



CITY OF LONG BEACH

DEPARTMENT OF DEVELOPMENT SERVICES

333 West Ocean Blvd., 3rd Floor Long Beach, CA 90802 (562) 570-5237 Fax: (562) 570-6205

July 23, 2013

HONORABLE MAYOR AND CITY COUNCIL
City of Long Beach
California

RECOMMENDATION:

Receive the supporting documentation into the record, conclude the public hearing, consider the appeal from Debora Dobias, and uphold the decision of the Planning Commission to approve a Site Plan Review for the west phase of the Shoreline Gateway Project, consisting of a 17-story, 224-unit residential tower with 9,182 square feet of retail space and 275 parking spaces, located at 635 East Ocean Boulevard located in PD-30 (Downtown Plan). (District 2)

DISCUSSION

On May 16, 2013, the Planning Commission conducted a public hearing on the Site Plan Review request for the west phase of the Shoreline Gateway Project, consisting of a 17-story, 224-unit residential tower with 9,182 square feet of retail space and 275 parking spaces, located at 635 East Ocean Boulevard (Exhibit A –Plans and Photographs). After considering testimony from the public and applicant, the Planning Commission received the supporting documentation into the record, concluded the hearing, and voted 3-0-1 (Chair Blair recused and Commissioners Fox, Smith and Campbell absent) to approve the Site Plan Review, subject to conditions (Exhibit B – Findings and Conditions of Approval). An appeal to the Planning Commission decision was filed within the appeal period. The reason stated for the appeal is that the project does not provide adequate parking (Exhibit C – Appeal). The project provides code required parking per the Downtown Plan standards. The City does not have the ability to require the developer to provide parking in excess of that required by code.

The subject property is a 0.7-acre site located at the northwest corner of Ocean Boulevard and Lime Avenue and is currently developed with a vacant 33-unit apartment building and surface parking lot. The applicant is requesting approval of a Site Plan Review application for the west phase of the Shoreline Gateway project that consists of a 17-story, 224-unit residential tower with 9,182 square feet of retail space and 275 parking spaces.

Following is the history of key milestones related to the proposed project:

- July 2006 – The Redevelopment Agency Board certified EIR 18-05 for the originally designed 3-building, 358-unit project.

HONORABLE MAYOR AND CITY COUNCIL

July 23, 2013

Page 2

- November 5, 2007 – The Redevelopment Agency Board certified a Supplemental EIR and Stage III design approval was granted.
- July 2007 – The revised project was presented to the Planning Commission as an information item.
- November 15, 2007 – Planning Commission approved the Shoreline Gateway Master Plan that included a Tentative Tract Map, General Plan Conformity Finding, Administrative Use Permit and Site Plan Review for the 35-story east tower. These entitlements are still in effect. It was anticipated that the east tower would be developed as phase 1; as such, Site Plan Review for the west tower was not granted at the time.
- December 2011– The Downtown Plan EIR was certified.
- January 2012 - The Downtown Plan was approved by the City Council and went into effect in February 2012. The plan included design guidelines to increase the quality of design and materials used throughout the Downtown area. In addition, the Downtown Plan revised parking standards for both residential and commercial land uses.
- February 2012 – The Long Beach Redevelopment Agency is dissolved pursuant to State Legislation AB 1X 26.
- March 2013 – The State of California Department of Finance approved the Amended and Restated Owner Participation agreement between the City of Long Beach Successor Agency and the applicant to allow the property transaction to move forward.

The project is designed to meet all Downtown Plan code standards including height, setbacks, open space and parking. Specific to parking, the development is required to provide 266 on-site parking spaces per code based on the requirement of 1.25 parking spaces/residential unit (280 spaces) minus a five percent Transit Oriented Development credit (14 spaces). A total of 275 parking spaces are provided within the subterranean garage.

The project also meets all design guideline standards for the Downtown Plan. It is contemporary in style and utilizes smooth cement panels, architectural pre-cast panels, aluminum panels and glass as the primary materials. The building is designed to provide visual interest from all four sides by including varying materials, colors and architectural planes, and is complementary to the previously approved 35-story east tower.

The proposed Site Plan Review does not result in any additional impacts that were identified in either the previously certified project Environmental Impact Report (EIR 18-05) or the Downtown Plan Program EIR. Therefore, in accordance with the Guidelines for Implementation of the California Environmental Quality Act (CEQA), this project was previously assessed.

For the reasons stated above, staff recommends approval of this project and a denial of the appeal of the Planning Commission's decision.

This matter was reviewed by Assistant City Attorney Michael Mais on July 2, 2013 and by Budget Management Officer Victoria Bell on July 8, 2013.

TIMING CONSIDERATIONS

The Municipal Code Section 21.21.504 requires City Council action within 60 days of receiving an application for appeal. The appeal was received on May 24, 2013.

FISCAL IMPACT

There is no fiscal or local job impact as a result of the recommended action.

SUGGESTED ACTION:

Approve recommendation.

Respectfully submitted,



AMY J. BODEK, AICP
DIRECTOR OF DEVELOPMENT SERVICES

APPROVED:



PATRICK H. WEST
CITY MANAGER

AB: DB: JW

P:\Planning\City Council Items (Pending)\Council Letters\2013\2013-07-23\DS-635 Ocean Boulevard council letter.v3.final.doc

Attachments: Exhibit A - Plans and Photographs
Exhibit B - Findings and Conditions of Approval (05/16/2013)
Exhibit C - Appeal

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Shoreline Gateway - West 1

EXHIBIT A

Long Beach, California

April 26, 2013

Planning Commission Submittal

Project Information

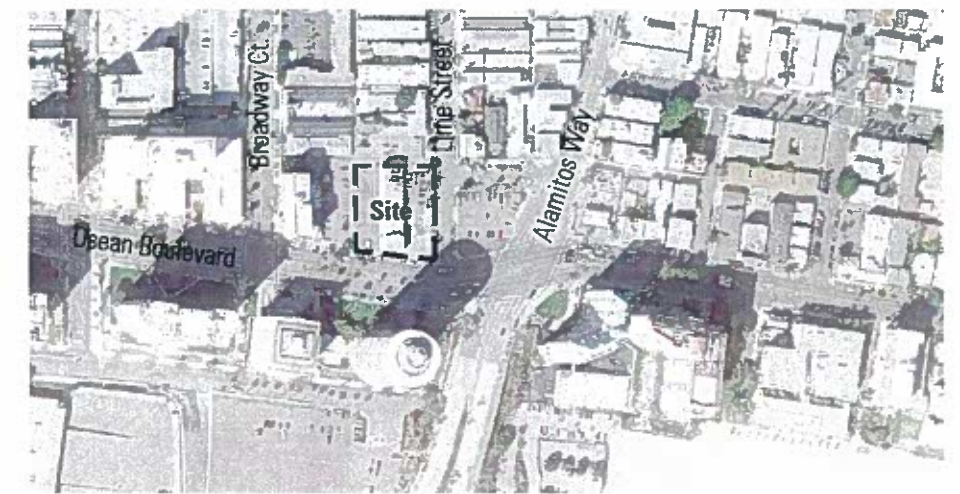
Description:
Proposed use is for one eighteen story mixed-use residential tower with neighborhood serving retail and a public plaza.

Lot Area:
0.7 acre (30,400 sf)

Construction Type:
Type 1A

Project Address:
619 - 645 East Ocean Boulevard
Long Beach, CA 90045

Vicinity Map



Sheet Index

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A1.40 Illustrative Penthouse Plan	A4.00 Architectural Design Narrative
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A2.50 Unit Plans	

Project Team

Owner	Contractor	Contractor	Architect	Architect	Structural Engineer	MEP Consultant
Shoreline Gateway LLC	Ledcor Group	DW Driver	BAR Architects	Rockefeller Partners Architects, Inc.	Nabih Youssef Associates	Donald F. Dickerson Associates
James Anderson Ryan Altoon 6701 Center Dr. West Suite 710 Los Angeles, CA 90045 310.689.2300	Pat Patterson 9790 Irvine Center Dr Suite 100 Irvine, CA 92618 949.756.8467	Brian Chartrand 15615 Alton Parkway Suite 350 Irvine, CA 92618 949.261.5100	Chris Haegglund Jung Suh 543 Howard Street San Francisco, CA 94105 415.293.5700	Rocky Rockefeller Christopher Kempel 201 Arena St. El Segundo, CA 90245 310.335.6000	Nabih Youssef Ryan Wilkerson 800 Wilshire Blvd. Suite 200 Los Angeles, CA 90017 213.362.0707	April Trafton 6840 Hayvenhurst Ave. 2nd Floor Van Nuys CA 91406 818.385.3600

Shoreline Gateway - West Tower

Long Beach, California

Cover Sheet

BAR ARCHITECTS

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SHORELINE GATEWAY, LLC
ANDERSONPACIFIC

NABIH YOUSSEF ASSOCIATES
DRIVER URBAN

LED COR GROUP

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Floor 1 - Area Summary

Residential Lobby	1,527
Elevator Lobby	398
Leasing Office	654
Retail Space	2,636
Retail/Restaurant	5,540
Café/Retail	1,006
Tenant Storage	2,851
Stair/ Service	2,457
Trash Chute Room	470
Trash Service Room	725
Electrical Room	497
Transformer Vault	886
Parking Ramps	3,993
Podium Stair	118
Total	23,758

Gross Area & Parking Summary

Floor Level	Floor Description	Residential Areas				Retail Areas		Parking Areas		Total	Exterior Areas			Floor Level	Parking Spaces
		Units	Circulation/ Leasing Trash/Service/Lobby*	Amenity Spaces	Leasable Space	Service & Circulation	Parking Garage	Private Terraces	Podium Deck		Total				
17	Roof/ Mechanical	-	11,985	-	-	-	-	11,985	17	-	-	0	17	0	
16	Penthouse/ Amenity	11,871	2,625	4,278	-	-	-	18,774	16	1,859	2,933	4,792	16	0	
15	Residential/ Amenity	16,442	2,528	230	-	-	-	19,200	15	1,639	-	1,639	15	0	
14	Typical Residential	16,810	2,554	-	-	-	-	19,364	14	1,179	-	1,179	14	0	
13	Typical Residential	16,872	2,554	-	-	-	-	19,426	13	1,179	-	1,179	13	0	
12	Typical Residential	16,803	2,554	-	-	-	-	19,357	12	1,179	-	1,179	12	0	
11	Typical Residential	16,865	2,554	-	-	-	-	19,419	11	1,179	-	1,179	11	0	
10	Typical Residential	16,796	2,554	-	-	-	-	19,350	10	1,179	-	1,179	10	0	
9	Typical Residential	16,858	2,554	-	-	-	-	19,412	9	1,179	-	1,179	9	0	
8	Typical Residential	16,789	2,554	-	-	-	-	19,343	8	1,179	-	1,179	8	0	
7	Typical Residential	16,851	2,554	-	-	-	-	19,405	7	1,179	-	1,179	7	0	
6	Typical Residential	16,792	2,544	-	-	-	-	19,336	6	1,114	-	1,114	6	0	
5	Typical Residential	16,844	2,554	-	-	-	-	19,398	5	1,179	-	1,179	5	0	
4	Typical Residential/Podium	18,874	2,814	2,657	-	-	-	24,345	4	3,599	2,694	6,293	4	0	
P3	Podium Parking	-	1,326	-	-	-	-	22,738	P3	-	-	0	P3	54	
P2	Podium Parking	-	1,326	-	-	-	-	22,738	P2	-	-	0	P2	48	
1*	Street Level	-	8,212	-	-	9,182	2,371	23,758	1*	-	-	0	1*	0	
B1	Basement Parking	-	1,358	-	-	-	-	29,885	B1	-	-	0	B1	83	
B2	Basement Parking	-	1,358	-	-	-	-	29,885	B2	-	-	0	B2	90	
Total		215,467	59,062	7,165	9,182	2,371		399,771	Total	18,823	5,627	24,449	Total	275 spaces	

* Refer to Floor 1 Area Summar Table

Unit Mix Summary

Name	Description	Units	%	Average Size*
1a	Jr 1 Bed	24	11%	610 gsf
1b	1 Bed	103	45%	730 gsf
1c	1 Bed	24	11%	960 gsf
1d	1+ Bed	11	5%	1215 gsf
1e	1+ Bed	1	0.5%	630 gsf
1f	1+ Bed	5	2%	590 gsf
1g	1+ Bed	1	0.5%	985 gsf
Total One Bedrooms		169	75%	
2a	2 Bed	24	11%	1215 gsf
2b	2 Bed	12	5%	1090 gsf
2c	2+ Bed	11	5%	970 gsf
2ph	PH 2+ Bed	8	4%	1175 gsf**
Total Two Bedrooms		55	25%	
Total Units		224		

* Excludes exterior terraces

** Individual plans vary in size and configuration

Unit Mix Summary - By Floor Level

Floor Level	One Bedroom Units							2 Bedrooms Units				Total
	1a	1b	1c	1d	1e	1f	1g	2a	2b	2c	2ph	
16	0	0	0	0	0	0	0	0	0	0	8	8
15	2	4	2	0	0	5	1	2	1	1	0	18
14	2	9	2	1	0	0	0	2	1	1	0	18
13	2	9	2	1	0	0	0	2	1	1	0	18
12	2	9	2	1	0	0	0	2	1	1	0	18
11	2	9	2	1	0	0	0	2	1	1	0	18
10	2	9	2	1	0	0	0	2	1	1	0	18
9	2	9	2	1	0	0	0	2	1	1	0	18
8	2	9	2	1	0	0	0	2	1	1	0	18
7	2	9	2	1	0	0	0	2	1	1	0	18
6	2	9	2	1	0	0	0	2	1	1	0	18
5	2	9	2	1	0	0	0	2	1	1	0	18
4	2	9	2	1	1	0	0	2	1	0	0	18
Total	24	103	24	11	1	5	1	24	12	11	8	224

