



BREAKERS HOTEL RENOVATION

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210 E OCEAN BLVD,
LONG BEACH,
CA 90802

REVISIONS: ISSUE DESCRIPTION: NO.:	ISSUE DATE:
PLANNING APPROVAL	10/30/2018

NADEL PROJECT No: 18016
DRAWING DATE: 08/10/2018
SCALE: 1/16"=1'-0"

ISSUE: PLANNING APPROVAL
10-30-2018

COVER SHEET

A0.00



CLIENT:	ALUMINUM AND GLASS STOREFRONT SYSTEM
	*THIS STOREFRONT AND CLEARSTORY SYSTEM IS INTENDED TO REFLECT THE SIMPLICITY, SCALE AND PROPORTION THE HISTORIC WINDOWS SYSTEMS INSTALLED IN 1928. THE SYSTEM WILL BE AN ALUMINUM FRAMED STOREFRONT SYSTEM WITH 4X 4-1/2" CENTER GLAZED, BY WINCO, WAUSAU OR SIM.
	ALUMINUM AND GLASS WINDOWS SYSTEM DESIGNED TO APPEAR DOUBLE HUNG PER THE ORIGINAL WINDOWS
	*1450 HR SERIES BY WINCO OR SIM
	STEEL REPLICA WINDOWS
	*3550 SERIES BY WINCO OR SIM
	ALL GLASS WINDOW SYSTEM
	*CR. US ALUMINUM- GLASS DOOR PATCH SYSTEMS
	GLASS RAIL SYSTEMS
	*42" HIGH GUARD RAIL SYSTEM CR. US ALUMINUM- GLASS RAILED DRY GLAZE GLASS RAILING SYSTEM
	PEDESTAL PAVES SYSTEMS:
	PEDESTAL PAVING SYSTEM - THE TECH STANDARD PEDESTAL PAVES SYSTEM PORCELAIN PAVERS - TILE TECH 2404 FINISH TBD WITH THE HEX TRAY WIND UPLOAD SYSTEM

AREA MATRIX

BREAKERS HOTEL ROOM AND AREA MATRIX

AREA PER FLOOR PLATE	PROPOSED AREA, GSF	EXISTING AREA, GSF
BASEMENT FLOOR	21,365	21,365
ARCADÉ FLOOR	21,365	21,365
GROUND FLOOR	19,090	19,090
MEZZANINE FLOOR	6,170	1,280
2ND FLOOR	17,370	16,720
3RD POOL AREA FLOOR	9,590	8,630
4TH AND 5TH FLOORS	9,345 X 2 FLOORS	18,290
6- 11TH TYPICAL FLOOR	8,765 X 6 FLOORS	52,590
12TH PENTHOUSE FLOOR	8,925	8,685
13TH SKY ROOM FLOOR	8,620	8,620
14TH ROOFTOP FLOOR	2,297	2,075
TOTAL	186,032	176,762
	ADDITIONAL AREA	9,270

FOOD AND BEVERAGE	AREAS GSF	SF/ SEAT	COVERS	EXISTING F&B AREA
FUTURE VENUE	1,900	15	127	
ALL DAY DINING	1,480	15	99	5600
LOBBY BAR	505	15	34	
FLEX DINING	630	15	42	
COFFEE SHOP	645	15	43	
MUSIC VENUE/ WINE BAR	1155	15	90	1300
POOL BAR	275	15	18	
SKY ROOM BAR & RESTAURANT	4,140	15	276	4140
CLOU/ ROOFTOP BAR	990	15	66	990
ROOFTOP TERRACE	1,815	15	121	
TOTAL	13,735		916	12,030
			ADDITIONAL AREA	1,705

SPA/ FITNESS	AREAS GSF	EXISTING SPA/ FITNESS
SPA/ FITNESS GROUND CENTER	4,170	
SPA MEZZANINE	3,615	
TOTAL	7,785	N/A

RETAIL	AREAS GSF	EXISTING RETAIL
RETAIL	710	
GIFT SHOP	220	
TOTAL	930	1600
	REDUCED AREA	-670

EVENT SPACE	AREAS GSF	EXISTING EVENT
BALL ROOM #1	3,080	
BALL ROOM #2	3,605	
BOARD ROOM	710	
MEETING ROOM A	445	
MEETING ROOM B	875	
MEETING ROOM C	295	
MEETING ROOM D	465	
MEETING ROOM E	440	
MEETING ROOM F	450	
2ND FLOOR MEETING ROOM 1	595	
2ND FLOOR MEETING ROOM 2	505	11,375
	(REMOVED) GROUND FLOOR BALLROOM	4,250
TOTAL	11,375	15,625
	REDUCED AREA	-4,250

TERRACE SPACE	AREAS GSF	EXISTING TERRACE
2ND FLOOR	1,770	2,030
POOL DECK	4,010	
ROOF TOP BAR TERRACE	1,815	
TOTAL	7,595	2,020
	ADDITIONAL AREA	5,575

GUESTROOMS	AVE. AREA (SF)	NUMBER	%	AREAS GSF	EXISTING GUEST AREA
KING	375 SF	124	67%		
DOUBLE QUEEN	430 SF	37	20%		
JR SUITE	450 SF	13	7%		
SUITES	578 SF	11	6%		
TOTAL GUESTROOMS		185			242
TYP. GUEST ROOM (7 LEVELS)	8765 GSF				
TOTAL GUEST ROOM FLOORS				105,178	96,965
				ADDITIONAL AREA	8,213

NARRATIVE

BREAKERS HOTEL
 210 E OCEAN BLVD LONG BEACH CA 90802
 ASSESSORS ID 1279-007-034
 170-40 LOCK 1, OCEAN VIEW TR 1/2 VAC ST, ADJ ON S AND LOTS 15 THRU LOT 19

ZONING: PLANNED DEVELOPMENT DISTRICT (PD-4) SUB AREA 7
 ALLOWABLE USE: HOTEL/RESIDENTIAL
 MAX ALLOWABLE HEIGHT: 250' SETBACKS

* FRONT (OCEAN BLVD) 80'
 * SIDE 0
 * BACK 0

PARKING: REUSE OF EXISTING BUILDINGS SHALL NOT REQUIRE PARKING IN EXCESS OF WHAT CURRENTLY EXIST.

BUILDING CODE:
 2016 CALIFORNIA BUILDING CODE (CBC)
 2016 CALIFORNIA HISTORIC BUILDING CODE (CHBC)
 2016 CALIFORNIA EXISTING BUILDING CODE PART 10
 USE AND OCCUPANCY:
 * RESIDENTIAL GROUP R-1: HOTEL (PRIMARY USE)
 * ASSEMBLY GROUP A-2: RESTAURANT, BAR, BANQUET HALL (ACCESSORY USE)
 * ASSEMBLY GROUP A-3: POOL, ACCESSORY USE)
 * BUSINESS GROUP B: OFFICES (ACCESSORY USE)

CONSTRUCTION TYPE: TYPE 1 B
 MAX HEIGHT: 180' (UNLIMITED AS LONG AS WITHIN HISTORIC ENVELOPE PER CHBC)
 MAX FLOORS: 12 (UNLIMITED AS LONG AS WITHIN HISTORIC ENVELOPE PER CHBC)
 MAX AREA: UNLIMITED

PROJECT NARRATIVE:
PRELIMINARY PROPOSED PROGRAM:
 * 1180 KEY BOUTIQUE HOTEL, WITH ATTENDANT SUPPORT FUNCTIONS
 * 113,300 SF OF FOOD AND BEVERAGE VENUES, ACCESSIBLE TO PUBLIC
 * GROUND FLOOR MAIN DINING
 * GROUND FLOOR WINE BAR
 * APPROPRIATELY SIZED HOTEL ROOMS (BRIOLLER ROOM)
 * PENTHOUSE DINING (SKY ROOM)
 * ROOFTOP BAR (CLOU BAR) AND ROOF TERRACE
 * 110,000 SF OF ARCADE LEVEL MEETING / CONFERENCE ROOMS
 * 14,000 SF SPA AND FITNESS
 * OUTDOOR POOL

