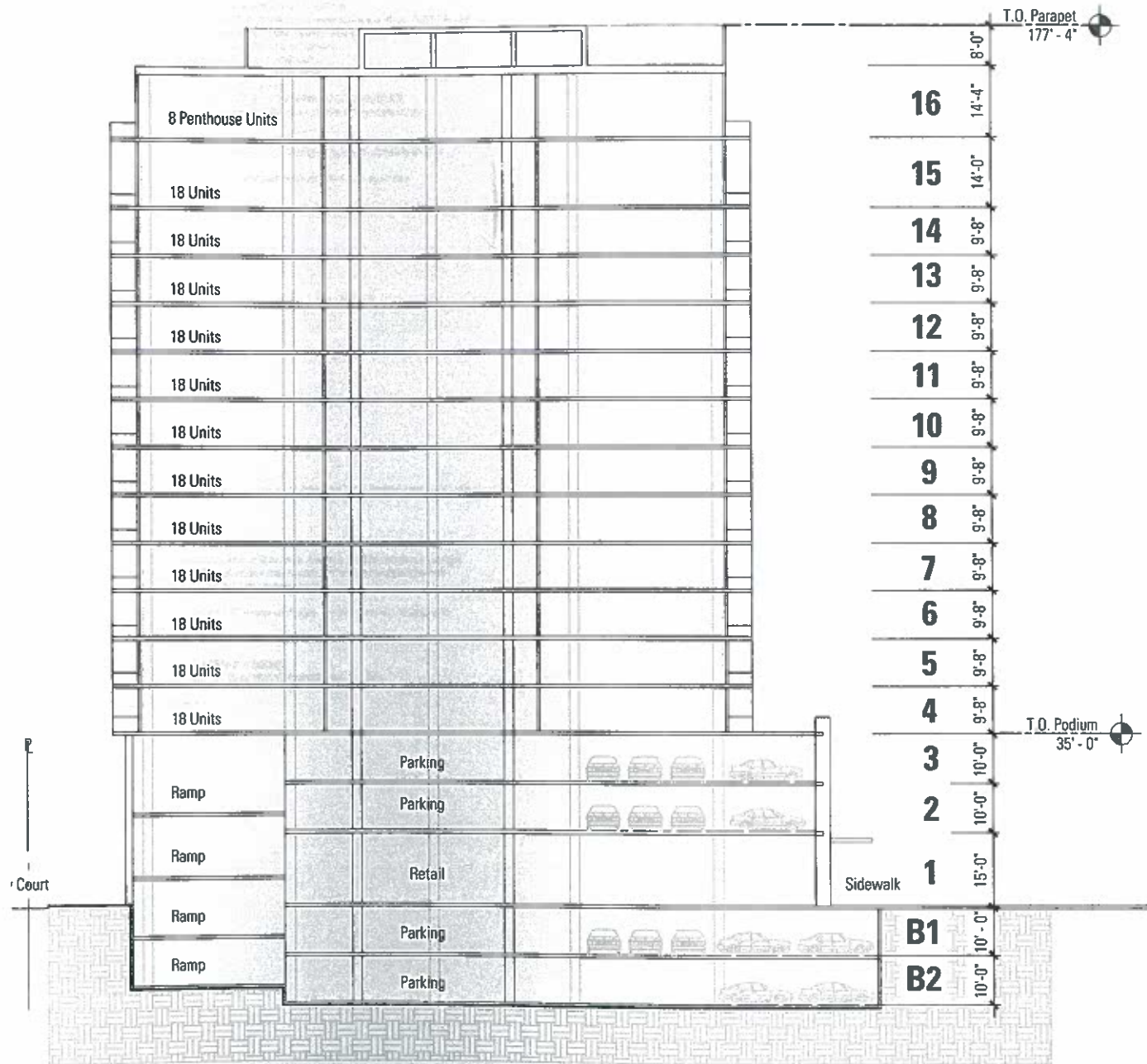
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|-------------------------------------|---------------------------|------------------------------------|---|
| ① Smooth Cement Board, Painted      | ⑤ Painted Aluminum Panel  | ⑨ Painted Aluminum Panel at Garage | ⑬ Composite Architectural Precast Panel |
| ② Smooth Cement Board, Painted      | ⑥ Painted Aluminum Panel  | ⑩ Painted Aluminum Panel at Garage | ⑭ Composite Architectural Precast Panel |
| ③ Anodized Aluminum Window Mullions | ⑦ Clear Low E Glazing     | ⑪ Painted Aluminum Panel at Garage | ⑮ Composite Architectural Precast Panel |
| ④ Painted Aluminum Panel            | ⑧ Painted Aluminum Awning | ⑫ Painted Aluminum Panel at Garage | ⑯ Wood Planks at Penthouse Balconies    |