Parking Analysis

PROGRAM	CODE	UNIT / AREA	REQUIRED STALLS
RESIDENTIAL:			
1 BR	1.00 SPACE / UNIT	169 UNITS	169 SPACES
2 BR	1.00 SPACE / UNIT	55 UNITS	55 SPACES
SUBTOTAL - NO. OF RESIDENTIAL UNITS :		224 UNITS	
SUBTOTAL - "CODE" REQUIRED NO. OF PARKING STALLS:			224 SPACES
SUBTOTAL - "CLIENT PREFERRED" NO. OF PARKING STALLS:			
GUEST / RETAIL:			
GUEST	0.25 SPACE / UNIT		56.0 SPACES
RETAIL	1.00 SPACE / 1,000 SF	9,182 SF	9.2 SPACES
SUBTOTAL - GUEST / RETAIL REQUIRED:			65.2 SPACES
SUBTOTAL - GUEST / RETAIL PREFERRED:			
TOTAL REQUIRED RESIDENTIAL / GUEST / RETAIL:			289.2 SPACES
TOTAL PREFERRED RESIDENTIAL / GUEST / RETAIL:			
5% T.O.D. DISCOUNT:			
DISCOUNT OF REQUIRED RESIDENTIAL / GUEST / RETAIL:			(14.5) SPACES
DISCOUNT OF PREFERRED RESIDENTIAL / GUEST / RETAIL:			
TOTAL REDUCED + DISCOUNTED REQUIRED RESIDENTIAL / GUEST / RETAIL:			274.7 SPACES
TOTAL REDUCED + DISCOUNTED CLIENT PREFERRED RESIDENTIAL / GUEST / RETAIL:			
ALLOWABLE REDUCTIONS:			
SHARED (REQUIRED) 50%:		56 SPACES	(28) SPACES
SHARED (PREFERRED) 50%:		56 SPACES	
TOTAL REDUCED REQUIRED RESIDENTIAL / GUEST / RETAIL:			246.7 SPACES
TOTAL REDUCED PREFERRED RESIDENTIAL / GUEST / RETAIL:			
PARKING SUMMARY:			
FLOOR LEVEL		PARKING SPACES PROVIDED	
PODIUM	P3 LEVEL 3	54 SPACES	
PODIUM	P2 LEVEL 2	48 SPACES	
GROUND FLOOR	G	0 SPACES	
BASEMENT	B1	83 SPACES	
BASEMENT	B2	90 SPACES	
TOTAL PROVIDED PARKING IN THE BUILDING:		275 SPACES	OK - MEETS "REQUIRED" PARKING
SURPLUS REQUIRED PARKING:		+ 28.3 SPACES SURPLUS	

Shoreline Gateway - West Tower

Long Beach, California

Project Data Sheet

BAR ARCHITECTS

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SHORELINE GATEWAY, LLC
ANDERSONPACIFIC LLC

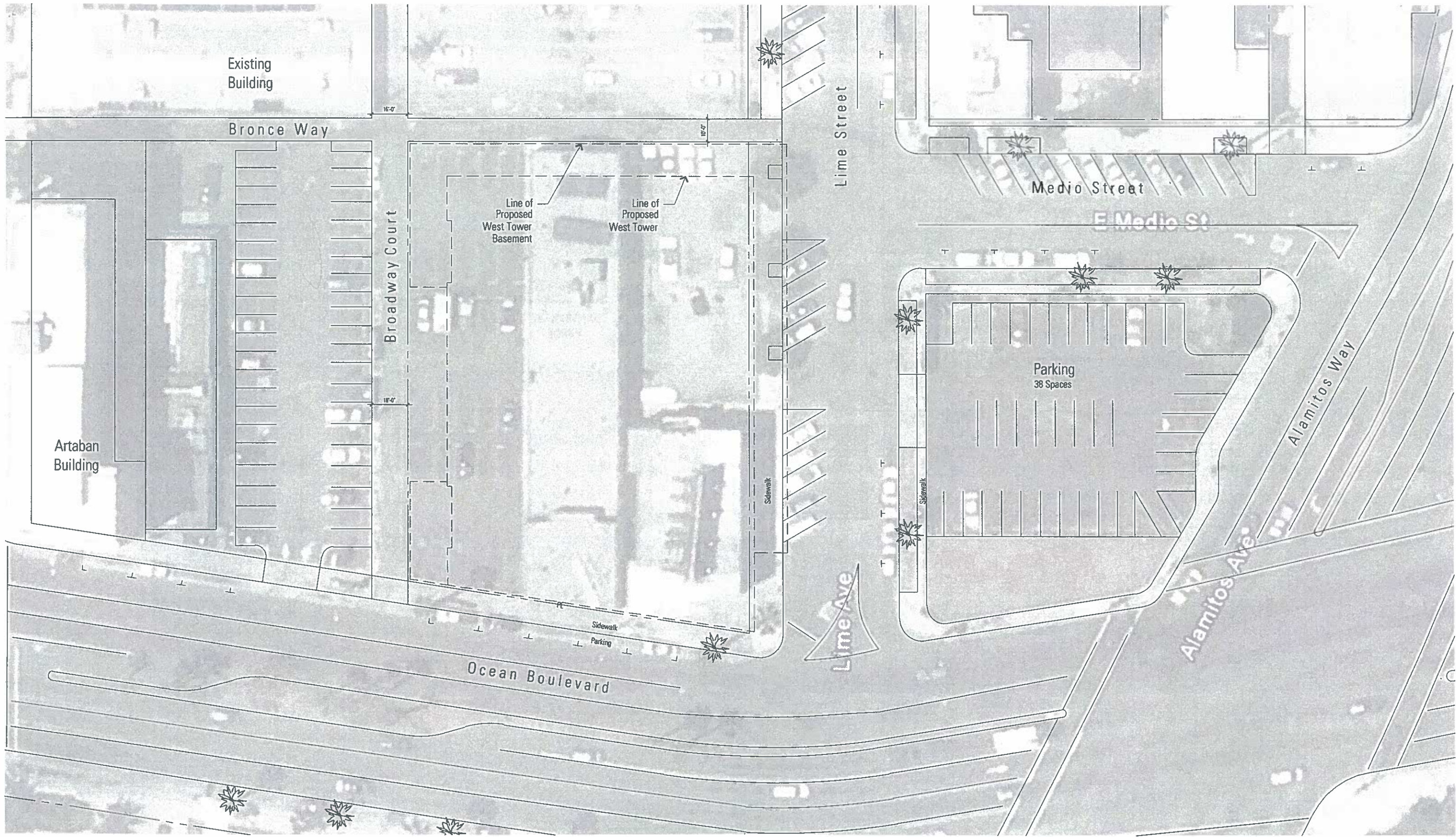
NABIH YOUSSEF ASSOCIATES
DRIVER URBAN



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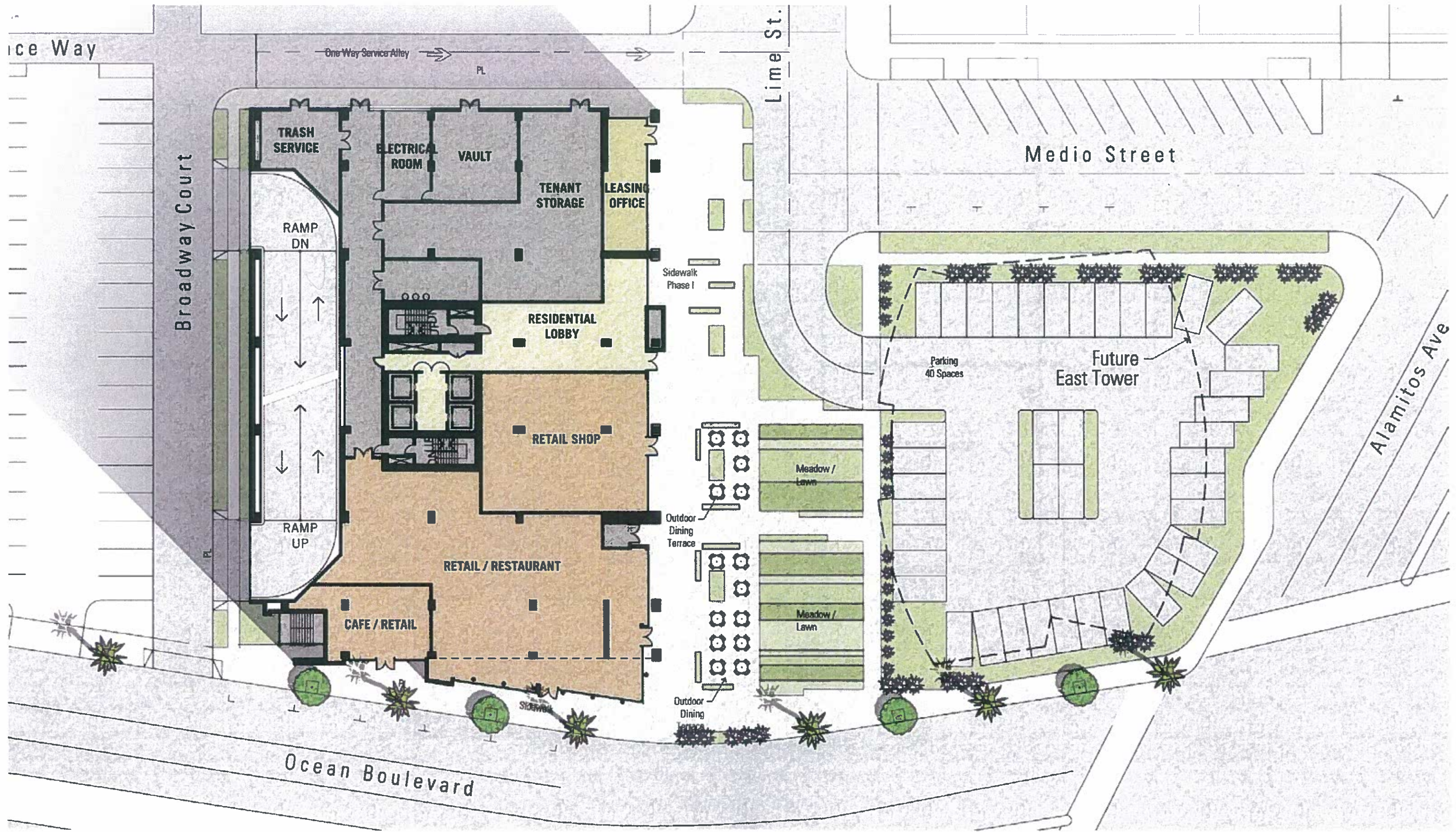


Shoreline Gateway - West Tower

Long Beach, California

Existing Site Plan

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Shoreline Gateway - West Tower

Long Beach, California

Illustrative Phase One Site Plan / Landscape Plan

BAR ARCHITECTS

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ANDERSONPACIFIC

NABIH YOUSSEF
ASSOCIATES
STRUCTURAL ENGINEERS
Driver URBAN
INSTITUTE OF URBAN DESIGN



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South East Corner



North East Corner



South West Corner



North West Corner

Shoreline Gateway - West Tower

Long Beach, California

Perspective Views



Aerial View of Podium Deck and Plaza



View of Plaza at South East Corner

Shoreline Gateway - West Tower

Long Beach, California

Perspective Views



Aerial View from the South East



Aerial View from the South West

Shoreline Gateway - West Tower

Long Beach, California

Aerial Perspective Views



Aerial View from the North West



Aerial View from the North East

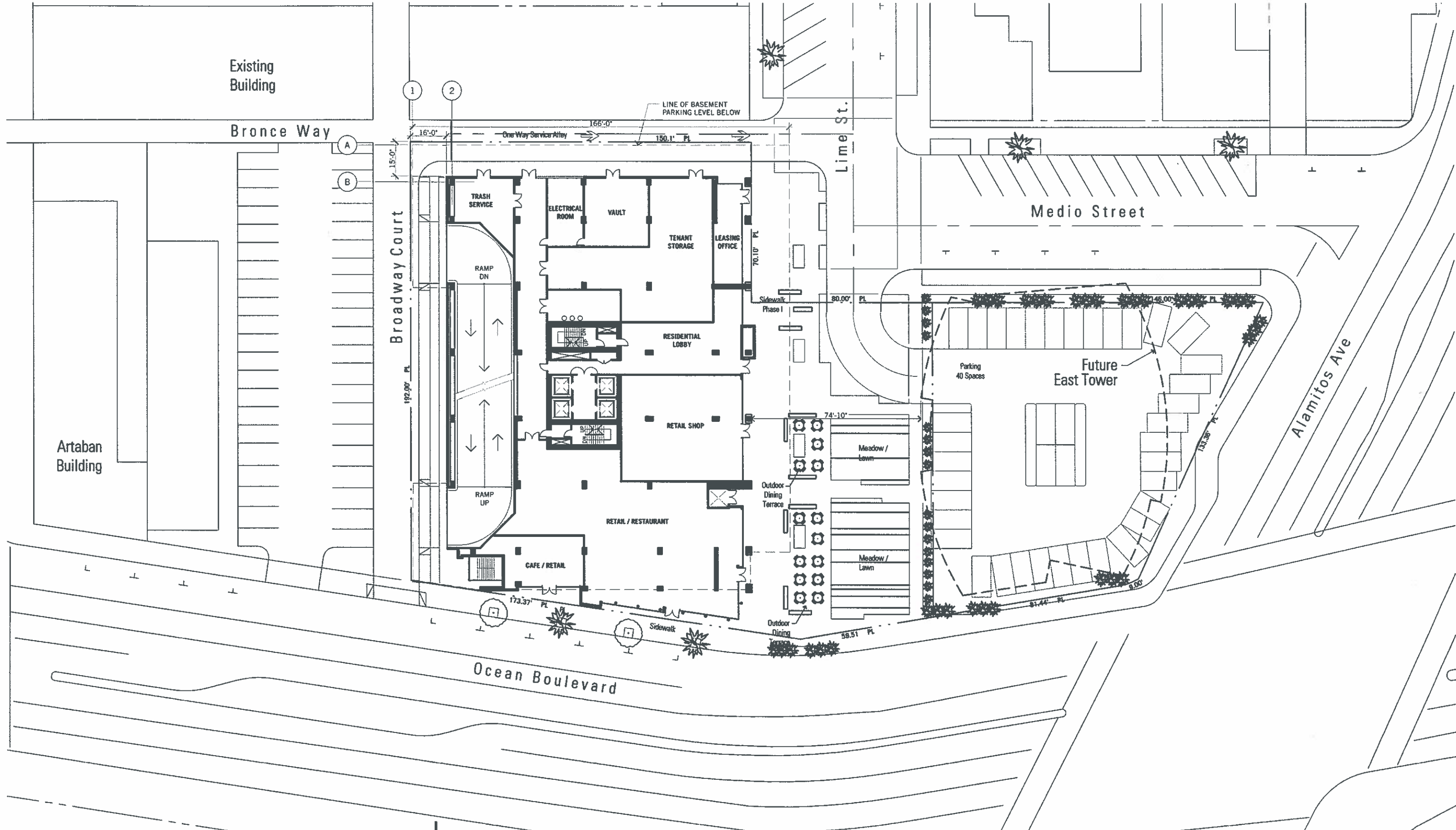
Shoreline Gateway - West Tower

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Aerial Perspective Views

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Site Plan

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SHORELINE GATEWAY, LLC
ANDERSONPACIFIC INC.