PROPOSED EXTERIOR WORK:
 THE NEW HOTEL WILL RETAIN THE CHARACTER AND CHARM OF THE EXISTING BUILDING BY RETAINING THE EXISTING HISTORIC FEATURES AND COMPLEMENTING THESE FEATURES WITH DISCRETE NEW MODERN ADDITIONS.
 THE EXISTING FACADES WILL BE CLEANED PER THE SECRETARY OF THE INTERIORS STANDARDS FOR REHABILITATION USING THE GENTLEST MEANS POSSIBLE FOR CLEANING SURFACES. DETERIORATED HISTORICAL FEATURES SHALL BE REPAIRED RATHER THAN REPLACED AND THEN ALL SURFACES TO BE PAINTED, WITH THE HISTORIC ELEMENTS BEING RETAINED AND REPAIRED AS REQUIRED.
 MOST OF THE EXISTING WINDOWS HAVE BEEN REPLACED WITH INEXPENSIVE AND INAPPROPRIATELY DESIGNED WINDOWS. THESE WILL ALL BE REPLACED WITH NEW ENERGY EFFICIENT ALUM AND GLASS WINDOWS UTILIZING PROFILE AND COLOR OF THE ORIGINAL 1928 WINDOWS.
 AT THE GROUND LEVEL ALONG OCEAN BLVD THERE IS ONLY ONE REMAINING STOREFRONT SYSTEM FROM THE TIME OF SIGNIFICANCE. IT WILL BE RETAINED, CLEANED AND REPAIRED AS REQUIRED.
 ALL NEW COPINGS AND BELT COURSES THAT ARE CONTIGUOUS TO EXISTING SHALL BE PRECAST, MADE FROM A RUBBER CASTING OF THE ORIGINAL COPING/BELT COURSING.
 ALL EXISTING CANOPIES ARE NOT FROM THE HISTORICAL PERIOD OF SIGNIFICANCE AND WILL BE REMOVED. NO CANOPIES ARE BEING PROPOSED.
 THE REMAINING, NON-HISTORIC STOREFRONTS WILL BE REPLACED WITH NEW STOREFRONTS THAT WILL REFLECT THE SIMPLICITY, SCALE AND PROPORTION OF THE ORIGINAL 1928 STOREFRONTS AND ENTRIES.
 THE FACADE HAS A FEW REMAINING EXISTING WINDOWS THAT ARE DATING BACK TO WITHIN THE HISTORIC DESIGNATION RANGE: 1928-1947. THESE WINDOWS WILL BE RETAINED AND REPAIRED AS REQUIRED.

* GROUND FLOOR WOOD, STEEL AND GLASS STOREFRONT WINDOW SYSTEM BELOW THE NEW TRANSOM
 * GROUND FLOOR HAS A STEEL AND GLASS "ARCH" WINDOWS LOCATED AT THE EAST AND WEST FACADES.
 * SECOND FLOOR THERE ARE A MULTIPLE STEEL AND GLASS FIXED WINDOWS FLANKED BY CASEMENT WINDOWS.
 * THIRTEENTH FLOOR THERE ARE A MULTIPLE STEEL AND GLASS FIXED WINDOWS FLANKED BY CASEMENT WINDOWS.
 * THIRTEENTH FLOOR ADDITION TO THE SKY ROOM THE ROOF IS SUPPORTED BY A STRUCTURAL MULLION THAT IS INTEGRATED INTO THE WINDOW DESIGN.

THE EXISTING STAR TOWER AT THE NORTH END OF THE BUILDING WILL BE SLIGHTLY EXPANDED TO THE NORTH IN A HISTORICALLY COMPLIMENTARY STYLE. IN ORDER TO ACCOMMODATE CODE REQUIRED NEW STAIRS AND SERVICE ELEVATOR EXTENSION, THIS NEW ADDITION WILL BE SEPARATED BY A REVEAL FROM THE ORIGINAL CONSTRUCTION AND IS THE LEAST DISRUPTIVE ALTERNATIVE TO PROVIDE THE REQUIRED FIRE AND LIFE SAFETY ELEMENTS.

THERE WILL BE A NEW EXTERIOR POOL DECK ABOVE THE EXISTING SECOND FLOOR DINING ROOM, LOOKING OUT OVER THE TERRACE. THEATER CENTER TO THE NORTH. THIS POOL DECK WILL HAVE A SOLID RAIL SET BACK FROM OCEAN BOULEVARD, COLLINS WAY AND THE ALLEY. FROM COLLINS WAY AND THE ALLEY, IT WILL BE MINIMALLY VISIBLE. ADDITIONALLY, THERE WILL BE A SMALL SECOND FLOOR TERRACE, FACING SOUTH, WHICH WILL BE INVISIBLE FROM GROUND LEVEL.

THERE WILL BE A NEW ROOF TOP TERRACE ABOVE THE PENTHOUSE RESTAURANT, ACCESSIBLE FROM AND AT THE SAME LEVEL AS THE EXISTING CLUB BAR (SUITE BAR). IN ORDER TO MINIMIZE THE IMPACT FROM AT-GRADE SIGHTLINES, THE NEW TERRACE WILL BE SET BACK FROM THE BUILDING FACE ALONG THE OCEAN BOULEVARD SIDE, AT THE BACK EDGE OF THE EXISTING SLOPED TILE ROOF THAT WILL BE RETAINED. AT THE LOCUST AVENUE SIDE, THE TERRACE WILL BE SIGNIFICANTLY SET BACK FROM THE BUILDING FACE. THE STEPPED TERRACE WILL BE ENCLOSED WITH A 3'-0" HIGH GLASS RAIL ATOP A 2'-0" HIGH STEM WALL, AND WILL STEP DOWN 2'-0" AND PROVIDE A 3'-6" HIGH GLASS RAIL ATOP A 4'-0" HIGH STEM, TO PROTECT PATRONS FROM WIND.

PROPOSED GROUND-LEVEL WORK:
 THE ENTIRE EXISTING FRONTAGE, FROM PUBLIC RIGHT OF WAY TO THE BUILDING FACE, WILL BE UPDARED WITH NEW PAVING, PLANTINGS, AND A POSSIBLE SCULPTURE IN A WAY THAT IS AN ENHANCEMENT TO VICTORY PARK. NEW

PLANTINGS WILL BORDER THE PUBLIC SIDEWALK AREA. VALET SERVICE FOR HOTEL, SPA, AND RESTAURANT / BAR GUESTS WILL OCCUR NEAR THE EXISTING MAIN ENTRY. THE DRIVEWAY PROPER WILL BE WIDENED TO TWO CUEING LANES AND A SMALL PASSING LANE IN ORDER TO RELIEVE CONGESTION DURING PEAK USAGE. THIS WILL AVOID BACKUPS ONTO OCEAN BOULEVARD AND ENSURE ACCESS TO EMERGENCY VEHICLES IF NEEDED.

ADDITIONALLY, VALET SERVICE ALONG LOCUST AVENUE WILL BE MAINTAINED FOR THE ARCADE LEVEL MEETING ROOM FUNCTIONS.