**Shoreline Gateway - West Tower**

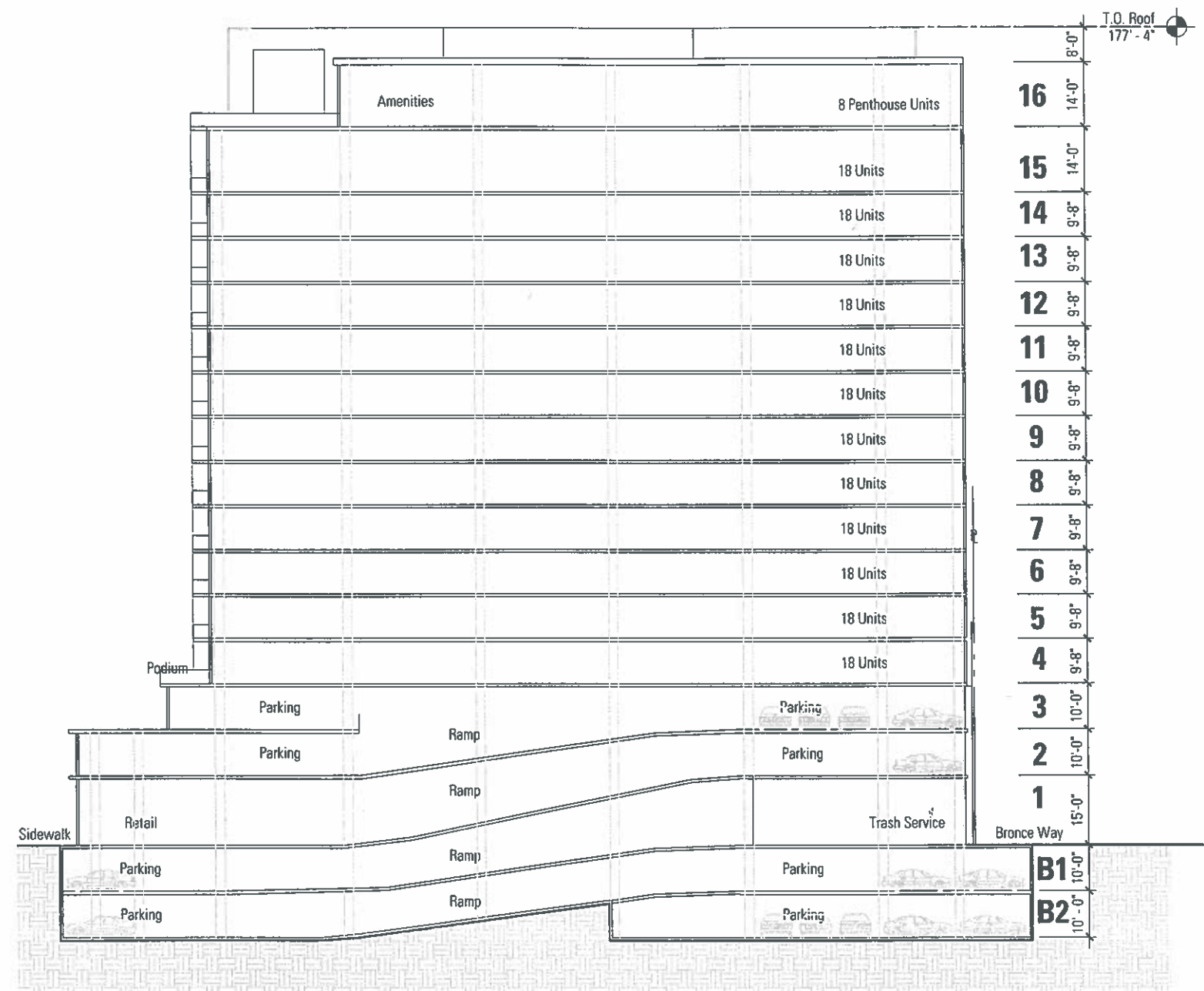
**Long Beach, California**

**Building Elevations**





East West Section



North South Section

# Shoreline Gateway - West Tower

# Long Beach, California

# Building Sections

Section	Title
I	BUILDING EXTERIOR ENVELOPE
II	INTERIOR PARTITIONS AND FLOOR/CEILING ASSEMBLIES
III	TYPICAL INTERIOR MATERIALS & FINISHES
IV	ENTRY LOBBY / STAFF LOUNGE: MATERIALS & FINISHES
V	LOADING AREA: MATERIALS & FINISHES

**Notes:**

- Alternate finishes and systems are italicized.
- The building is a Type IA, fully sprinklered, non-separated occupancy building.
- OSHA requires that the building be provided with a permanent window-washing system. Based on the building configuration, we assume both roof and ground rigging, with davits on the roof, 18" floor terraces, 5" level podium, and some of the projecting concrete canopies.
- Operable windows shall be assumed at all units for natural ventilation.
- Recycled content of all materials shall be maximized wherever possible.
- Low or Zero V.O.C. products shall be used at all interior spaces.
- Paints + Coatings shall comply with Green Seal SxSx, GS 11 (10/19/00) and GS 03 (01/07/97).
- All Carpet, cushions and Adhesives shall comply with the CRI Green Label Plus/Green Label testing procedures.
- FSC Certified lumber shall be used wherever possible.
- All certifications to demonstrate compliance with and / or equivalency to applicable standards shall be provided by the manufacturer.