PROJECT FILE

NABH YOUSSEF ASSOCIATES
STRUCTURAL ENGINEERS
DRIVER URBAN
SPECIALISTS IN URBAN LIVING ENVIRONMENTS

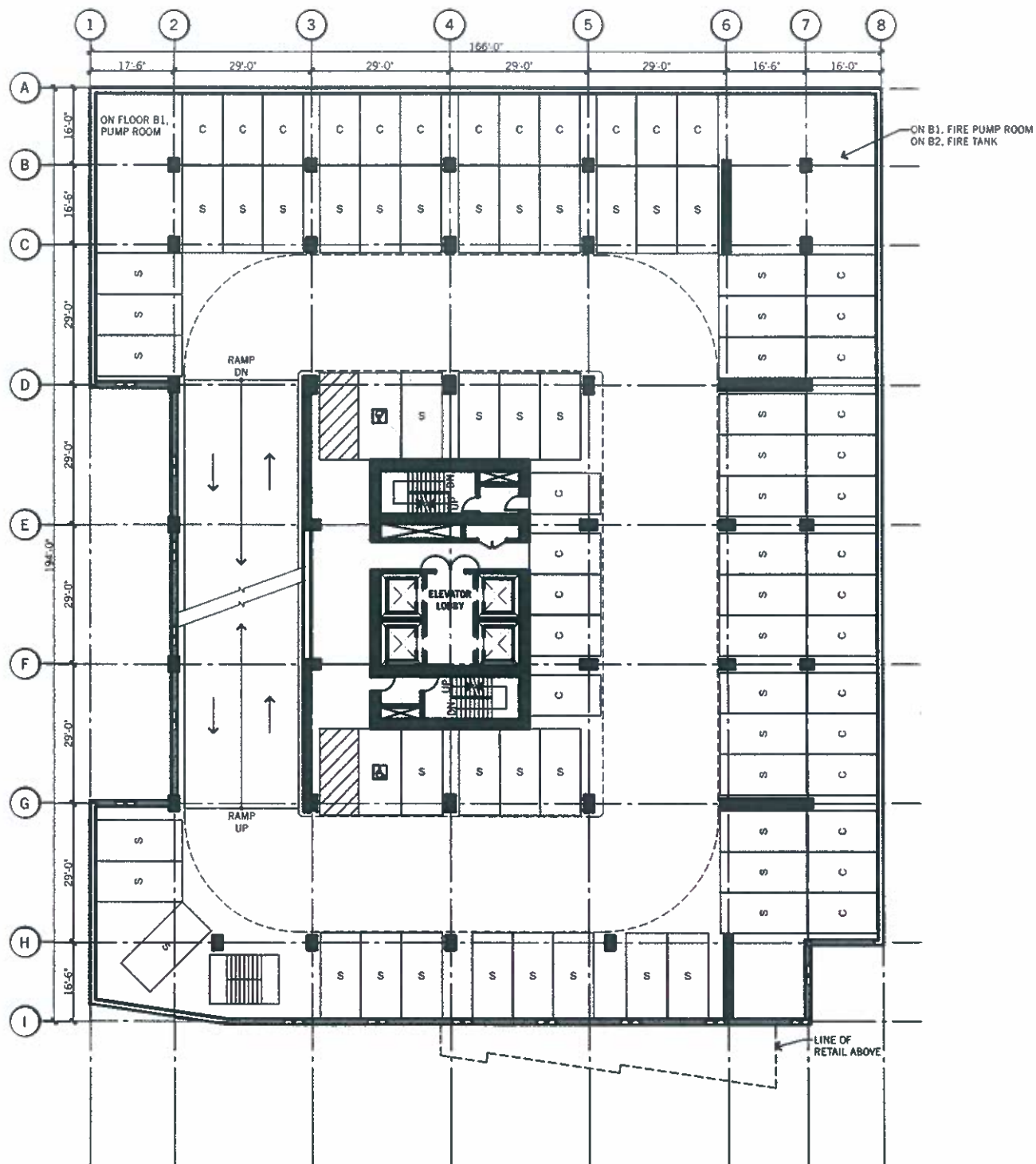


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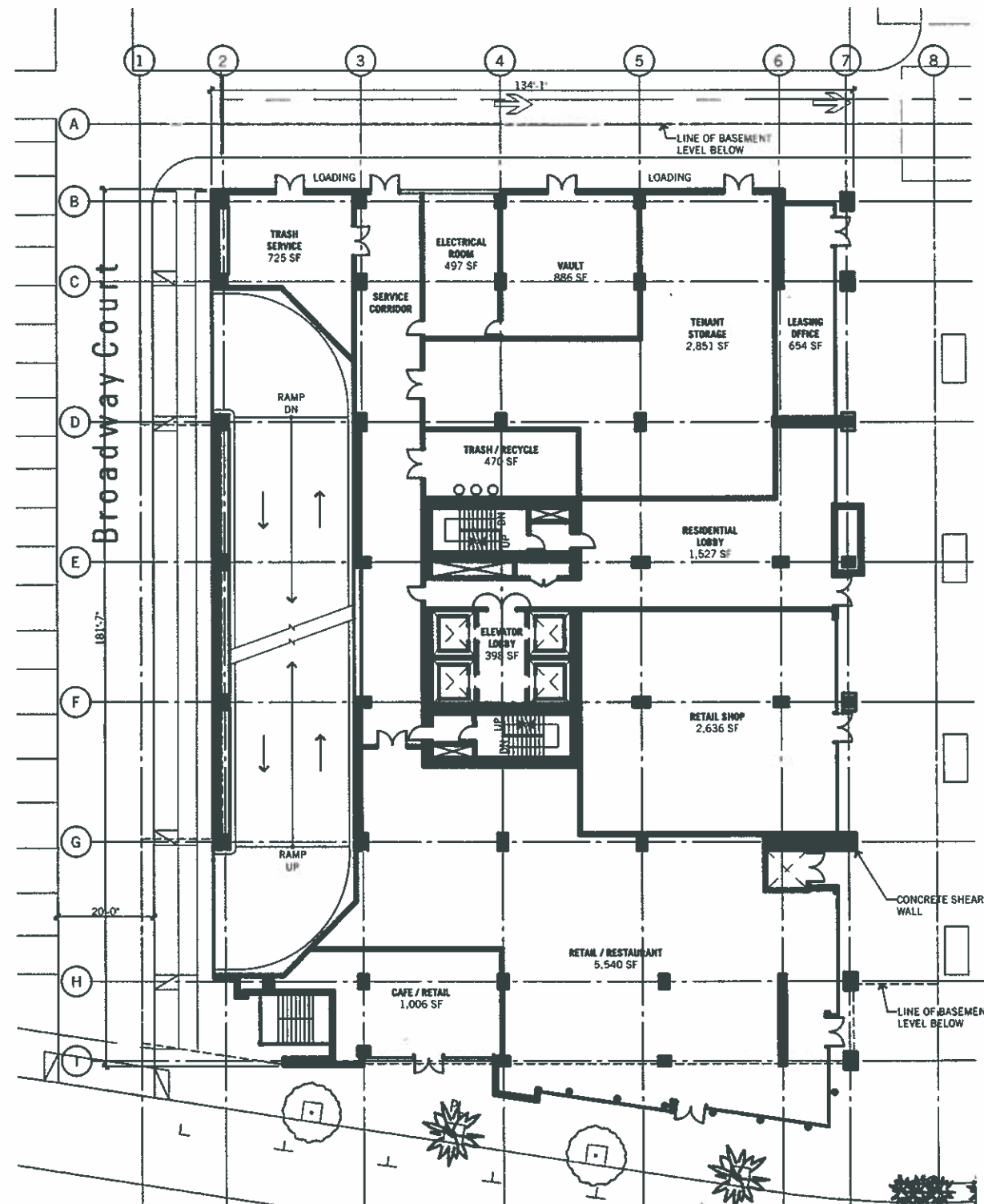
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BASEMENT PARKING LEVEL - FLOOR B1
FLOOR B2 SIMILAR