PROPOSED INTERIOR WORK:
 THE HISTORICAL FEATURES OF THE INTERIOR MAINLY OCCUR AT THE EXISTING GROUND LEVEL LOBBY AND THE ARCADE LEVEL HALLWAY. MOST PROMINENTLY, THERE ARE ORIGINAL PLASTER COLUMN, WALL AND CEILING DETAILS UTILIZING MARITIME AND CLASSICAL THEMES. THESE FEATURES, ALONG WITH ANY OTHER SUBSTANTIAL HISTORICAL ELEMENTS, WILL LARGELY BE RETAINED AND INCORPORATED INTO THE NEW INTERIORS.
 AT THE ARCADE LEVEL, THE EXISTING HALLWAY WILL BE RETAINED, ALONG WITH ITS CONVEX CEILING AND OTHER HISTORICAL DETAILS. NEW ENTRIES INTO FLANKING MEETING AND CONFERENCE ROOMS WILL BE CREATED.

AT THE GROUND FLOOR WE WILL KEEP THE LARGE LOBBY WITH ADDJONING FOOD AND BEVERAGE VENUES. THE LOBBY WILL HAVE STRATEGIC OPENINGS INTO THE STOREFRONT AREAS ALONG THE DRIVE COURSE TO CREATE OPENNESS AND FACILITATE CIRCULATION. THE EXISTING STAIR CONNECTING THE ARCADE LEVEL WITH THE GROUND FLOOR, WHICH IS NOT ORIGINAL, WILL BE RELOCATED AND RESULT IN A COMPLIANT STYLE. THERE WILL BE A NEW SPA AND FITNESS AREA AT THE EAST END OF THE GROUND FLOOR.

THE TYPICAL RESIDENTIAL FLOORS WILL BE RECONFIGURED TO ACCOMMODATE APPROPRIATELY SIZED HOTEL ROOMS. THE ROOMS WILL UTILIZE THE EXISTING EXTERIOR WINDOW LOCATIONS AND WILL BE ACCESSED FROM A CENTRAL CORRIDOR THAT LARGELY UTILIZES THE EXISTING CORRIDOR LOCATION.
 THE EXISTING LOCATION OF THE SKY ROOM AT THE THIRTEENTH FLOOR WILL BE RETAINED. THE EXISTING CLOU BAR WILL BE RENOVATED AND PROVIDED WITH IMPROVED ACCESS AND A NEW OUTDOOR TERRACE.

VERTICAL CIRCULATION SYSTEM
 * OCCUPANT LOAD WILL BE DETERMINED BASED ON 2016 CBC TABLE 1004.1.2
 * NUMBER OF EXITS WILL BE DETERMINED BASED ON 2016 CBC TABLE 1008.2(2)
 * LUNDSHAW EXPRESS PATH MARKING IS REQUIRED PER CBC SECTION 1025

STAIRS:
 * THE STAIR TO THE BASEMENT LEVEL, VENUE AND THE ARCADE ENTRY STAIR AT LOCUST AVE WILL BE RETAINED AS AN EXISTING CONDITION
 * THE TWO EXISTING TOWER EXIT STAIRS WILL REPLACE WITH NEW STAIRS THAT ARE CODE COMPLIANT AND SERVE THE GROUND LEVEL TO THE 14TH FLOOR.
 * ALL INTERNAL STAIRS WILL BE REPLACED WITH NEW CODE COMPLIANT STAIRS.
 * THE EXTERIOR STAIR ALONG COLLINS WAY WILL BE REPLACED WITH A NEW CODE COMPLIANT STAIR ELEVATORS:
 * THE 3 EXISTING GUEST ELEVATORS WILL BE REPLACED WITH NEW CUSTOM SIZED 2,500 450 FPM MODERN ELEVATORS WITHIN THE EXISTING ELEVATOR SHAFTS
 * THE EXISTING SERVICE ELEVATOR WILL BE REPLACED WITH A NEW CUSTOM SIZED 4,000 500 FPM GURNEY CAPABLE SERVICE ELEVATOR WITHIN A CUSTOM SIZED SHAFT
 * THE ELEVATOR ACCESS CONTROL SYSTEM WILL ALLOW CUSTOMIZED ACCESS TO HOTEL GUEST.
 * THE LOCATION OF THE SERVICE ELEVATOR IS THE LEAST IMPACT-FULL OF ALL POSSIBLE LOCATIONS BECAUSE A PARTIAL HEIGHT SERVICE ELEVATOR SHAFT ALREADY EXISTS IN THIS LOCATION.

STRUCTURAL
 SHEAR WALLS TO BE REMOVED:
 * SHEAR WALL WITHIN THE LOUNGE BAR AND BETWEEN COFFEE SHOP AND LOBBY
 * SHEAR WALL ALONG OCEAN BLVD ADJACENT TO THE ENTRY PORTAL
 * RE OPENING OF PREVIOUSLY INFILLED WINDOWS AT THE EXISTING SHEAR WALLS AT THE NORTH, EAST AND WEST FACADES STRUCTURAL STRENGTHENING:
 * SHEAR WALL STRENGTHEN WILL BE PROVIDE VIA CARBON FIBER WRAPPING OF EXISTING SHEAR WALLS AND FLOORS
 * EXISTING SHEAR WALLS WILL BE EXPANDED AT THE SOUTH SIDE OF THE COFFEE SHOP AT THE BACK OF EXISTING HISTORIC WALL AND AT THE SOUTH SIDE OF THE GIFT SHOP BETWEEN GRIDS 6 AND 7
 * RELOCATING THE SHEAR WALL AT GRIDS 12D AND 12C TO BE CENTERED BETWEEN THE COLUMNS WITH THE STAIR AROUND THE OUTSIDE OF THE COLUMNS/SHEAR WALL POOL AND TERRACE STRUCTURE.
 * THE POOL WILL BE SUPPORTED BY NEW STEEL COLUMNS OVER EXISTING CONCRETE COLUMNS AT THE SECOND FLOOR.
 * THE POOL TERRACE WILL BE SUPPORTED BY NEW STEEL BEAMS AND CONCRETE FILLED METAL DECK.
 * THE ROOFTOP TERRACE WILL BE SUPPORTED BY NEW STEEL COLUMNS OVER EXISTING CONCRETE COLUMNS WITH NEW STEEL BEAMS AND CONCRETE FILLED METAL DECK
 * ELEVATOR STAIR TOWER STRUCTURE
 * AT NEW ELEVATOR STAIR TOWER USE FIBERGLASS REINFORCED STUCCO (FRS)
 * THE NEW ELEVATOR STRUCTURE WILL BE CAST IN PLACE CONCRETE STRUCTURE TIED BACK TO THE EXISTING CONCRETE STRUCTURE
 * THE NEW LANDING STAIR STRUCTURE WILL BE CEMENT PLASTER WALL SYSTEM SUPPORTED BY A TS FRAME TIED BACK TO THE EXISTING AND NEW CONCRETE STRUCTURE.
 * FLOORS WILL BE NEW CONCRETE FILLED METAL DECK
 * EXTERIOR FRAMING TO BE LIGHT GAUGE METAL FRAMING COVERED WITH A CEMENT PLASTER WALL SYSTEM

WINDOW SYSTEMS:
 EXISTING HISTORIC WINDOWS SYSTEMS TO REMAIN:
 * STEEL AND GLASS STOREFRONT WINDOW AT OCEAN BLVD WILL BE CLEANED AND REPAIRED AS REQUIRED.
 * STEEL AND GLASS ARCHED WINDOWS WILL BE CLEANED AND REPAIRED AS REQUIRED.
 * STEEL AND GLASS FIXED/CASEMENT WINDOWS AT THE SECOND FLOOR, WINDOWS WILL BE CLEANED AND REPAIRED AS REQUIRED, AND WILL HAVE A NEW SECONDARY ALUMINUM W/ INSULATED

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NADEL PROJECT No: 18016
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 PROJECT SUMMARY/ NARRATIVE



Date: March 23, 2018
Project: The Breakers Hotel, Long Beach
For: Pacific Enterprises
From: Laura O'Neill, Senior Architectural Historian & Emily Rivardi, Associate Architectural Historian
Subject: Breakers Hotel Building History & Changes Over Time

This memorandum was prepared at the request of Pacific Enterprises, GPA Consulting conducted research into the history of the Breakers Hotel at 200 E. Ocean Boulevard in Long Beach, GPA reviewed building plans and permits obtained from the Long Beach Department of Building & Safety, as well as historic photographs and newspaper articles. GPA also conducted field inspections on March 20-21, 2018 to document the building's existing conditions and to determine to what extent original features, finishes, and materials remained intact beneath subsequent alterations.