- Manufacturer shall provide a single source warranty for all product systems where applicable.

**I. BUILDING EXTERIOR ENVELOPE**

**A. Exterior Walls**

- Type IA Construction - Concrete structure per structural specification / narrative.
  - Above Grade Aluminum Panel Walls  
Kynar-coated aluminum plate panels, clip mounted to exterior non-load bearing studs. Wet seal gaps between aluminum panels. For waterproofing and thermal insulation, see Sections B and D.  
*Alternate: Use same specs as IA 1-c- Above Grade Cement Plaster Walls*
  - Above Grade Aluminum Panel Walls at Parking Levels  
Kynar-coated aluminum panels with integral structural frame. Clip mount to concrete slab edges. 4-6 colors T.B.D.
  - Above Grade Cement Plaster Walls  
3 coat Portland cement plaster consisting of scratch coat, brown coat with acrylic additive, adhesive leveling coat to embed continuous reinforcing fabric (Parsa/Lafabra standard reinforcing mesh, 4.5 oz/sq. yd), and 100% acrylic trowelable finish coat by Parox La Habra 533 sand smooth finish or equal. To minimize the appearance of control joints, apply finish coat over the vee-groove of expansion joint. Cement plaster applied over sheathing and steel studs typical and applied over cmu walls at ground floor service areas (Trash, Mechanical, Storage Rooms, etc.) For water-resistive membrane, see Section D.
  - Below Grade walls: Concrete cast in place walls per structural drawings. For waterproofing, see Section B.