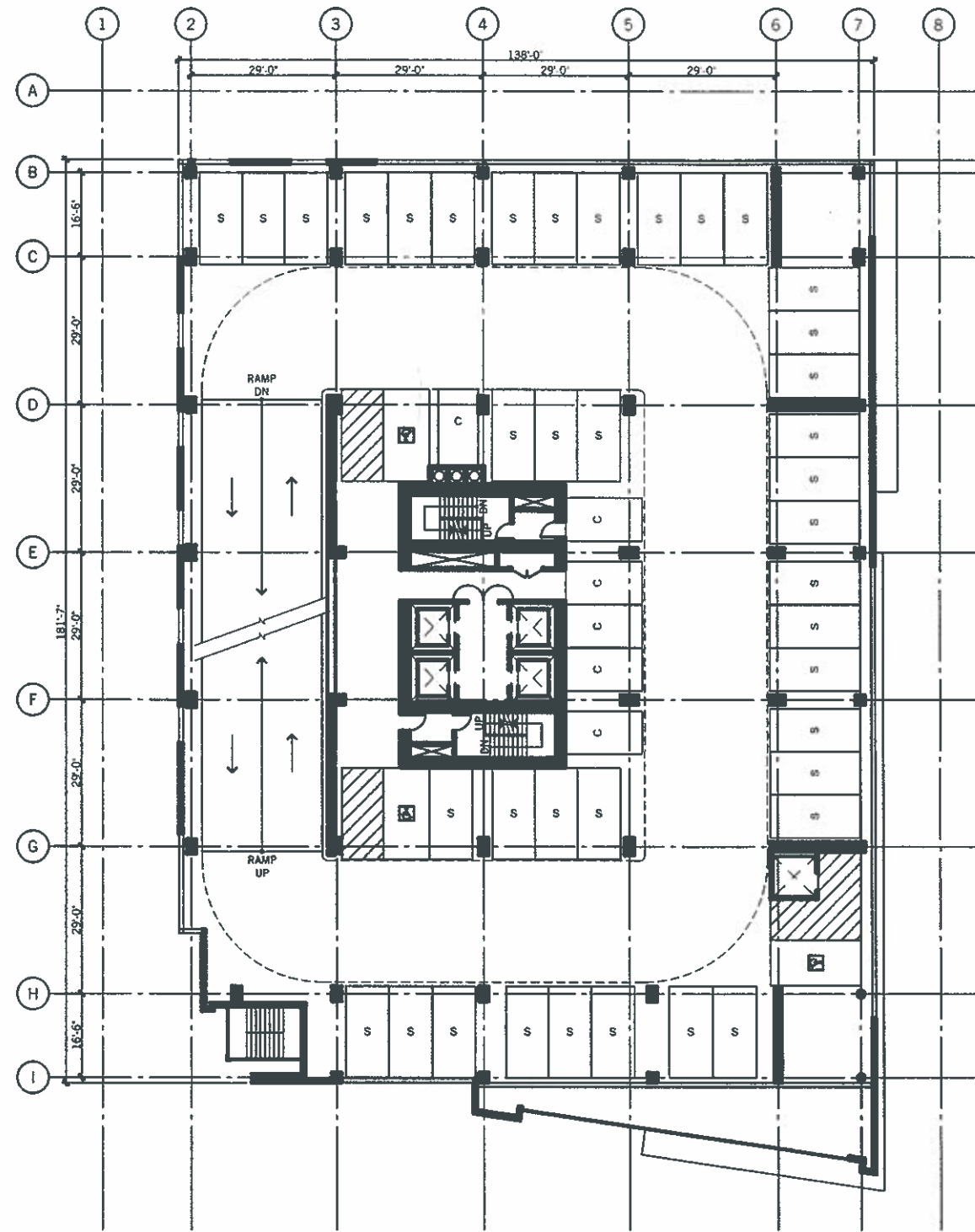


STREET LEVEL - FLOOR 1

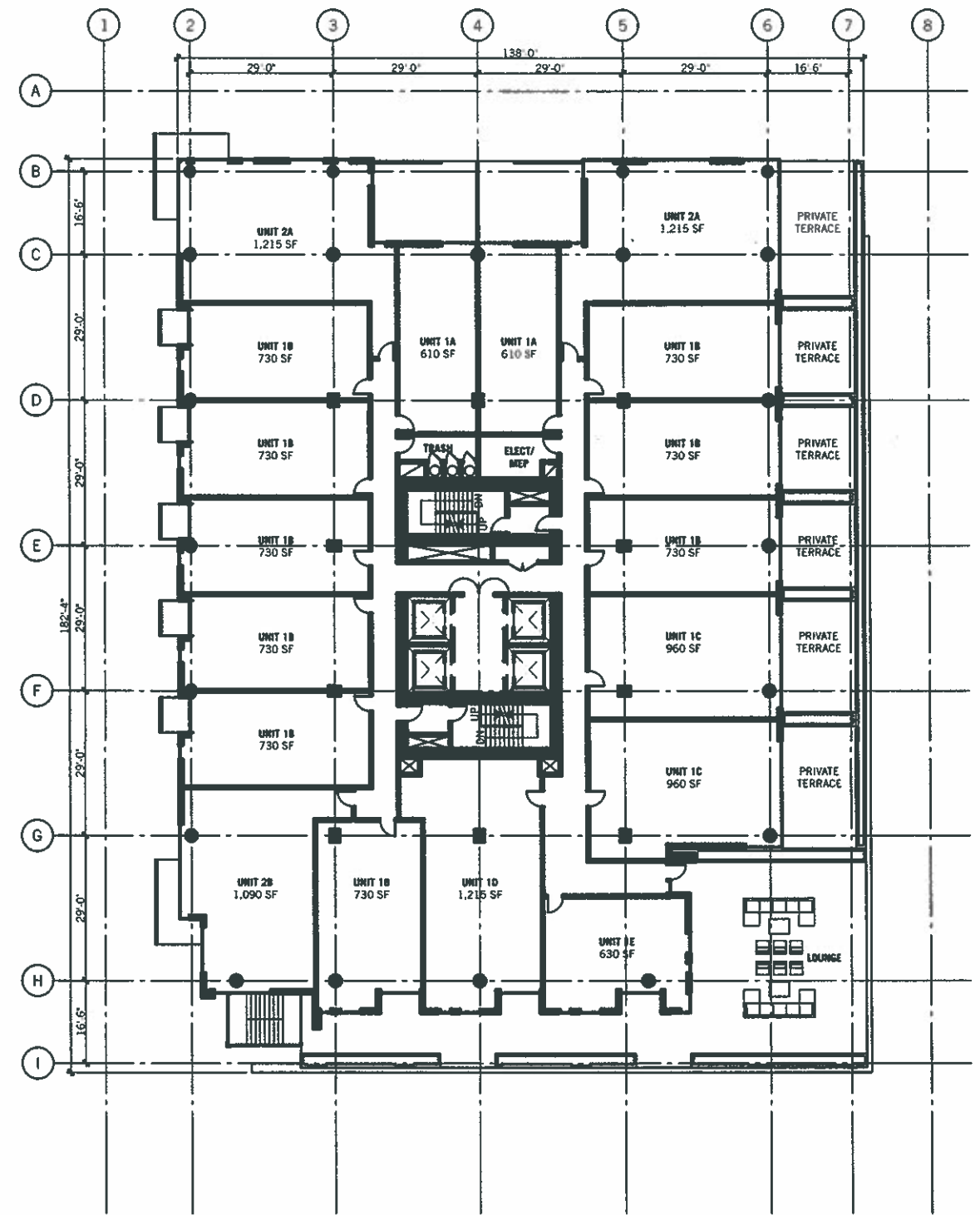
Shoreline Gateway - West Tower

Long Beach, California

Floor Plans



UPPER PARKING LEVEL - FLOOR P2
FLOOR 3 SIMILAR



PODIUM TERRACE LEVEL - FLOOR 4

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Long Beach, California

Floor Plans

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SHORELINE GATEWAY, LLC
ANDERSON PACIFIC INC.

PROJECT FLOOR

NABIH YOUSSEF ASSOCIATES
STRUCTURAL ENGINEERS
Driver URBAN
Architect of Urban Living Environments

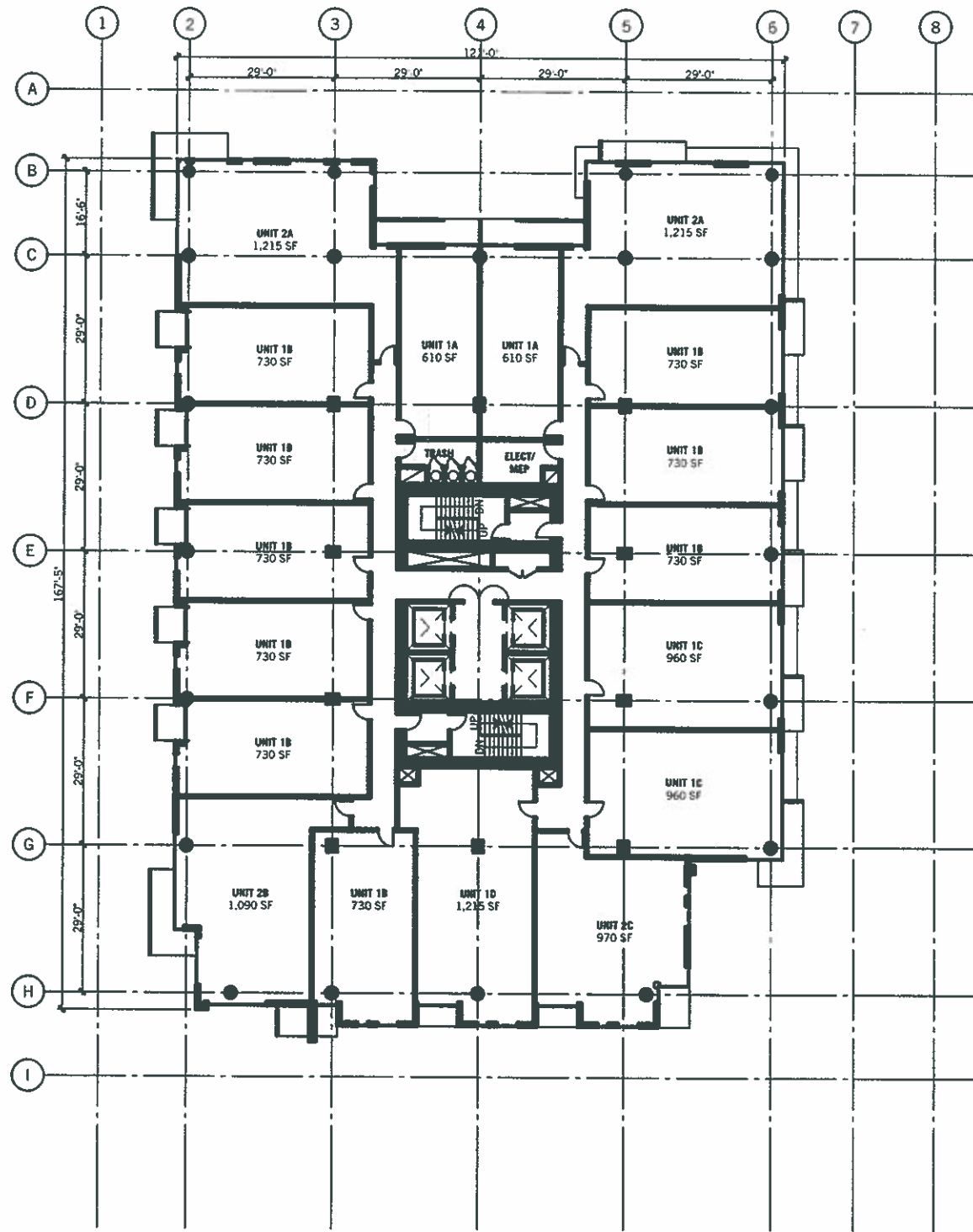


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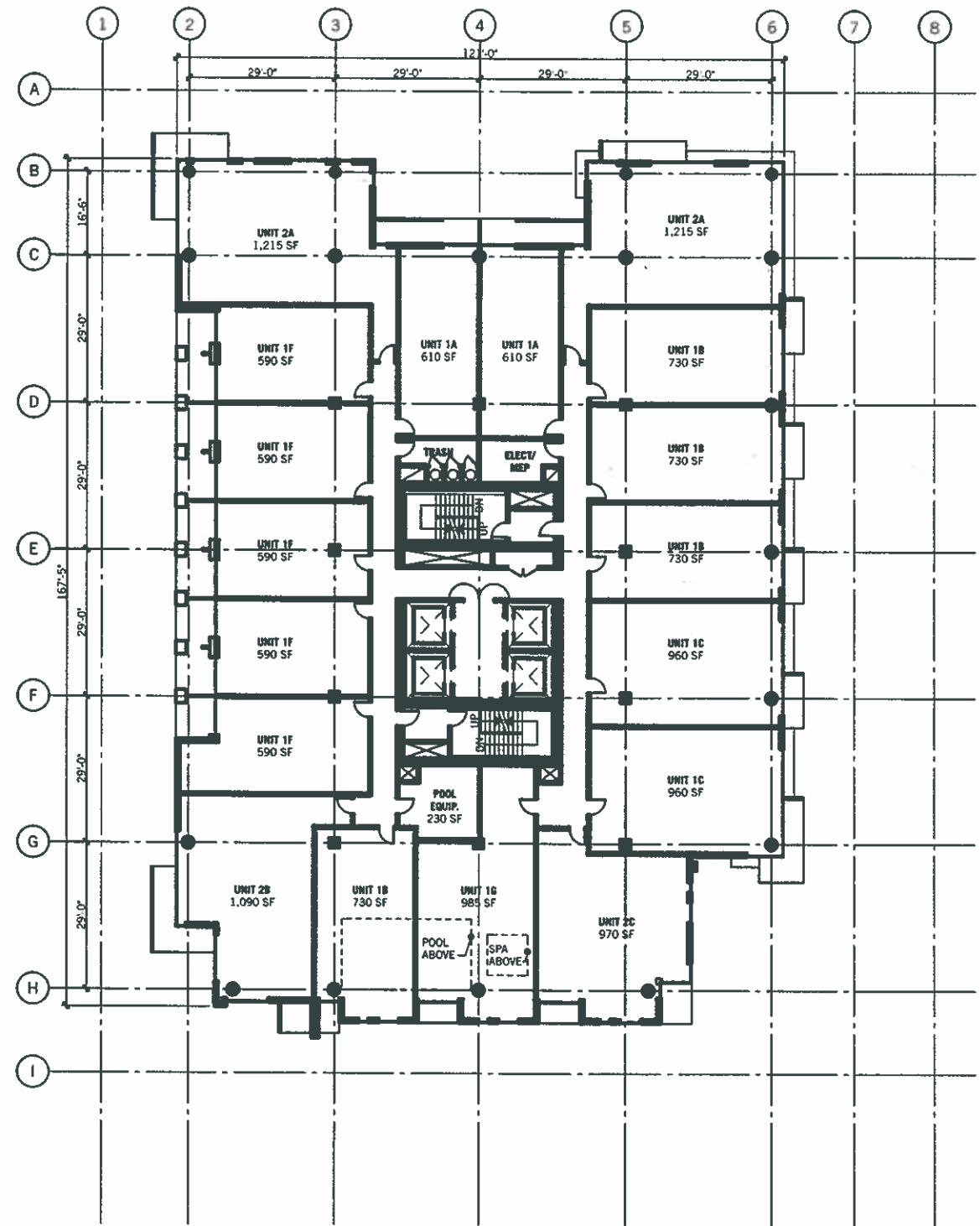
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TYPICAL RESIDENTIAL LEVEL - FLOOR 5
FLOORS 6-14 SIMILAR