Below is a summary of notable alterations to the building's exterior and interior spaces. Notable original features, finishes, and materials that date from the building's construction in 1926-1928 or from when Conrad Hilton renovated the building in 1938-1939 are also noted below. Please note that this summary of notable original features and alterations is not a complete list and is based upon information known as of the date of this memo.

Exterior: Basement and Arcade

- Windows have been infilled or were replaced with new windows in 1990.
- Garage opening was constructed sometime before 1946. Roll-up metal door is a modern replacement.
- Entrance to Arcade is likely not original, although the door frame could possibly date from 1939.

Exterior: Ground-Floor

- Glass-and-bronze infill at the main entrance is not original and possibly dates from 1962. The glass doors at the main entrance are also not original and likely date from the 1980s or 1990s. The original main entrance was a single wood revolving door with metal multi-light sidelights and transom.
- Light fixtures at the main entrance are likely original, although they have been moved. These light fixtures were originally located on the paired pilasters to either side of the main entrance rather than within the reveal of the main entrance.
- Storefronts to the east and west of the main entrance have almost all been entirely altered from their original configuration and replaced with modern storefront infill. However, one

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storefront, the second storefront to the west of the main entrance, likely retains features/finishes/materials from 1926 and 1939. This storefront likely retains the original door frame and transom above the entry door from the original 1926 storefront. It also retains the 1939 storefront windows and bulkheads. It no longer retains the 1939 transom windows historically located above the storefront. It also no longer retains the original 1926 entry door.

- Majority of windows on the ground floor have been infilled or replaced with new windows in 1990. The only original windows that possibly remain intact are the two arched metal windows on the east elevation. Two of the arched metal windows on the west elevation appear partially intact, although the original multi-light central window sash has been replaced with a single-light window sash.
- Terra cotta tile cladding on the north elevation was installed in 1939 and has since been painted. The ground-floor was originally entirely clad in stone or masonry made to appear like stone.

Exterior: Second through Thirteenth Floors

- Majority of window sash and frames were replaced in 1990 with new window sash and frames. While no original windows remain on these upper floors, windows on the second floor of the four-story wing likely date from 1939. Some of the windows on the thirteenth floor also likely date from 1939. The Sky Room addition was constructed in 1946-1947; however, the existing windows on the addition appear to have been altered somewhat from historic photographs and were likely replaced at an unknown date.
- Historic photographs of the east elevation show that the windows on the projecting bay where one opening is half the height of the other is the original configuration. The smaller opening has likely not been reared. The larger opening was originally an open balcony with a metal railing. This balcony has since been enclosed with a fixed window. The existing railing is not original, though it possibly dates from 1939.
- Fire escape on the south elevation likely dates from 1926 or 1939.
- Gun turret on the south elevation of the tower dates from World War II.

Interior: Arcade Floor

- Paired pilasters and arches in the Arcade entrance vestibule and corridor are likely original.
- Light fixtures in the Arcade entrance vestibule and corridor are likely modern replacements and not original.
- Portions of the wood and plaster trim, moldings, and base in the corridor are possibly original or date from 1939. A portion of these features were also replaced during the 1990 rehabilitation.

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Interior: Lobby

- Configuration of partitions has been altered over time, most notably along the north wall. Historic photographs of the original 1926 lobby show that there was originally an opening between the storefront immediately west of the main entrance and the lobby. During the 1939 Hilton renovation, the interior partitions between the three storefronts to the west of the main entrance and the lobby were modified with new openings, which were infilled with glass display cases.

- Original features that remain from 1926 are located on the ceiling or border the ceiling. These features include: column capitals, ceiling panels, cornices, and ornamental moldings. The wood paneling on the reception desk also likely dates from 1926.

- Original walls and columns were finished to look like rusticated stone. These features also had a plaster or masonry chair rail and a plaster or masonry base. This original finish was replaced with a smooth plaster finish in 1939. The original chair rails were removed, and the base was replaced with wood baseboards.

- Window moldings were likely installed in 1939 during the Hilton renovation.

- Baseboards were likely installed in 1939 during the Hilton renovation.

- Light fixtures are modern replacements and are not original.

- Applied plaster wall trim is not original and was likely added sometime during the 1980s.

- Flooring is not original nor does it likely date from the Hilton renovation. It likely was installed sometime after 1947. The original flooring was possibly limestone, which was typical for hotels constructed during the 1920s.

Interior: Ground-Floor Elevator Lobby

- Elevator door frames and baseboard on south wall likely date from 1939.

- Ceiling paneling likely dates from 1926 or was replaced to match original ceiling paneling.

- Light fixture is a modern replacement and not original.

- Letter box and mail chute likely dates from 1939. It is not seen in a historic photograph of the original 1926 elevator lobby.

- Stair to second floor was constructed in 1939.

- Flooring is not original nor does it likely date from the Hilton renovation. It likely was installed sometime after 1947.

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Interior: First-Floor Bar

- First-floor bar was originally constructed in 1939 during the Hilton renovation.
- Configuration of the partitions has been altered over time. The entrance on the west wall was originally located to the south of the current entrance. The entrance on the south wall is likely in its 1939 location, although there was previously a partition immediately to the north of this entrance that enclosed a short corridor to the bar. A portion of the west wall was relocated further east, likely during the 1980s seismic upgrades or possibly when the mail room was first constructed.

- Ceiling and light fixtures are modern replacements and do not date from 1939.

- Drawings from the 1990 rehabilitation indicate that the bar and bar back were salvaged from another location and installed in this space at this time.

- Portions of wall paneling possibly date from 1939, other portions were salvaged from another location and installed during the 1990 rehabilitation according to a note on the 1990 drawings.

- Flooring possibly dates from 1939; however, it was altered at an unknown date to mirror the new location of the west wall.

Interior: First-Floor Ballroom

- Historic photographs show that there originally was a formal dining room located in the approximate location of the first-floor ballroom. This formal dining room was subsequently partitioned into multiple spaces in 1939.

- Original features/finishes/materials were removed from the spaces that were converted into a kitchen, cocktail room, and service corridor, but 1926 features/finishes/materials likely remained in the space noted as the "Grille Room" on the 1939 plans.

- First-floor ballroom was restored in 1986, and features/finishes/materials thought to date from 1926 were retained and replicated throughout the space. It is likely that original features/finishes/materials remain in the southwest portion of this space where the 1939 "Grille Room" was located.

- Features/finishes/materials original to this space possibly include: portions of the moldings on the ceiling, moldings along the ceiling beams, and the column capitals.

- Features/finishes/materials not original to this space include: mirrored panels on the columns; applied plaster trim on the walls; flooring; light fixtures; baseboard; and door surround on west wall.

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Interior: Mezzanine

- Portion of the mezzanine was demolished in 1939, and the remainder of the mezzanine was enclosed. Historic photographs from 1926 show that mezzanine was originally open to the lobby with a low metal railing along the perimeter.

- Metal and wood railing of the mezzanine stair is original and pictured in historic photographs of the original 1926 lobby.

Interior: Second-Floor Dining Room

- None of the existing features/finishes/materials date from 1926. It is unknown whether the trim on the columns or the baseboards possibly date from 1939.