**B. Waterproofing and Water-Resistive Membrane**

Note: Preliminary waterproofing outlines below is based on BAR's previous experience with similar multi-family projects. Waterproofing consultant to provide manufacturer and systems recommendations for project in the next phase of documentation. Outline based on positive side waterproofing.

- Walls Below Grade:
  - Bentonite based waterproofing membrane such as CETCO's Voltex DS or rubberized asphaltic membrane waterproofing such as Grace Bituthene 3000
  - Foundation drainage per geotechnical recommendations.
- Walls Above Grade:
  - Water-resistive barrier such as Grace Perm-A-Barrier. Use of Perm-A-Barrier may require condensation mitigation to be coordinated with Mechanical Engineer.
- Mat Slab Waterproof Membrane:
  - Select membrane based on compatibility with below-grade wall waterproof membrane. Sandwich mat slab waterproof membrane between minimum 2" working slab and minimum 4" reinforced protection slab.

**C. Roofing**

- Podium Waterproofing at Landscaped Podium (exclusive of private terraces)
  - Hardscape composed of a combination of wood and concrete decking over pedestal pavers, 5-sided, independently drained concrete planters, and low-planting over an enhanced drainage mat such as Vesprol VersiCell or equal.

- Over a min. 3/4" per foot sloped structural slab, install a hot fluid-applied rubberized asphalt waterproofing, including drainage layer and protection board, such as American Hydrotech's Monolithic Membrane 6125-EV Fabric Reinforced or equal.
- Podium Waterproofing at Level 2 (Retail Roof)
    - Reinforced concrete topping (min. 3 1/2" thick), capable of supporting vehicular load
    - Over a min. 3/4" per foot sloped structural slab, install a hot fluid-applied rubberized asphalt waterproofing, including drainage layer and protection board, such as American Hydrotech's Monolithic Membrane 6125-EV Fabric Reinforced or equal.
    - Roof drains connected to a sand/grease interceptor
  - Residential Terraces over Habitable Living Space (Penthouse Level and Podium Level 4)
    - Wood or concrete decking over pedestal pavers
    - Over a min. 3/4" per foot sloped structural slab, install a hot fluid-applied rubberized waterproofing, including drainage layer and protection board, such as American Hydrotech's Monolithic Membrane 6125-EV Fabric Reinforced or equal

**D. Thermal Insulation**

- Roof at Level 17
  - Roofing and roof accessories to meet Factory Mutual 4450 and 4470 requirements for wind and hail resistance for the project location and design wind load.
  - Provide Class A built-up asphalt roofing with cool roof capsheet over cellular insulating concrete such as Johns Manville Specification No. 5GLC CR or equal
  - Provide roof walkway pads to window washing davits, rooftop mechanical equipment, and path of travel to stair(s) and helipad.
- Roof at Level 17
  - Roofing and roof accessories to meet Factory Mutual 4450 and 4470 requirements for wind and hail resistance for the project location and design wind load.
  - Provide Class A built-up asphalt roofing with cool roof capsheet over cellular insulating concrete such as Johns Manville Specification No. 5GLC CR or equal
  - Provide roof walkway pads to window washing davits, rooftop mechanical equipment, and path of travel to stair(s) and helipad.

**E. Doors and Windows**

Note: Window walls shall comply with the minimum requirements for air infiltration, water infiltration, and water penetration as appropriate for a high-rise building located in a coastal environment.

- Exterior Entry Door:
  - Custom, power assisted, stainless steel clad thermally broken aluminum door
- Typical Exterior Window Wall Windows
  - Windows at Tower: Thermally broken aluminum window walls, kynar-finish, 6" deep sections capable of resisting typical wind load and deflection load for 18-story building in coastal environment
  - Storefront at ground level: Aluminum storefront window, thermally broken, kynar-finish, 6-8" deep section with integral storm-class louvers for restaurant, café, and retail spaces.
- Glazing
  - To meet energy efficiency goals, we recommend Solartan 700L  
*Alternate glazing as specified in Mechanical Narrative*
  - All windows and doors to be dual-glazed
  - Provide acoustically rated window assemblies as required to meet Acoustical Report
  - Provide safety glazing as required by Code.