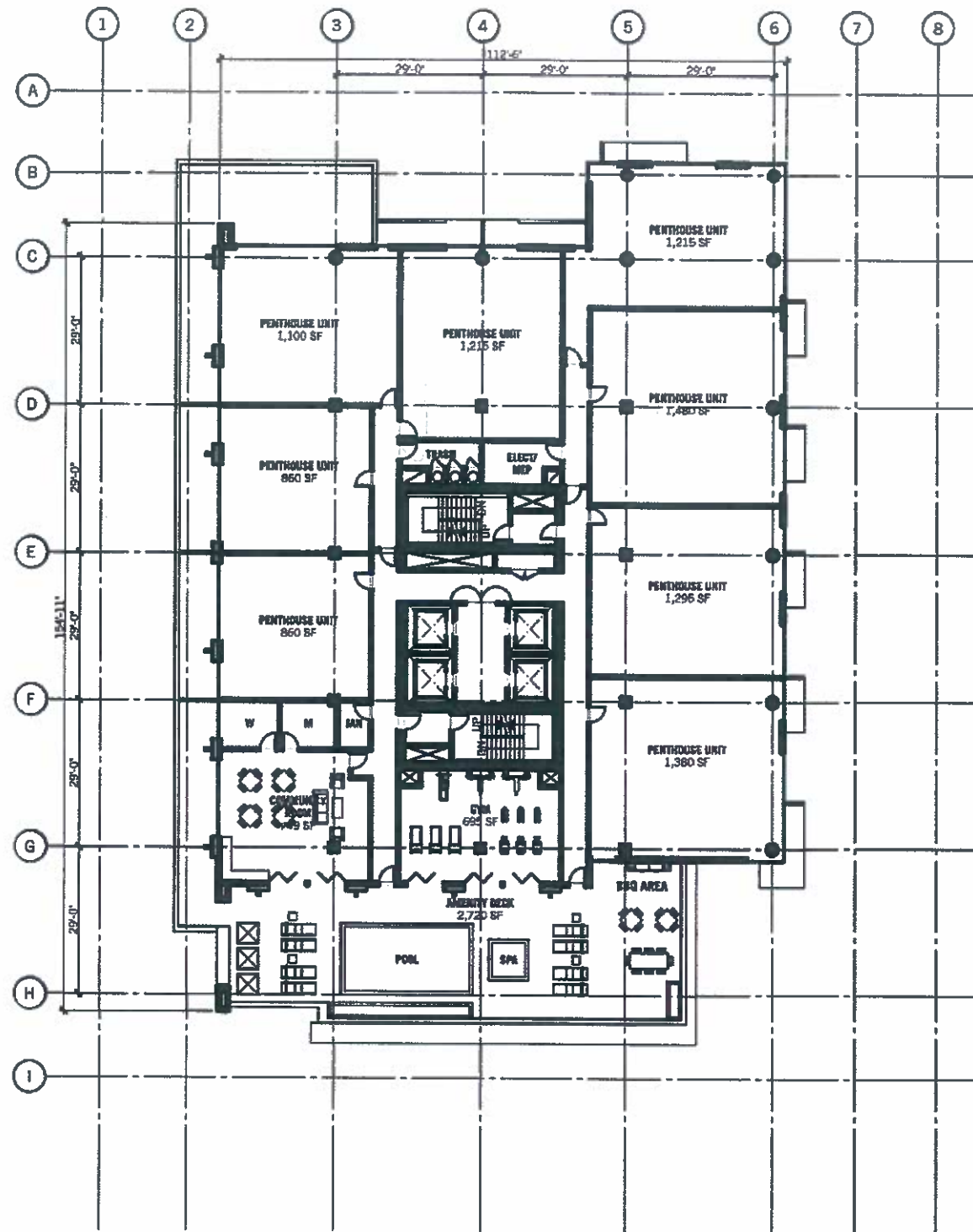


RESIDENTIAL LEVEL - FLOOR 15

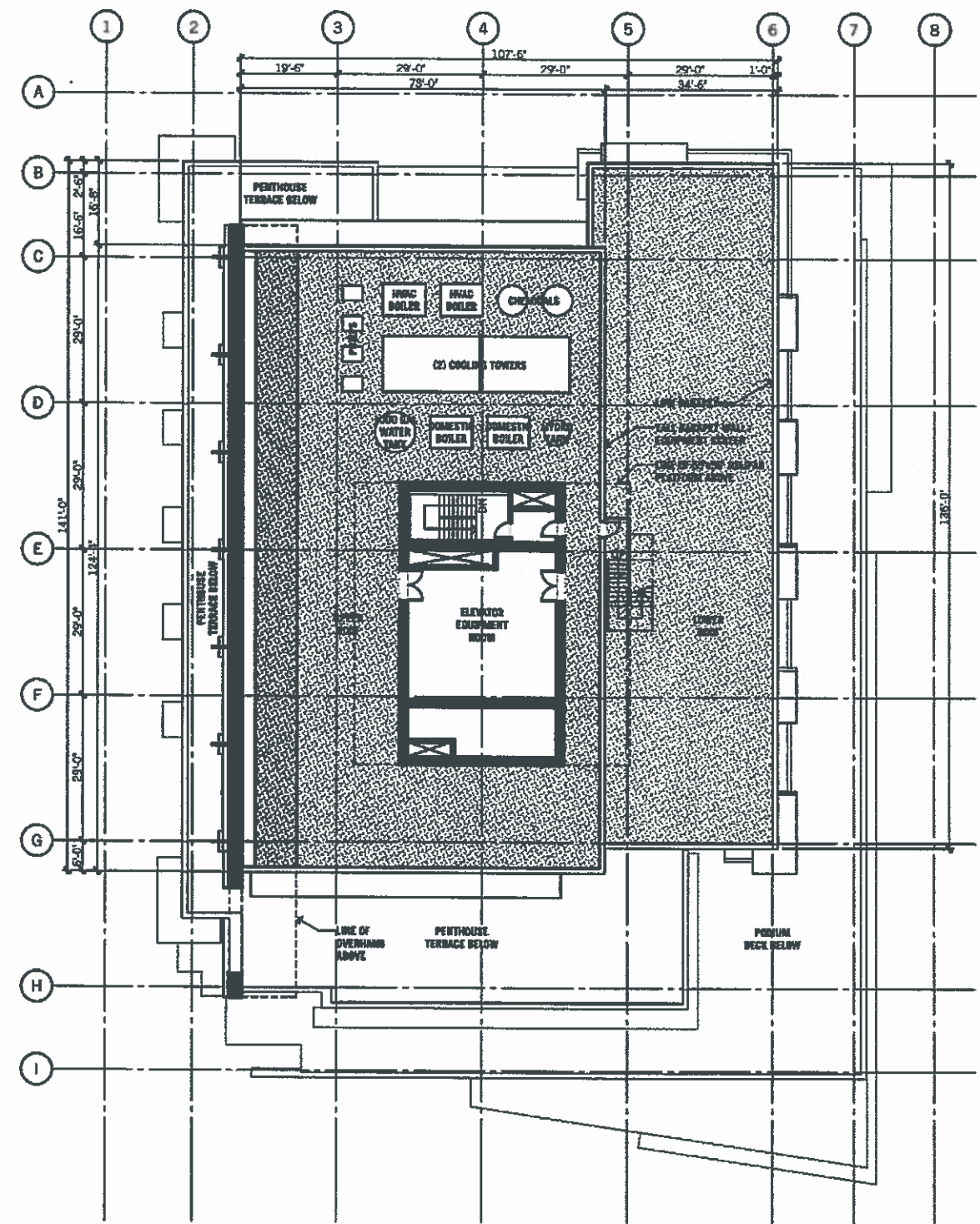
Shoreline Gateway - West Tower

Long Beach, California

Floor Plans



PENTHOUSE LEVEL - FLOOR 16

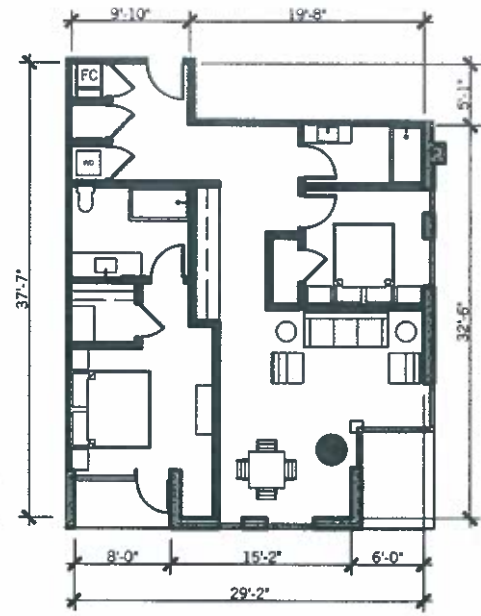


ROOF PLAN - FLOOR 17

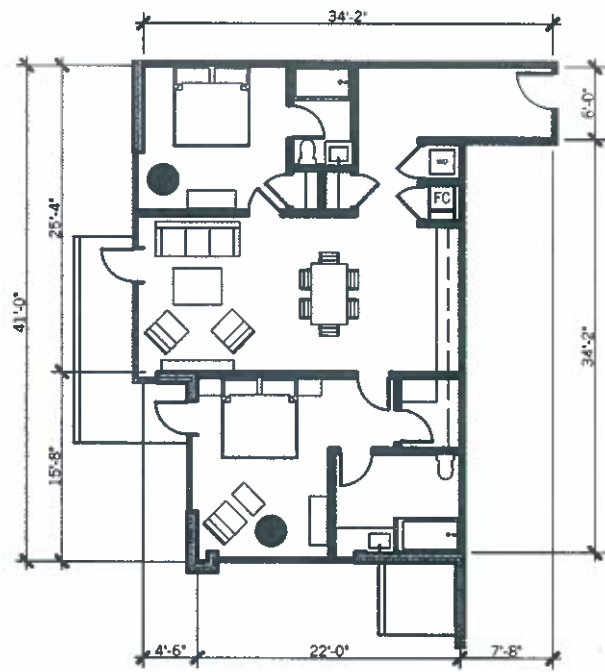
Shoreline Gateway - West Tower

Long Beach, California

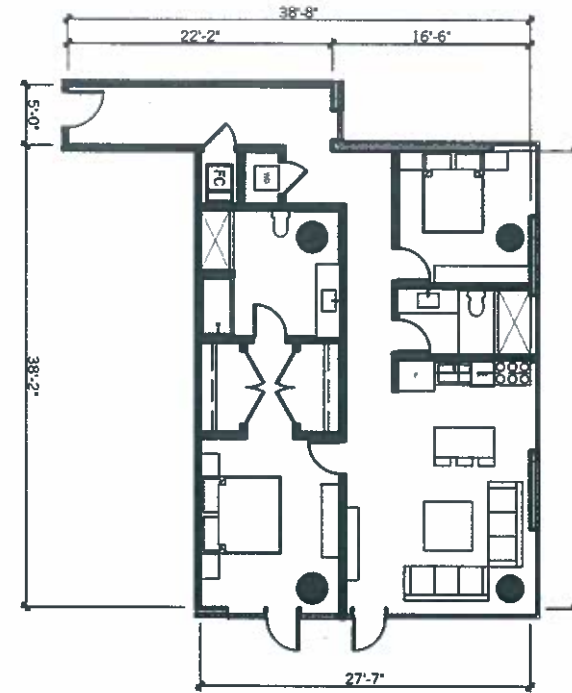
Roof Plan



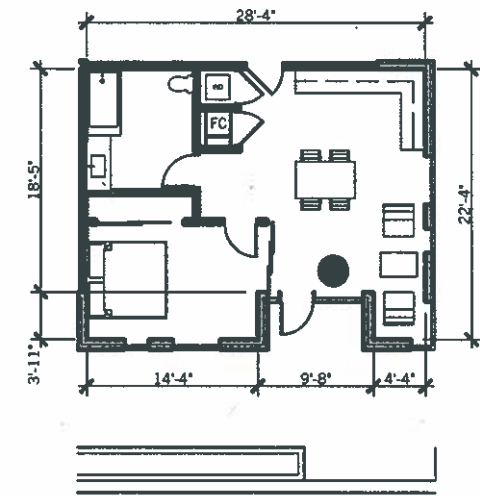
UNIT 2C TWO BEDROOM
970 gsf



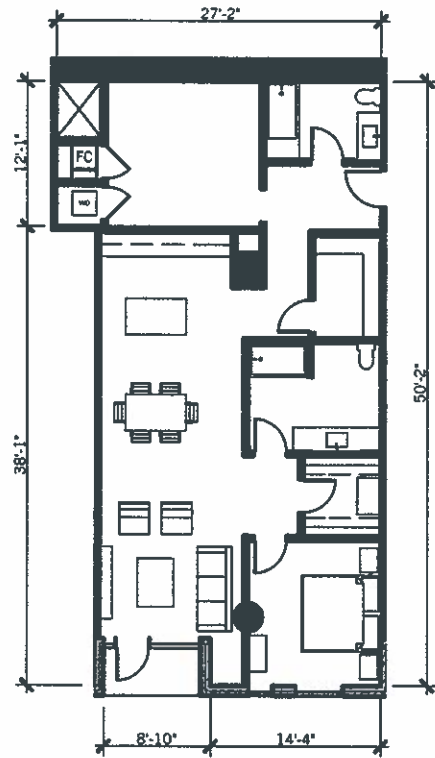
UNIT 2B TWO BEDROOM
1,090 gsf



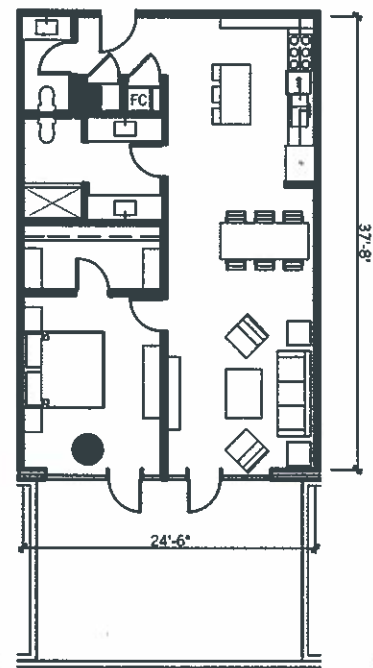
UNIT 2A TWO BEDROOM
1,215 gsf



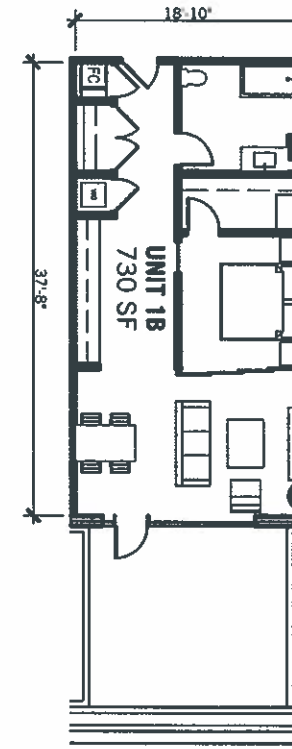
UNIT 1E ONE BEDROOM
630 gsf



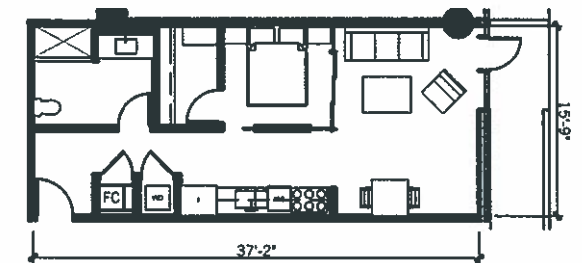
UNIT 1D ONE BEDROOM
1,215 gsf



UNIT 1C ONE BEDROOM
960 gsf



UNIT 1B ONE BEDROOM
730 gsf



UNIT 1A ONE BEDROOM
610 gsf

Shoreline Gateway - West Tower

Long Beach, California

Unit Plans



South Elevation



Materials Legend

- ① Smooth Cement Board, Painted
- ② Smooth Cement Board, Painted
- ③ Anodized Aluminum Window Mullions
- ④ Painted Aluminum Panel
- ⑤ Painted Aluminum Panel
- ⑥ Painted Aluminum Panel
- ⑦ Clear Low E Glazing
- ⑧ Painted Aluminum Awning
- ⑨ Painted Aluminum Panel at Garage
- ⑩ Painted Aluminum Panel at Garage
- ⑪ Painted Aluminum Panel at Garage
- ⑫ Painted Aluminum Panel at Garage
- ⑬ Composite Architectural Precast Panel
- ⑭ Composite Architectural Precast Panel
- ⑮ Composite Architectural Precast Panel
- ⑯ Wood Planks at Penthouse Balconies

Shoreline Gateway - West Tower

Long Beach, California

Building Elevations

BAR ARCHITECTS

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SHORELINE GATEWAY, LLC
ANDERSON PACIFIC