Interior: Upper-Floor Elevator Lobbies

- No original features/finishes/materials likely remain from 1926.
- Baseboards and elevator door frames possibly date from 1939.
- Mail chute likely dates from 1939.

Interior: Upper-Floor Corridors

- Corridor configuration has been altered by the enclosure of the original staircase on floors 2-12 and the reconfiguration of openings at the northwest corner of the corridor on several floors.
- Some original door frames and transoms from 1926 remain in the upper-floor corridors.

- Ceiling is likely not original. It was likely lowered in part and the soffit added to conceal sprinkler system sometime after 1926.

Interior: Upper-Floor Hotel Rooms

- Original baseboard and wall trim remain in some hotel rooms.
- Original door frames, paneled doors, and hardware remain in some hotel rooms.
- Original window moldings likely remain in the majority of the hotel rooms.
- Original marble thresholds at openings to the bathroom remain in some hotel rooms.

Interior: Sky Room

- Majority of the features/finishes/materials in the lobby, restrooms, main dining room, and 1947 Sky Room addition date from the 1984 renovation of the Sky Room.
- Coved ceiling over platform at the west end of the main dining room and in the Sky Room addition date from the 1957 renovation of the Sky Room.
- Curved wall at the west end of the main dining room also dates from 1957.

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Interior: Circulation

- Configuration of the main staircase was altered when this staircase was enclosed in 1970. This included the relocation of landings and treads at floors 2-12. It also included the demolition of the stair at the first floor and the construction of a new stair that connects to the original 1926 stair at the mezzanine level. The metal stair railing is also not original; however, portions of the metal railing possibly date from 1939.

- Elevator doors, cabs, call buttons, and indicator lights are all modern replacements and not original.

Memorandum - The Breakers Hotel, Long Beach, CA 6



BREAKERS HOTEL RENOVATION

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 LONG BEACH,
 CA 90802

REVISIONS:	ISSUE DESCRIPTION:	ISSUE DATE:
NO.		
	PLANNING APPROVAL	10/30/2018

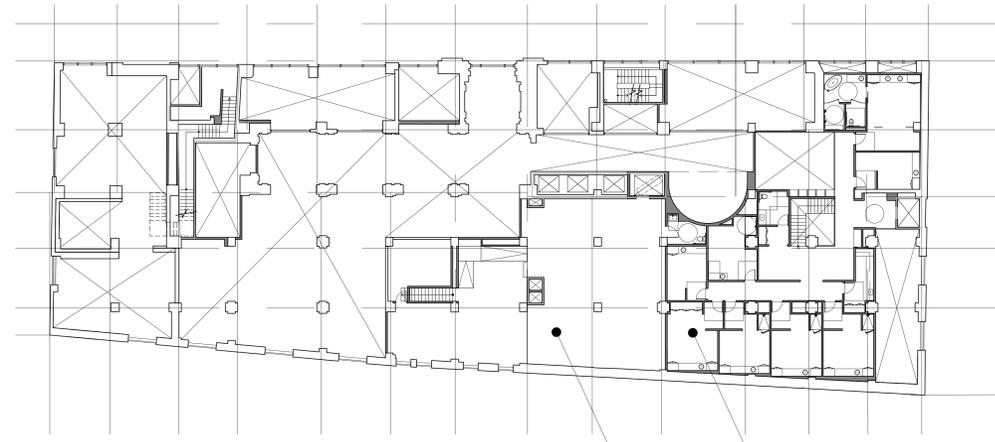
NADEL PROJECT No: 18016
 DRAWING DATE: 08/10/2018

SCALE: 1/16"=1'-0"

GPA HISTORICAL MEMORANDUM

A0.03

10-30-2018



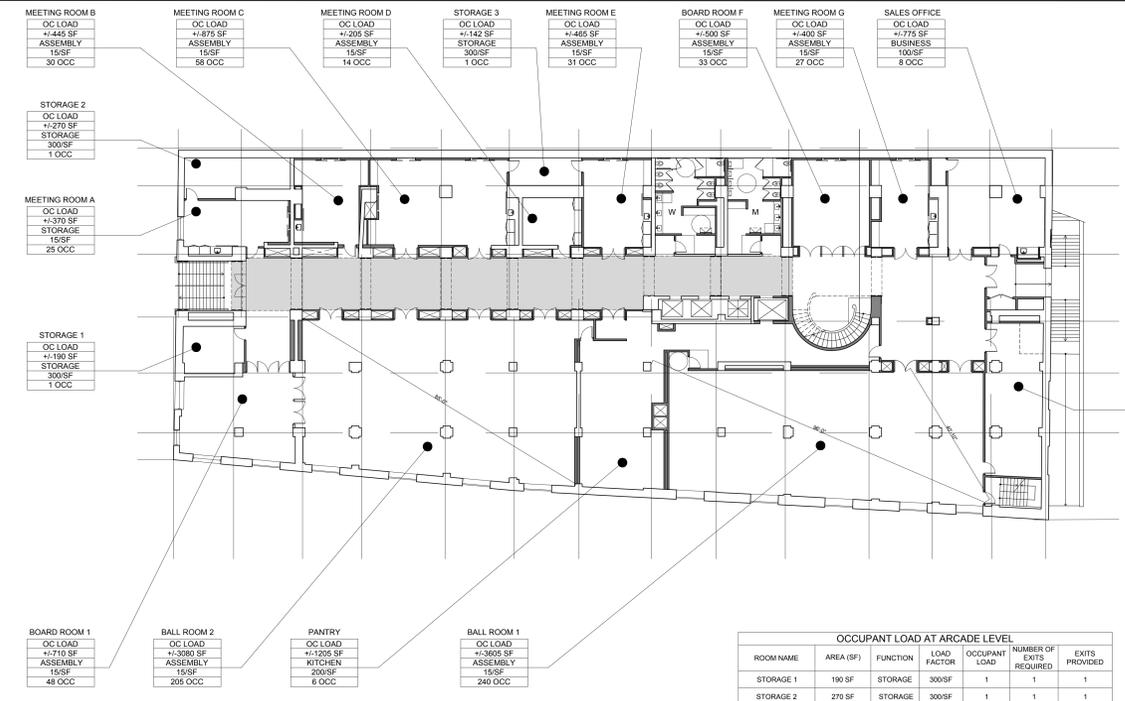
OFFICES
 OC LOAD
 +/-2882 SF
 BUSINESS
 100SF
 29 OCC

SPA / FITNESS
 OC LOAD
 +/-3800 SF
 BUSINESS
 100SF
 36 OCC

OCCUPANT LOAD AT MEZZANINE LEVEL

ROOM NAME	AREA (SF)	FUNCTION	LOAD FACTOR	OCCUPANT LOAD	NUMBER OF EXITS REQUIRED	EXITS PROVIDED
OFFICES	2,882 SF	BUSINESS	100SF	29	1	1
SPAFITNESS	3,600 SF	BUSINESS	100SF	36	1	1
TOTAL OCCUPANT LOAD GROUND FLOOR				65	2	2
65 OCCUPANTS PER LEVEL DIVIDED BY 2 EXITS = 33 OCCUPANTS PER EXIT						

MEZZANINE LEVEL 4
 1/16" = 1'-0"