- Exterior Railings
  - Glass Rails: laminated glass with patterned interlayer. Glass mounted within a painted aluminum frame supported on standoffs mounted to the face of the post-tensioned slabs.
  - Solid Rails: See Section I-A10

**II. INTERIOR PARTITIONS AND FLOOR / CEILING ASSEMBLIES**

**A. Interior Partitions**

- Type IA Construction
  - 1 or 2 hour fire rated construction
  - Non-load bearing steel stud framing.
  - (1 or 2 layers based on rating requirements) 5/8" Type X gypsum board, typical.
  - Specific assemblies to be determined in the next phase.
  - 2-hr rated shaft liner walls using 4" CH studs
  - 1-hr cavity walls at unit party walls consisting of (2) layers of 5/8" Type X gypsum board over 3 5/8" steel stud with a 2 25" air gap next to 3 5/8" steel studs with (2) layers of 5/8" Type X gypsum board

**B. Soffited Ceilings**

- Non-rated gypsum board suspended ceilings at bathrooms
- 2-hour rated gypsum board soffits at transfer shafts within units

**III. TYPICAL INTERIOR MATERIALS & FINISHES**

**A. Interior Doors**

- Typical Residential Units
  - Solid core flush doors at unit bathrooms and bedrooms
  - Finish: Painted or stained.

**2. Typical in Parking and Mechanical**

- Painted flush hollow steel doors with insulated cores, fire-rated as required

**3. Entry Lobby and Amenity Spaces**

- Clear finish.

**B. Stair Construction**

- Egress and Service Stairs: Steel stair system with steel risers and concrete filled steel pan treads, with non slip finish, and steel handrail and guardrail. Acceptable manufacturers: American Stair Corporation or equal

**C. Cabinets and Millwork**

- Typical Cabinet Construction: plastic laminate faced casework, Studio Becker "Collection 9" or equal.
  - Door style: Forum Flat Slab Door
  - Finish: High quality laminates including #D Textured wood laminates
  - Full extension glides at all drawers
  - End panels and soffit panels to match face panels