NABIH YOUSSEF ASSOCIATES
STRUCTURAL ENGINEERS
Driver URBAN
OFFICE OF URBAN LIVING ENGINEERS



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North Elevation



West Elevation

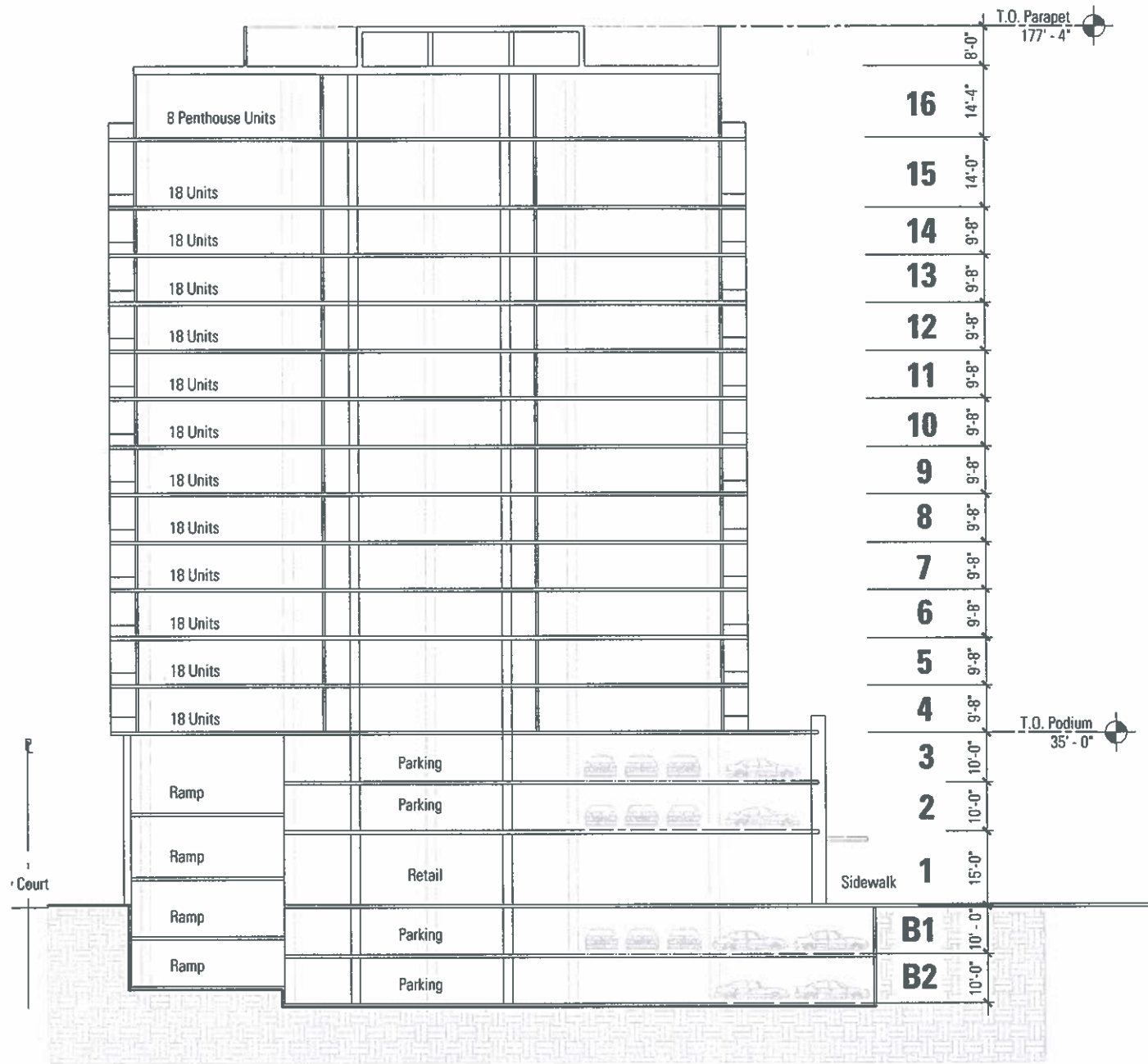
Materials Legend

- ① Smooth Cement Board, Painted
- ② Smooth Cement Board, Painted
- ③ Anodized Aluminum Window Mullions
- ④ Painted Aluminum Panel
- ⑤ Painted Aluminum Panel
- ⑥ Painted Aluminum Panel
- ⑦ Clear Low E Glazing
- ⑧ Painted Aluminum Awning
- ⑨ Painted Aluminum Panel at Garage
- ⑩ Painted Aluminum Panel at Garage
- ⑪ Painted Aluminum Panel at Garage
- ⑫ Painted Aluminum Panel at Garage
- ⑬ Composite Architectural Precast Panel
- ⑭ Composite Architectural Precast Panel
- ⑮ Composite Architectural Precast Panel
- ⑯ Wood Planks at Penthouse Balconies

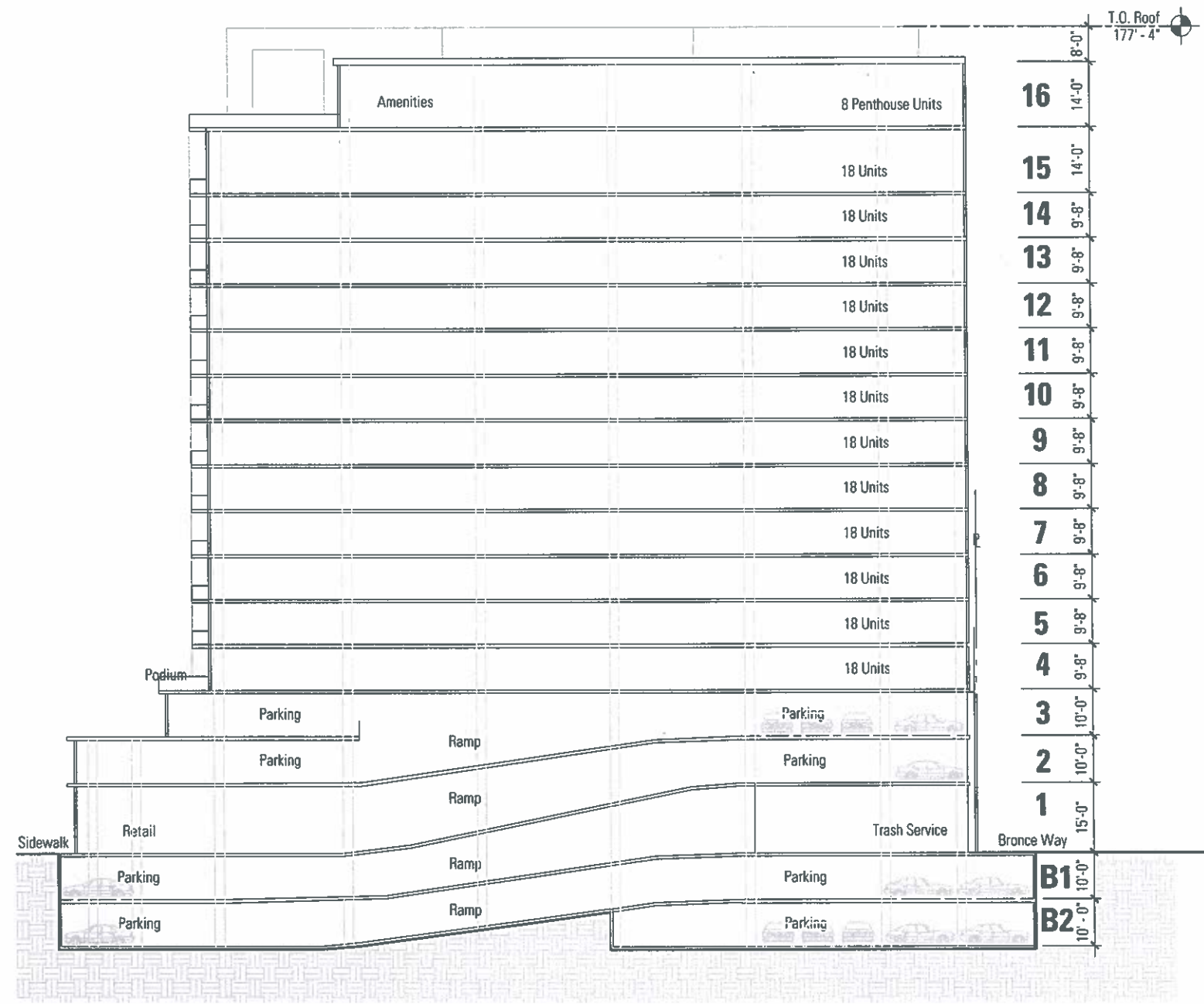
Shoreline Gateway - West Tower

Long Beach, California

Building Elevations



East West Section



North South Section

Shoreline Gateway - West Tower

Long Beach, California

Building Sections

Section	Title
I	BUILDING EXTERIOR ENVELOPE
II	INTERIOR PARTITIONS AND FLOOR/CEILING ASSEMBLIES
III	TYPICAL INTERIOR MATERIALS & FINISHES
IV	ENTRY LOBBY / STAFF LOUNGE MATERIALS & FINISHES
V	LOADING AREA MATERIALS & FINISHES

- Notes:**
- Alternate finishes and systems are italicized.
 - The building is a Type IA, fully sprinklered, non-separated occupancy building.
 - OSHA requires that the building be provided with a permanent window-washing system. Based on the building configuration, we assume both roof and ground rigging, with davits on the roof, 16" floor terraces, 5" level podium, and some of the projecting concrete canopies.
 - Operable windows shall be assumed at all units for natural ventilation.
 - Recycled content of all materials shall be maximized whenever possible.
 - Low or Zero V.O.C. products shall be used at all interior spaces.
 - Paints & Coatings shall comply with Green Seal Standards, GS 11 (11/19/09) and GS 03 (01/07/07).
 - All Carpet, cushions and Adhesives shall comply with the CR Green Label Plus/Green Label testing procedures.
 - FSC Certified lumber shall be used wherever possible.
 - All certifications to demonstrate compliance with and / or equivalency to applicable standards shall be provided by the manufacturer.
 - Manufacturer shall provide a single source warranty for all product systems where applicable.

I. BUILDING EXTERIOR ENVELOPE

A. Exterior Walls

- Type IA Construction - Concrete structure per structural specification / narrative.
 - Above Grade Aluminum Panel Walls
Kynar-coated aluminum plate panels, clip mounted to exterior non-load bearing studs. Wet seal gaps between aluminum panels. For waterproofing and thermal insulation, see Sections B and D.
Alternate: Use same specs as IA 1-c Above Grade Cement Plaster Walls
 - Above Grade Aluminum Panel Walls at Parking Levels
Kynar-coated aluminum panels with integral structural frame. Clip mount to concrete slab edges. 4-6 colors T.B.D.
 - Above Grade Cement Plaster Walls
3 coat Portland cement plaster consisting of scratch coat, brown coat with acrylic additive, adhesive leveling coat to embed continuous reinforcing fabric (ParexLaHabra standard reinforcing mesh, 4.5 oz/sq. yd), and 100% acrylic trowelable finish coat by Parex La Habra 533 sand smooth finish or equal. To minimize the appearance of control joints, apply finish coat over the vee-groove of expansion joint. Cement plaster applied over sheathing and steel studs typical and applied over cmu walls at ground floor service areas (Trash, Mechanical, Storage Rooms, etc.) For water-resistive membrane, see Section D.
 - Below Grade walls: Concrete cast in place walls per structural drawings. For waterproofing, see Section B.

B. Waterproofing and Water-Resistive Membrane
 Note: Preliminary waterproofing outlines below is based on BAR's previous experience with similar multi-family projects. Waterproofing consultant to provide manufacturer and systems recommendations for project in the next phase of documentation. Outline based on positive side waterproofing.

- Walls Below Grade:
 - Bentonite based waterproofing membrane such as CETCO's Votex DS or rubberized asphaltic membrane waterproofing such as Grace Bituthene 3000
 - Foundation drainage per geotechnical recommendations
- Walls Above Grade:
 - Water-resistive barrier such as Grace Perm-A-Barrier. Use of Perm-A-Barrier may require condensation mitigation to be coordinated with Mechanical Engineer
- Mat Slab Waterproof Membrane:
 - Select membrane based on compatibility with below-grade wall waterproof membrane. Sandwich mat slab waterproof membrane between minimum 2" working slab and minimum 4" reinforced protection slab.

C. Roofing

- Podium Waterproofing at Landscaped Podium (exclusive of private terraces)
 - Hardscape composed of a combination of wood and concrete decking over pedestal pavers, 5-sided, independently drained concrete planters, and low-planting over an enhanced drainage mat such as Vesprol VersiCell" or equal.

1

- Over a min. 3/4" per foot sloped structural slab, install a hot fluid-applied rubberized asphalt waterproofing, including drainage layer and protection board, such as American Hydrotech's Monolithic Membrane 6125-EV Fabric Reinforced or equal.
- Podium Waterproofing at Level 2 (Retail Roof)
 - Reinforced concrete topping (min. 3 1/2" thick), capable of supporting vehicular load
 - Over a min. 3/4" per foot sloped structural slab, install a hot fluid-applied rubberized asphalt waterproofing, including drainage layer and protection board, such as American Hydrotech's Monolithic Membrane 6125-EV Fabric Reinforced or equal.
 - Roof drains connected to a sand/grease interceptor
 - Residential Terraces over Habitable Living Space (Penthouse Level and Podium Level 4)
 - Wood or concrete decking over pedestal pavers
 - Over a min. 3/4" per foot sloped structural slab, install a hot fluid-applied rubberized waterproofing, including drainage layer and protection board, such as American Hydrotech's Monolithic Membrane 6125-EV Fabric Reinforced or equal
 - Roof at Level 17
 - Roofing and roof accessories to meet Factory Mutual 4450 and 4470 requirements for wind and hail resistance for the project location and design wind load.
 - Provide Class A built-up asphalt roofing with cool roof capsheet over cellular insulating concrete such as Johns Manville Specification No. 5GLC CR or equal
 - Provide roof walkway pads to window washing davits, rooftop mechanical equipment, and path of travel to stair(s) and helipad.

- D. Thermal Insulation**
- Exterior non-load bearing walls: R-21 or greater batt insulation within steel stud cavity
Alternate: provide 1 1/2" rigid insulation attached to face of steel studs in addition to batt insulation
 - Below roof terraces over habitable space: R-19 batt insulation within gyp. bd. soffited ceilings.
 - Roof Level 19: R-30 insulating concrete
 - Retail Roof (roof level 2): R-10 spray foam insulation
 - Structural slabs below Floor Level 1 habitable space: R-6 spray foam insulation

E. Doors and Windows
 Note: Window walls shall comply with the minimum requirements for air infiltration, water infiltration, and water penetration as appropriate for a high-rise building located in a coastal environment.