OCCUPANT LOAD AT ARCADE LEVEL

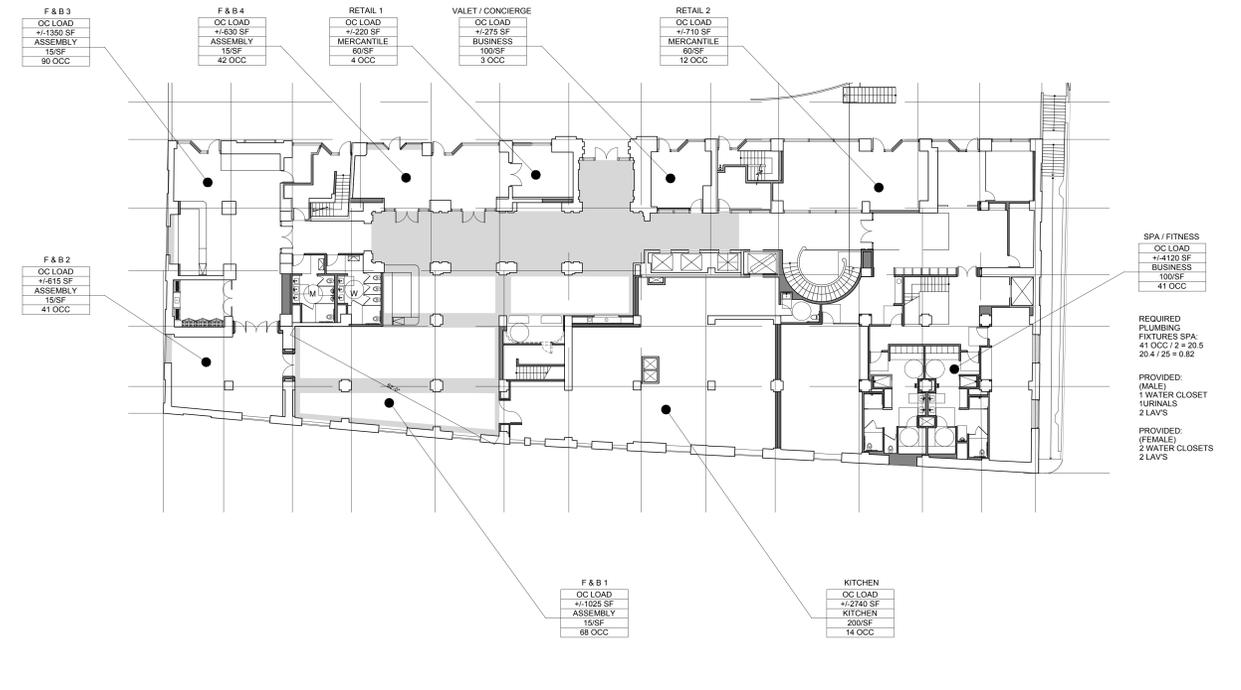
ROOM NAME	AREA (SF)	FUNCTION	LOAD FACTOR	OCCUPANT LOAD	NUMBER OF EXITS REQUIRED	EXITS PROVIDED
STORAGE 1	190 SF	STORAGE	300SF	1	1	1
STORAGE 2	270 SF	STORAGE	300SF	1	1	1
MEETING ROOM A	370 SF	ASSEMBLY	15SF	25	1	1
MEETING ROOM B	445 SF	ASSEMBLY	15SF	30	2	2
MEETING ROOM C	875 SF	ASSEMBLY	15SF	58	1	1
MEETING ROOM D	205 SF	ASSEMBLY	15SF	14	1	1
MEETING ROOM E	465 SF	ASSEMBLY	15SF	31	1	1
MEETING ROOM F	500 SF	ASSEMBLY	15SF	33	1	1
MEETING ROOM G	400 SF	ASSEMBLY	15SF	27	1	1
SALES OFFICE	775 SF	BUSINESS	100SF	8	1	1
BALL ROOM 1	3,605 SF	ASSEMBLY	15SF	240	2	2
PANTRY	1,205 SF	KITCHEN	200SF	6	1	1
BALL ROOM 2	3,080 SF	ASSEMBLY	15SF	205	2	2
BOARD ROOM	710 SF	ASSEMBLY	15SF	48	1	1
STORAGE ROOM 3	142 SF	STORAGE	300SF	1	1	1
STORAGE ROOM 4	558 SF	STORAGE	300SF	2	1	1
TOTAL OCCUPANT LOAD GROUND FLOOR				730	3	4
730 OCCUPANTS PER LEVEL DIVIDED BY 4 EXITS = 183 OCCUPANTS PER EXIT						

REQUIRED PLUMBING FIXTURES:
 730 OCC / 2 = 365
 365 / 75 = 4.86

PROVIDED:
 (MALE)
 3 WATER CLOSETS
 3 URINALS
 2 LAVS

PROVIDED:
 (FEMALE)
 6 WATER CLOSETS
 2 LAVS

ARCADE LEVEL 2
 1/16" = 1'-0"



OCCUPANT LOAD AT GROUND FLOOR

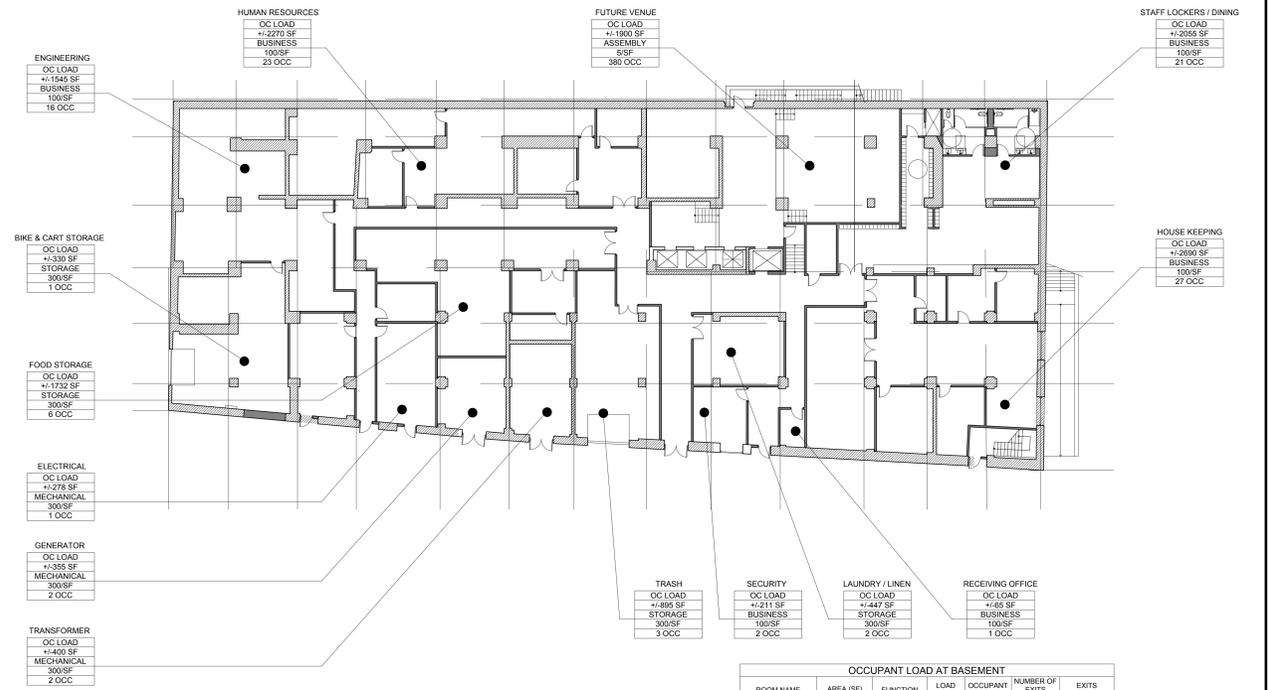
ROOM NAME	AREA (SF)	FUNCTION	LOAD FACTOR	OCCUPANT LOAD	NUMBER OF EXITS REQUIRED	EXITS PROVIDED
KITCHEN	2,740 SF	KITCHEN	200SF	14	1	1
F & B 1	1,025 SF	ASSEMBLY	15SF	68	2	2
F & B 2	615 SF	ASSEMBLY	15SF	41	1	1
F & B 3	1,350 SF	ASSEMBLY	15SF	90	2	2
F & B 4	430 SF	ASSEMBLY	15SF	42	1	1
RETAIL 1	220 SF	MERCANTILE	60SF	4	1	1
VALET/CONC	275 SF	BUSINESS	100SF	3	1	1
RETAIL 2	710 SF	MERCANTILE	60SF	12	1	1
SPA / FITNESS	4,120 +3,600=7,720SF	BUSINESS	100SF	77	2	2
TOTAL OCCUPANT LOAD GROUND FLOOR				351	2	5
351 OCCUPANTS PER LEVEL DIVIDED BY 6 EXITS = 70 OCCUPANTS PER EXIT						