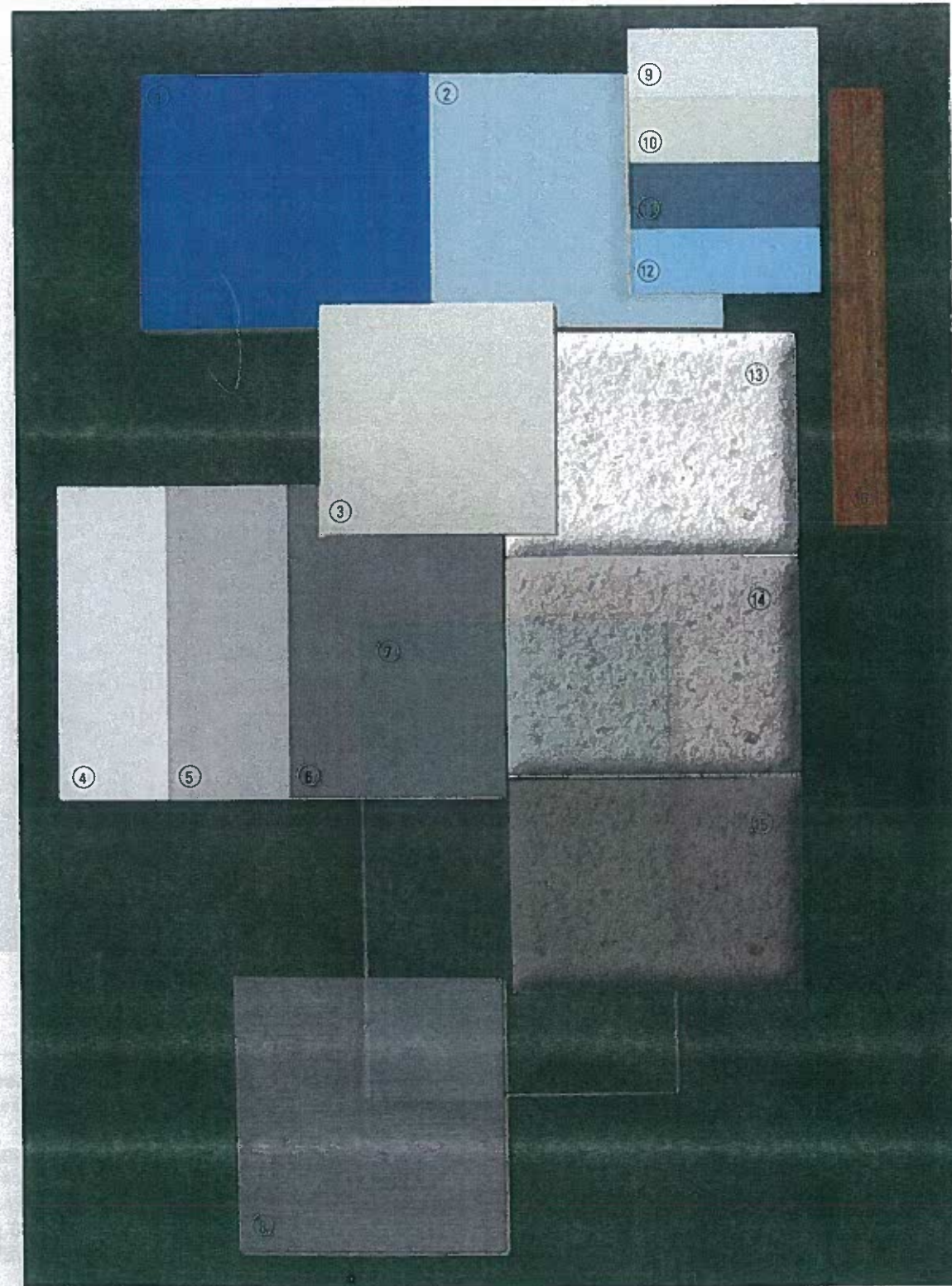
**D. Vertical Transportation**

- Passenger Elevator: Code-compliant elevator to serve all floor levels. Gearless, machine roomless passenger elevator, with center opening doors. 4000 lb. capacity (per code requirement to accommodate a gurney) Speed: 350 feet per minute. Provide with code-required emergency power.
  - Cab height & finishes: 10' car height for a 9'-0" interior cab height. Standard interiors package with wood paneling and 6-recessed down lights.

**IV. LEASING OFFICE AND AMENITY SPACES INTERIOR FINISHES**  
LEASING OFFICE AND AMENITY INTERIOR FINISHES TO BE PROVIDED IN NEXT MILESTONE.

**V. LOADING AREA: MATERIALS & FINISHES**

- A. Loading Dock**
- Floors: sealed concrete.
  - Walls: painted cmu or sealed concrete



**Materials Legend**

- ① Smooth Cement Board, Painted
- ② Smooth Cement Board, Painted
- ③ Anodized Aluminum Window Mullions
- ④ Painted Aluminum Panel
- ⑤ Painted Aluminum Panel
- ⑥ Painted Aluminum Panel
- ⑦ Clear Low E Glazing at Window Wall and Exterior Balconies
- ⑧ Painted Aluminum Awning
- ⑨ Painted Aluminum Panel at Garage
- ⑩ Painted Aluminum Panel at Garage
- ⑪ Painted Aluminum Panel at Garage
- ⑫ Painted Aluminum Panel at Garage
- ⑬ Composite Architectural Precast Panel
- ⑭ Composite Architectural Precast Panel
- ⑮ Composite Architectural Precast Panel
- ⑯ Wood planks at Penthouse Balconies

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**Materials**