- Exterior Entry Door:
 - Custom, power assisted, stainless steel clad thermally broken aluminum door
- Typical Exterior Window Wall Windows
 - Windows at Tower: Thermally broken aluminum window walls, kynar-finish, 6" deep sections capable of resisting typical wind load and deflection load for 18-story building in coastal environment
 - Storefront at ground level: Aluminum storefront window, thermally broken, kynar-finish, 6-8" deep section with integral storm-class louvers for restaurant, café, and retail spaces.
- Glazing
 - To meet energy efficiency goals, we recommend Solarban 70XL
Alternate glazing as specified in Mechanical Narrative
 - All windows and doors to be dual-glazed
 - Provide acoustically rated window assemblies as required to meet Acoustical Report
 - Provide safety glazing as required by Code.

2

- F. Exterior Railings**
- Glass Rails: Laminated glass with patterned interlayer. Glass mounted within a painted aluminum frame supported on stanchions mounted to the face of the post-tensioned slabs.
 - Solid Rails: See Section F-A1a

II. INTERIOR PARTITIONS AND FLOOR / CEILING ASSEMBLIES

- A. Interior Partitions**
- Type I A Construction
 - 1 or 2 hour fire rated construction
 - Non-load bearing steel stud framing
 - (1 or 2 layers based on rating requirements) 5/8" Type X gypsum board, typical
 - Specific assemblies to be determined in the next phase.
 - 2-hr rated shaft liner walls using 4" CH studs
 - 1-hr cavity walls at unit party walls consisting of (2) layers of 5/8" Type X gypsum board over 3 5/8" steel stud with a 2 25" air gap next to 3 5/8" steel studs with (2) layers of 5/8" Type X gypsum board

- B. Soffited Ceilings**
- Non-rated gypsum board suspended ceilings at bathrooms
 - 2-hour rated gypsum board soffits at transfer shafts within units

III. TYPICAL INTERIOR MATERIALS & FINISHES

- A. Interior Doors**
- Typical Residential Units
 - Solid core flush doors at unit bathrooms and bedrooms
 - Finish: Painted or stained
 - Typical in Parking and Mechanical
 - Painted flush hollow steel doors with insulated cores, fire-rated as required
 - Entry Lobby and Amenity Spaces
 - Clear finish.
- B. Stair Construction**
- Egress and Service Stairs: Steel stair system with steel risers and concrete filled steel pan treads, with non slip finish, and steel handrail and guardrail. Acceptable manufacturers: American Stair Corporation or equal.
- C. Cabinets and Millwork**
- Typical Cabinet Construction: plastic laminate faced casework, Studio Becker "Collection 9" or equal.
 - Door style: Forum Flat Slab Door
 - Finish: High quality laminates including #0 Textured wood laminates
 - Full extension glides at all drawers
 - End panels and soffit panels to match face panels

D. Vertical Transportation

4

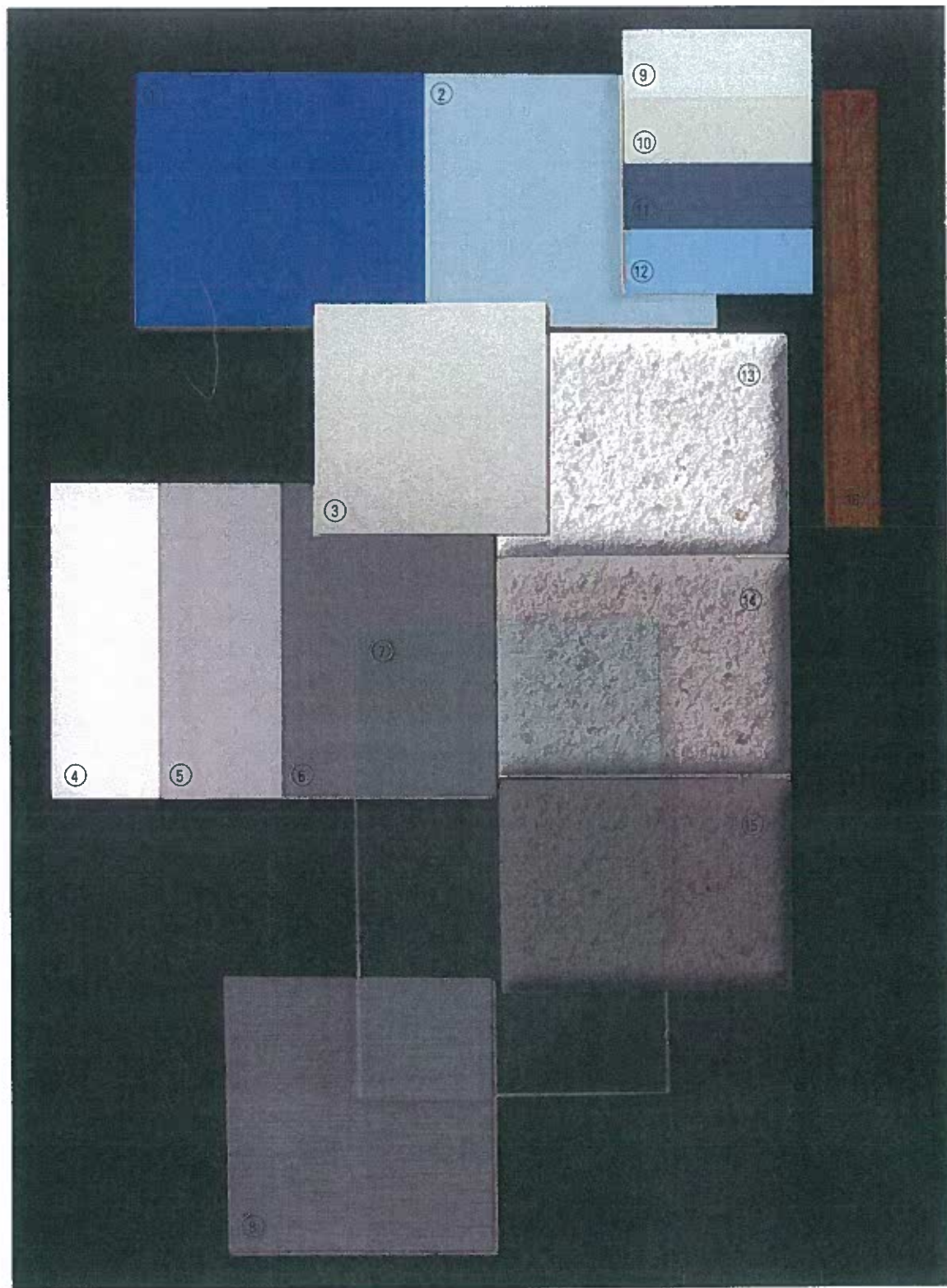
- Passenger Elevator: Code-compliant elevator to serve all floor levels. Gearless, machine roomless passenger elevator, with center opening doors. 4000 lb. capacity (per code requirement to accommodate a gurney). Speed: 350 feet per minute. Provide with code-required emergency power.
 - Cab height & finishes: 10' car height for a 9'-0" interior cab height. Standard interiors package with wood paneling and 6-recessed down lights

IV. LEASING OFFICE AND AMENITY SPACES INTERIOR FINISHES
 LEASING OFFICE AND AMENITY INTERIOR FINISHES TO BE PROVIDED IN NEXT MILESTONE.

V. LOADING AREA MATERIALS & FINISHES

- A. Loading Deck**
- Floors: sealed concrete.
 - Walls: painted cmu or sealed concrete

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Materials Legend

- ① Smooth Cement Board, Painted
- ② Smooth Cement Board, Painted
- ③ Anodized Aluminum Window Mullions
- ④ Painted Aluminum Panel
- ⑤ Painted Aluminum Panel
- ⑥ Painted Aluminum Panel
- ⑦ Clear Low E Glazing at Window Wall and Exterior Balconies
- ⑧ Painted Aluminum Awning
- ⑨ Painted Aluminum Panel at Garage
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- ⑯ Wood planks at Penthouse Balconies

Shoreline Gateway - West Tower | Long Beach, California

Materials

SITE PLAN REVIEW FINDINGS

Case No. 1304-12

Date: May 16, 2013

- 1. THE DESIGN IS HARMONIOUS, CONSISTENT AND COMPLETE WITHIN ITSELF AND IS COMPATIBLE IN DESIGN, CHARACTER AND SCALE, WITH NEIGHBORING STRUCTURES AND THE COMMUNITY IN WHICH IT IS LOCATED; AND**

The proposed design of the building incorporates a consistent design theme that is compatible in design, character and scale with the neighboring structures. The materials used for the new construction are complementary to the materials used on adjacent buildings including the previously approved 35-story tower for the east phase of Shoreline Gateway. The project is designed "in the round" with no front or rear elevation.

The proposed project will provide a structure with quality materials that utilizes smooth cement panels, architectural pre-cast panels, aluminum panels and glass as the primary building elements and is consistent with the design requirements contained in the Downtown Plan. The Height Incentive Area of the Downtown Plan encourages a mix of uses in the area including office, retail and high density residential. The proposed project is consistent with the requirements of PD-30 including, but not limited to, height, design, and street front activation.

- 2. THE DESIGN CONFORMS TO ANY APPLICABLE SPECIAL DESIGN GUIDELINES OR SPECIFIC PLAN REQUIREMENTS, PD GUIDELINES OR THE GENERAL PLAN; AND**

The project complies with all development standards contained in the Downtown Plan (PD-30) including the material and design requirements contained in the design guidelines portion.

- 3. THE DESIGN WILL NOT REMOVE SIGNIFICANT MATURE TREES OR STREET TREES, UNLESS NO ALTERNATIVE DESIGN IS POSSIBLE; AND**

No mature trees or street trees will be removed as a result of the project.

- 4. THERE IS AN ESSENTIAL NEXUS BETWEEN THE PUBLIC IMPROVEMENT REQUIREMENTS ESTABLISHED BY THE ORDINANCE AND THE LIKELY IMPACTS OF THE PROPOSED DEVELOPMENT; AND**

Proposed improvements in the right-of-way including sidewalks, street trees and bulb-outs at the four adjacent intersections do not exceed the likely impacts of the proposed project coupled with cumulative development.

- 5. THE PROJECT CONFORMS TO ALL REQUIREMENTS SET FORTH IN CHAPTER 21.64 (TRANSPORTATION DEMAND MANAGEMENT).**

Not applicable.

CONDITIONS OF APPROVAL SITE PLAN REVIEW

Case No. 1304-12
Date: May 16, 2013

1. This permit and all development rights hereunder shall terminate one year from the approval date, unless construction is commenced or a time extension is granted, based on a written and approved request submitted prior to the expiration of the one year time period as provided in Section 21.21.406 of the Long Beach Municipal Code. The time extension request shall be submitted to the Zoning Administrator for review and approval as per Section 21.21.406 of the Zoning Regulations.
2. This permit shall be invalid if the owner(s) and/or applicant(s) have failed to return written acknowledgment of their acceptance of the conditions of approval on the *Conditions of Approval Acknowledgment Form* supplied by the Planning Bureau. This acknowledgment must be submitted within 30 days form the effective date of approval (final action date or, if in the appealable area of the Coastal Zone, 21 days after the local final action date). Prior to the issuance of a building permit, the applicant shall submit a revised set of plans reflecting all of the design changes set forth in the conditions of approval to the satisfaction of the Zoning Administrator.
3. The use permitted on the site shall be 224 residential units and 9,182-square-feet of retail with 275 parking spaces.
4. Violation of any of the conditions of this permit shall be cause for the issuance of an infraction, citation, prosecution, and/or revocation and termination of all rights thereunder by the City of Long Beach.
5. All conditions of approval must be printed verbatim on all plans submitted for plan review to the Planning and Building Department. These conditions must be printed on all plans submitted for plan review.
6. Approval of this development is expressly conditioned upon payment (prior to building permit issuance or prior to Certificate of Occupancy, as specified in the applicable Ordinance or Resolution for the specific fee) of impact fees, connection fees and other similar fees based upon additional facilities needed to accommodate new development at established City service levels standards, including, but not limited to, sewer capacity charges, Park Fees, and Transportation Impact Fees.
7. The Director of Development Services is authorized to make minor modifications to the approved concept design plans or any of the conditions if such modifications shall achieve substantially the same results as would strict compliance with said plans and conditions.
8. Site development, including landscaping, shall conform to plans approved on file in the Department of Planning and Building.

9. The property shall be developed and maintained in a neat, quiet and orderly condition and operated in a manner so as not to be detrimental to adjacent properties and occupants. This shall encompass the maintenance of the exterior facades of the buildings and all landscaping surrounding the building including all public parkways.
10. All structures shall conform to Building Code requirements. Notwithstanding this review, all required permits from the Building and Safety Bureau must be secured.
11. Any graffiti found on site must be removed within 24 hours of its appearance.
12. Site preparation and construction shall be conducted in a manner that minimizes dust.
13. Any person(s) associated with the proposed project shall only operate or permit the operation of any tools or equipment used for site preparation, construction or any other related building activity that produces loud or unusual noise which annoys or disturbs a reasonable person of normal sensitivity between the following hours:

Weekdays	7:00am to 7:00pm	Sundays	No work permitted
Saturdays	9:00am to 6:00pm	Holidays	No work permitted.
14. The Developer shall fully screen any utility meters or equipment to the satisfaction of the Director of Development Services.
15. The applicant shall comply with the following conditions to the satisfaction of the Public Works Department: (note: currently being reviewed by Public Works)

GENERAL REQUIREMENTS

- A. Prior to the start of any off-site construction, the Developer shall submit a construction plan for pedestrian protection, street lane closures, construction staging, shoring excavations and the routing of construction vehicles (excavation hauling, concrete and other deliveries, etc.). Plans shall be submitted for review and approval of the City Engineer, the City Traffic Engineer, Police and Fire departments, public utility agencies and Long Beach Transit.
- B. Easements shall be provided to the City of Long Beach for proposed public utility facilities to the satisfaction of the concerned City Department or public agency. If any additional utility rights-of-way are determined to be necessary after completion of the project, said utility right-of-way shall be dedicated to the City of Long Beach by separate instrument.