REQUIRED PLUMBING FIXTURES:
 274 OCC / 2 = 137
 137 / 60 = 2.28

PROVIDED:
 (MALE)
 2 WATER CLOSETS
 3 URINALS
 3 LAVS

PROVIDED:
 (FEMALE)
 4 WATER CLOSETS
 3 LAVS

GROUND FLOOR 3
 1/16" = 1'-0"



OCCUPANT LOAD AT BASEMENT

ROOM NAME	AREA (SF)	FUNCTION	LOAD FACTOR	OCCUPANT LOAD	NUMBER OF EXITS REQUIRED	EXITS PROVIDED
TRASH ROOM	895 SF	STORAGE	300SF	3	1	1
TRANSFORMER	400 SF	MECHANICAL	300SF	2	1	1
GENERATOR	355 SF	MECHANICAL	300SF	2	1	1
ELECTRICAL	278 SF	MECHANICAL	300SF	1	1	1
FOOD STORAGE	1,728SF	STORAGE	300SF	6	1	1
BIKE STORAGE	330 SF	STORAGE	300SF	1	1	1
ENGINEERING	2,875 SF	BUSINESS	100SF	16	1	1
HUMAN RESOURCE	2,270 SF	BUSINESS	100SF	23	1	1
FUTURE VENUE	1,900 SF	ASSEMBLY	95F	380	2	2
LOCKERS/DINING	2,055 SF	BUSINESS	100SF	21	1	1
HOUSE KEEPING	2,690 SF	BUSINESS	100SF	27	1	1
OFFICE	65 SF	BUSINESS	100SF	1	1	1
LAUNDRY/LINEN	447 SF	STORAGE	300SF	2	1	1
SECURITY	895 SF	BUSINESS	100SF	2	1	1
TOTAL OCCUPANT LOAD GROUND FLOOR				487	3	4
487 OCCUPANTS PER LEVEL DIVIDED BY 4 EXITS = 122 OCCUPANTS PER EXIT						

REQUIRED PLUMBING FIXTURES:
 90 OCC / 2 = 45
 45 / 25 = 1.8

PROVIDED:
 (MALE)
 1 WATER CLOSET
 1 URINAL
 2 LAVS

PROVIDED:
 (FEMALE)
 2 WATER CLOSETS
 3 LAVS

BASEMENT 1
 1/16" = 1'-0"

BREAKERS HOTEL RENOVATION
 210 E OCEAN BLVD, LONG BEACH, CA 90802

REVISIONS:

ISSUE NO.	DESCRIPTION	ISSUE DATE
1	PLANNING APPROVAL	10/30/2018

NADEL PROJECT NO: 18016
 DRAWING DATE: 08/10/2018

EXITING ANALYSIS

BREAKERS HOTEL RENOVATION

210 E OCEAN BLVD.
 LONG BEACH, CA 90802

REVISIONS:	ISSUE DESCRIPTION:	ISSUE DATE:
NO.:		
	PLANNING APPROVAL	10/30/2018

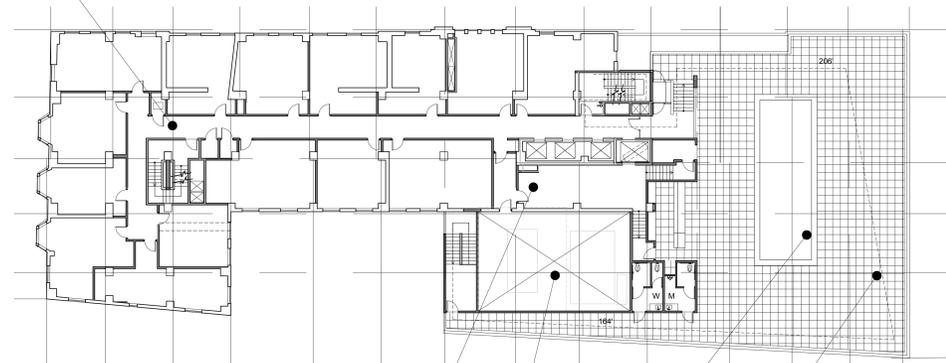
NADEL PROJECT No: 18016
 DRAWING DATE: 08/10/2018

SCALE: 1/16"=1'-0"

EXITING ANALYSIS

A0.05

RESIDENTIAL
 OC LOAD
 +/-3,370 SF
 RESIDENTIAL
 200SF
 42 OCC



PANTRY
 OC LOAD
 +/-405 SF
 KITCHEN
 200SF
 2 OCC

MECHANICAL
 OC LOAD
 +/-155 SF
 MECHANICAL
 300SF
 4 OCC

POOL
 OC LOAD
 +/-800 SF
 RINK & POOL
 50SF
 18 OCC

POOL DECK
 OC LOAD
 +/-3300 SF
 DECKS
 15SF
 222 OCC

REQUIRED PLUMBING FIXTURES:
 240 OCC / 2 = 120
 120 / 75 = 2 (MALE)
 120 / 40 = 3 (FEMALE)

PROVIDED:
 (MALE)
 1 WATER CLOSET
 1 URINAL
 1 LAV

PROVIDED:
 (FEMALE)
 2 WATER CLOSETS
 1 LAV (THIRD FLOOR)
 1 WATER CLOSET
 1 LAV (SECOND FLOOR)

ROOM NAME	AREA (SF)	FUNCTION	LOAD FACTOR	OCCUPANT LOAD	NUMBER OF EXITS REQUIRED	EXITS PROVIDED
PANTRY	405 SF	KITCHEN	200SF	2	1	1
POOL	900 SF	RINK & POOL	50SF	18	2	2
POOL DECK	3,800 SF	DECKS	15SF	222	2	2
MECH. WELL	1,155 SF	MECHANICAL	300SF	4	1	1
RESIDENTIAL	8,370 SF	RESIDENTIAL	200SF	42	2	2
TOTAL OCCUPANT LOAD GROUND FLOOR				288	2	2

288 OCCUPANTS PER LEVEL DIVIDED BY 2 EXITS = 144 OCCUPANTS PER EXIT

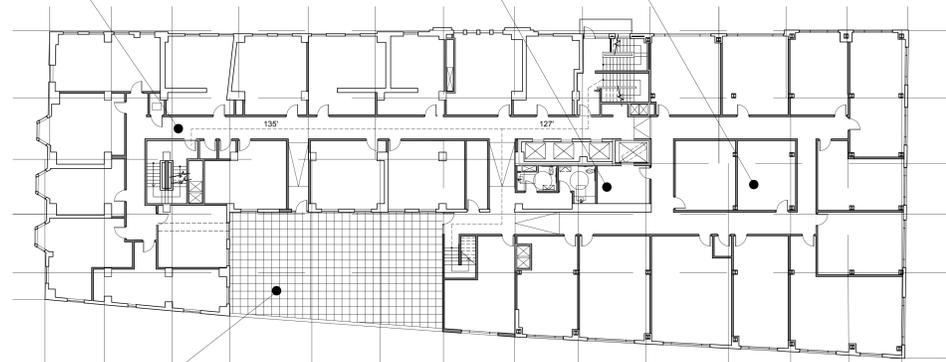
ROOF BAR 5
 1/16" = 1'-0"