PUBLIC RIGHT-OF-WAY

- C. The Developer shall dedicate and improve 4 feet of right-of-way for alley purposes along Broadway Court and relocate existing facilities as necessary to accommodate the alley widening. This dedication may be surface only, with the under-alley space

retained for parking garage.

- D. The Developer shall dedicate and improve 5 feet of right-of-way for alley purposes along Bronce Way and relocate existing facilities as necessary to accommodate the alley widening. This dedication may be surface only, with the under-alley space retained for parking garage.
- E. If the Developer desires to utilize the space below the existing adjacent alley widths (Broadway Court and Bronce Way) for a subterranean parking garage, utility substructure plans and right-of-way cross sections showing the proposed surface and underground structures shall be submitted for the review and approval of the Director of Public Works.
- F. The Developer proposes the vacation of Lime Avenue crossing the proposed project site. The northerly and southerly limits are to be determined based on street improvement plans for Lime Avenue and Ocean Boulevard in the vicinity of the area to be vacated. At-grade and subterranean areas to be vacated may differ.

ENGINEERING BUREAU

- G. The Developer shall improve the parkway along Medio Street fronting this project location with drought-tolerant accent shrubbery and permeable groundcover such as decomposed granite as described in Section 21.42.060 of the Municipal Code.
- H. The Developer shall apply for the vacation of Lime Avenue adjacent to the proposed project site. The northerly and southerly limits are to be determined based on street improvement plans for the terminus of Lime Avenue and East Ocean Boulevard. This action must be approved by the City Council prior to project development.
- I. Reconstruction of the northerly limit of the proposed vacated Lime Avenue shall be constructed with distinguishing pavement such as pavers to distinguish the Lime Avenue roadbed from the new parking lot driveway. Improvement plans shall be submitted for review and approval of the Director of Public Works.
- J. The Developer shall remove, protect, and salvage the existing street light fixtures and electrical equipment within vacated portions of Lime Avenue. All salvaged equipment shall remain the property of the City and shall be delivered by the Developer to storage as directed by City Light and Power staff. Contact Kevin Bradenkamp, Operations Manager, at (562) 983-2000.
- K. Dedications proposed along the southeasterly corner of the site (along Alamitos Avenue & Ocean Boulevard), adjacent to the Future East Tower site shall be deferred for phase 2 East Tower construction.
- L. The proposed vacation along the south side of Medio Street shall be deferred for phase 2 East Tower construction.
- M. The Developer shall submit plans for Bronce Way adjacent to the proposed residential units as a special design review addressing atypical amenities, if proposed. We understand that this is conceived as a pedestrian-friendly alley, and custom paving, landscaping, and architectural projections may be proposed. Note that trees cannot be accommodated within a five foot wide alley "sidewalk" as

Conditions of Approval

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shown on site plan.

- N. The Developer shall be responsible for the maintenance of the off-site improvements during construction of the on-site improvements. All off-site improvements found damaged as a result of construction activities shall be reconstructed or replaced by the Developer to the satisfaction of the Director of Public Works.
- O. The Developer shall remove unused driveways and replace with full-height curb, curb gutter and sidewalk to the satisfaction of the Director of Public Works. Sidewalk improvements shall be constructed with Portland cement concrete. The size and configuration of all proposed driveways serving the project site shall be subject to review and approval of the City Traffic Engineer. All proposed driveways greater than 28 feet requires a variance, contact the Traffic and Transportation Bureau at (562) 570-6331 to request additional information regarding driveway construction requirements.
- P. The Developer shall construct all off-site improvements needed to provide full ADA accessibility compliance within the adjacent public right-of-way to the satisfaction of the Director of Public Works. If a dedication of additional right-of-way is necessary to satisfy ADA requirements, the right-of-way dedication way shall be provided.
- Q. The Developer shall provide for the resetting to grade of existing manholes, pullboxes, and meters in conjunction with the required off-site improvements to the satisfaction of the Director of Public Works. All obstructions, including power poles within the proposed alley widening shall be removed by the Developer at his expense, and to the satisfaction of the Director of Public Works.
- R. The Developer shall remove all existing overhead utility lines within the public alleys and underground them beneath the adjacent roadways. The Developer shall resurface and restripe the roadways receiving the relocated utilities to the satisfaction of the Director of Public Works.
- S. The Developer shall reconstruct the alley curb returns consistent with both alley widening, including both the southwest corner of Lime Avenue and Bronce Way and the northeast corner of East Ocean Boulevard and Broadway Court.
- T. The Developer shall check with the Long Beach Water Department at (562) 570-2300 and the Gas And Oil Department at (562) 570-2030 for scheduled main replacement work prior to submitting alley improvement plans to the Department of Public Works.
- U. The Developer shall remove all existing utility lines within areas to be vacated, unless a utility easement is to be reserved. No building structures shall be constructed within a utility easement area
- V. The Developer shall reconstruct broken/uplifted/depressed sections of public sidewalk, curb, and curb gutter along the perimeter of the project site to the satisfaction of the Director of Public Works. Sidewalk improvements shall be constructed with Portland cement concrete.
- W. The Developer shall provide for tree wells, new street trees with root barriers and

irrigation along the perimeter of the project site. Street trees and groundcover shall be provided within the public parkways. The Developer and/or successors shall privately maintain all street trees, landscaping and sprinkler systems required in connection with this project.

- X. The Developer shall contact the Street Tree Division of the Department of Public Works, at (562) 570-2770, prior to beginning the tree planting, landscaping, and irrigation system work. The Street Tree Division will assist with the size, type and manner in which the street trees are to be installed.
- Y. Prior to approving an engineering plan, all projects greater than 1 acre in size must demonstrate coverage under the State Construction General NPDES Permit. To meet this requirement, the applicant must submit a copy of the letter from the State Water Resource Control Board acknowledging receipt of the Notice of Intent (NOI) and a certification from the developer or engineer that a Storm Water Pollution Prevention Plan (SWPPP) has been prepared. Should you have any questions regarding the State Construction General NPDES Permit or wish to obtain an application, please call the State Regional Board Office at (213) 266-7500 or visit their website for complete instructions at www.waterboards.ca.gov/stormwtr/construction.html Left-click on the Construction General Permit 99-08-DWQ link.
- Z. The Developer shall submit grading plan with hydrology and hydraulic calculations showing building elevations and drainage pattern and slopes for review and approval by the Director of Planning and Building Services and the Director of Public Works prior to approval of any building permit.
- AA. Public improvements shall be constructed in accordance with approved plans. Detailed off-site improvement plans, including landscaping of the public parkways, shall be submitted to the Department of Public Works for review and approval.
- BB. The location of all backflow-prevention devices, fire prevention connections, and transformers shall be shown on plans submitted to the Public Works Department.

TRAFFIC & TRANSPORTATION BUREAU

- CC. The public parking lot adjacent to Alamitos Avenue and Ocean Boulevard is still active. To ensure that ample time to give to notify the users of the parking lot, the Developer shall contact the Traffic & Transportation Bureau, at (562) 570-6331 6-month prior to the start of the 1st phase construction work.
- DD. The Developer shall provide a rooftop traffic monitoring station accessible to City of Long Beach staff. This station shall be equipped with electrical service through a dedicated circuit. An agreement as to the permanent nature of this facility shall be incorporated into Developer's Agreement with the City, or by separate instrument.
- EE. A traffic report must be prepared for this project, under the supervision and approved (stamped) by a registered Traffic Engineer in the State of California. In addition, any proposed physical street improvements must include a scaled drawing stamped by a registered civil engineer.
- FF. Prior to a permit for the phase 2 construction, the Developer shall submit a complete intersection plan for Ocean Boulevard and Alamitos/Shoreline Drive,

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showing all existing and proposed traffic lanes, curb alignments, crosswalks, traffic signal equipment and sidewalks, for the review and approval of the City Traffic Engineer.

- GG. The Developer shall provide for a new traffic signal at the intersection of Lime Avenue and 7th Street, to the satisfaction of the City Traffic Engineer.
 - HH. The Developer shall provide for the new traffic signal at the intersection of Ocean Boulevard and Atlantic Avenue, to the satisfaction of the City Traffic Engineer.
 - II. The western portion of the east-west alley (Bronce Way), between Atlantic Avenue and Broadway Court, shall be identified as a project access route in the traffic report. The City Traffic Engineer intends to convert this alley to one-way eastbound only use. This alley portion shall be rebuilt in its entirety by the developer.
 - JJ. To mitigate the impact of this high-density development upon the surrounding community, and in partial compensation for reduced parking requirements (below-code parking numbers) and the privatization of surface and underground public spaces adjacent to the project, developer shall participate in the creation and implementation of a parking management plan. This plan shall serve as a mechanism to enable the City to formally address the owner(s) of this development regarding parking problems that may materialize in the immediate vicinity of the project, requiring an investigation and response on the part of the development owner(s). Elements of the plan may include parking disincentives, the implementation of valet parking, the acquisition or buy-down of off-site parking spaces, the deployment of mechanical parking, or other measures to address parking shortfalls.
 - KK. The Developer shall replace all traffic signs and mounting poles damaged or misplaced as result of construction activities to the satisfaction of the City Traffic Engineer.
 - LL. The Developer shall repaint all traffic markings obliterated or defaced by construction activities to the satisfaction of the City Traffic Engineer.
16. Applicant shall file a separate plan check submittal to the Long Beach Fire Department for their review and approval prior to the issuance of a building permit.
17. The applicant shall defend, indemnify, and hold harmless the City of Long Beach, its agents, officers, and employees from any claim, action, or proceeding against the City of Long Beach or its agents, officers, or employees brought to attack, set aside, void, or annul an approval of the City of Long Beach, its advisory agencies, commissions, or legislative body concerning this project. The City of Long Beach will promptly notify the applicant of any such claim, action, or proceeding against the City of Long Beach and will cooperate fully in the defense. If the City of Long Beach fails to promptly notify the applicant of any such claim, action or proceeding or fails to cooperate fully in the defense, the applicant shall not, thereafter, be responsible to defend, indemnify, or hold harmless the City of Long Beach.

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18. Separate permits are required for signs, fences, retaining walls, trash enclosures, flagpoles, pole-mounted yard lighting foundations and planters.
19. Site development, including landscaping, shall conform to the approved plans on file in the Department of Planning and Building. At least one set of approved plans containing Planning, Building, Fire, and, if applicable, Redevelopment and Health Department stamps shall be maintained at the job site, at all times for reference purposes during construction and final inspection.
20. The Applicant and/or successors is encouraged to utilize and incorporate energy conserving equipment, lighting and related features with the project to the greatest extent possible.
21. Approval of this development project is expressly conditioned upon payment (prior to building permit issuance or prior to Certificate of Occupancy, as specified in the applicable Ordinance or Resolution for the specific fee) of impact fees, connection fees and other similar fees based upon additional facilities needed to accommodate new development at established City service level standards, including, but not limited to, sewer capacity charges, Park Fees and Transportation Impact Fees.
22. Prior to the issuance of a building permit, the applicant shall submit architectural, landscaping and lighting drawings for the review and approval of the Police Department for their determination of compliance with Police Department security recommendations.
23. Prior to the issuance of building permits, landscape plans for the plaza shall be designed to the satisfaction of the Director of Development Services to ensure maximum connectivity between Medio Street and Ocean Boulevard.
24. All conditions from Case No. 0510-27 shall remain in full force and effect.
25. The applicant shall comply with all mitigation measures (MM) and special conditions (SC) as specified in the Mitigation Monitoring and Reporting Program of EIR 18-05 and SEIR 26-07 for the Shoreline Gateway project.
26. Prior to the issuance of a building permit, the project shall comply with Section 21.45.400 (Green Building Standards for Public and Private Development) of the Zoning Code.



CITY OF LONG BEACH

DEPARTMENT OF DEVELOPMENT SERVICES

333 West Ocean Blvd., 5th Floor Long Beach, CA 90802 (562) 570-6194 FAX (562) 570-6068

PLANNING BUREAU

APPLICATION FOR APPEAL

An appeal is hereby made to Your Honorable Body from the decision of the

Form with checkboxes for Zoning Administrator, Planning Commission (checked), Cultural Heritage Commission, and Site Plan Review Committee. Includes date: on the 16th day of May, 2013.

Project Address: 635 E. Ocean Blvd.

Reasons for Appeal: Design doesn't provide adequate parking because 85% are large units. Developer studies included non-local figures (video time 55:25) and an outdated "empty nester" theory. Few renters or buyers here are retirees. Developer said these will be rentals. Young Professionals in large units are usually 2-income households needing more than one car. Planning staff said 2.25 spaces were required (51:50) but changed. Section 55 in Conditions of Approval cannot correct inadequate parking after it's built. (53:49). Please require 2.25 spaces per unit & do not allow charging for guest parking (which would increase parking on street).

Your appellant herein respectfully requests that Your Honorable Body reject the decision and [X] Approve / Deny this application.

Table with 2 columns: Appellant 1 and Appellant 2. Appellant 1 details: Name: Debora Dobias, Organization: [blank], Address: 100 Atlantic Ave 814, City/ZIP: Long Beach 90802, Phone: 562-432-5856, Signature: [Signature], Date: 5/24/2013.

- A separate appeal form is required for each appellant party, except for appellants from the same address, or those representing an organization.
• Appeals must be filed within 10 days after the decision is made (LBMC 21.21.502).
• You must have established aggrieved status by presenting oral or written testimony at the hearing where the decision was rendered; otherwise, you may not appeal the decision.
• See reverse of this form for the statutory provisions on the appeal process.

(Below This Line for Staff Use Only)

[] Appeal by Applicant, or [X] Appeal by Third Party

Received by: [Signature] App. No.: [blank] Filing Date: 5-24-13
Fee: 50 Fee Paid [X] Project (receipt) No.: PSRR 29627