THIRD FLOOR 2
 1/16" = 1'-0"

RESIDENTIAL
 OC LOAD
 +/-3,370 SF
 RESIDENTIAL
 200SF
 79 OCC

LINEN
 OC LOAD
 +/-210 SF
 STORAGE
 300SF
 1 OCC

MECHANICAL
 OC LOAD
 +/-720 SF
 MECHANICAL
 300SF
 2 OCC



TERRACE
 OC LOAD
 +/-1,690 SF
 ASSEMBLY
 15SF
 113 OCC

REQUIRED PLUMBING FIXTURES:
 113 OCC / 2 = 56.5
 56.5 / 125 = 0.45

PROVIDED:
 (MALE)
 1 WATER CLOSET
 1 LAV

PROVIDED:
 (FEMALE)
 1 WATER CLOSET
 1 LAV

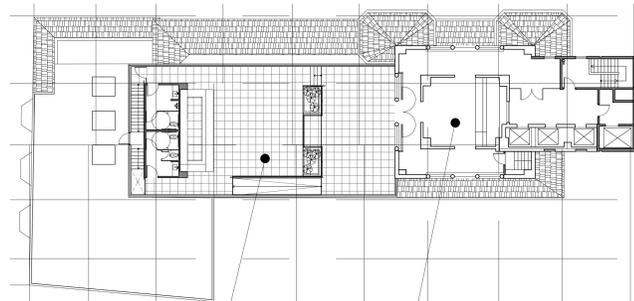
ROOM NAME	AREA (SF)	FUNCTION	LOAD FACTOR	OCCUPANT LOAD	NUMBER OF EXITS REQUIRED	EXITS PROVIDED
LINEN	210 SF	STORAGE	300SF	1	1	1
MECHANICAL	720 SF	MECHANICAL	300SF	2	1	1
TERRACE	1,690 SF	ASSEMBLY	15SF	113	2	2
RESIDENTIAL	15,730 SF	RESIDENTIAL	200SF	79	2	2
TOTAL OCCUPANT LOAD GROUND FLOOR				159	2	5

159 OCCUPANTS PER LEVEL DIVIDED BY 2 EXITS = 80 OCCUPANTS PER EXIT

13TH FLOOR 4
 1/16" = 1'-0"

SECOND FLOOR 1
 1/16" = 1'-0"

TYPICAL FLOOR 3
 1/16" = 1'-0"



F & B 1
 OC LOAD
 +/-1,900 SF
 ASSEMBLY
 15SF
 120 OCC

F & B 2
 OC LOAD
 +/-990 SF
 ASSEMBLY
 15SF
 65 OCC

REQUIRED PLUMBING FIXTURES:
 185 OCC / 2 = 92.5
 92.5 / 40 = 2.3

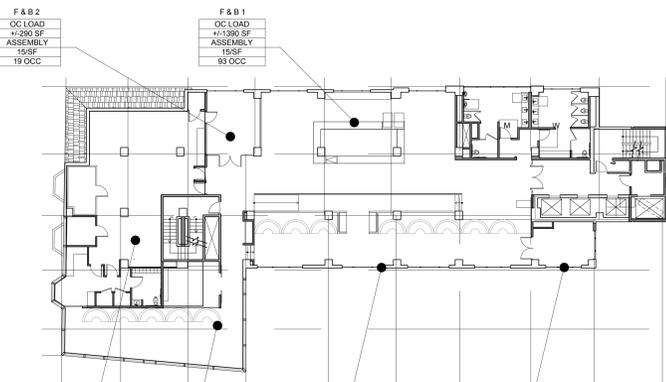
PROVIDED:
 (MALE)
 1 WATER CLOSET
 1 URINAL
 1 LAV (ROOF)
 1 WATER CLOSET
 1 LAV (13TH FLOOR)

PROVIDED:
 (FEMALE)
 2 WATER CLOSETS
 1 LAV (ROOF)
 1 WATER CLOSET
 1 LAV (13TH FLOOR)

ROOM NAME	AREA (SF)	FUNCTION	LOAD FACTOR	OCCUPANT LOAD	NUMBER OF EXITS REQUIRED	EXITS PROVIDED
F & B 1	1,900 SF	ASSEMBLY	15SF	120	2	2
F & B 2	990 SF	ASSEMBLY	15SF	65	2	2
TOTAL OCCUPANT LOAD GROUND FLOOR				185	2	2

185 OCCUPANTS PER LEVEL DIVIDED BY 2 EXITS = 93 OCCUPANTS PER EXIT

ROOF BAR 5
 1/16" = 1'-0"



F & B 2
 OC LOAD
 +/-280 SF
 ASSEMBLY
 15SF
 19 OCC

F & B 1
 OC LOAD
 +/-1,390 SF
 ASSEMBLY
 15SF
 93 OCC

REQUIRED PLUMBING FIXTURES:
 202 OCC / 2 = 101
 131 / 75 = 1.7

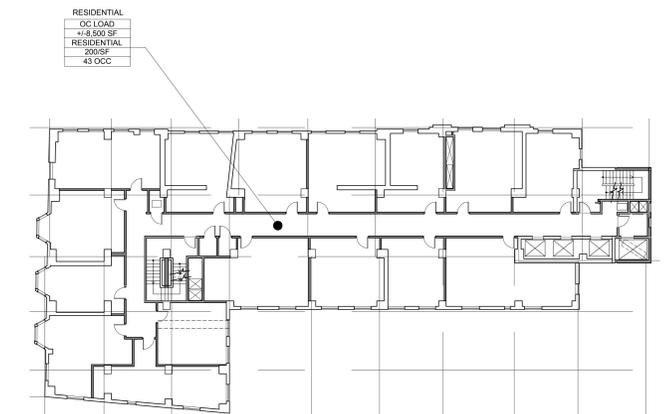
PROVIDED:
 (MALE)
 2 WATER CLOSETS
 2 URINALS
 3 LAVS

PROVIDED:
 (FEMALE)
 4 WATER CLOSETS
 3 LAVS

ROOM NAME	AREA (SF)	FUNCTION	LOAD FACTOR	OCCUPANT LOAD	NUMBER OF EXITS REQUIRED	EXITS PROVIDED
F & B 1	1,390 SF	ASSEMBLY	15SF	93	2	2
F & B 2	290 SF	ASSEMBLY	15SF	19	1	1
F & B 3	700 SF	ASSEMBLY	15SF	47	1	1
F & B 4	1,350 SF	ASSEMBLY	15SF	90	2	2
F & B 5	200 SF	ASSEMBLY	15SF	13	1	1
KITCHEN	1,720 SF	KITCHEN	200SF	9	1	1
TOTAL OCCUPANT LOAD GROUND FLOOR				271	2	2

271 OCCUPANTS PER LEVEL DIVIDED BY 2 EXITS = 136 OCCUPANTS PER EXIT

13TH FLOOR 4
 1/16" = 1'-0"



RESIDENTIAL
 OC LOAD
 +/-8,500 SF
 RESIDENTIAL
 200SF
 43 OCC

ROOM NAME	AREA (SF)	FUNCTION	LOAD FACTOR	OCCUPANT LOAD	NUMBER OF EXITS REQUIRED	EXITS PROVIDED
RESIDENTIAL	8,500 SF	RESIDENTIAL	200SF	43	2	2
TOTAL OCCUPANT LOAD GROUND FLOOR				43	2	2

43 OCCUPANTS PER LEVEL DIVIDED BY 2 EXITS = 22 OCCUPANTS PER EXIT

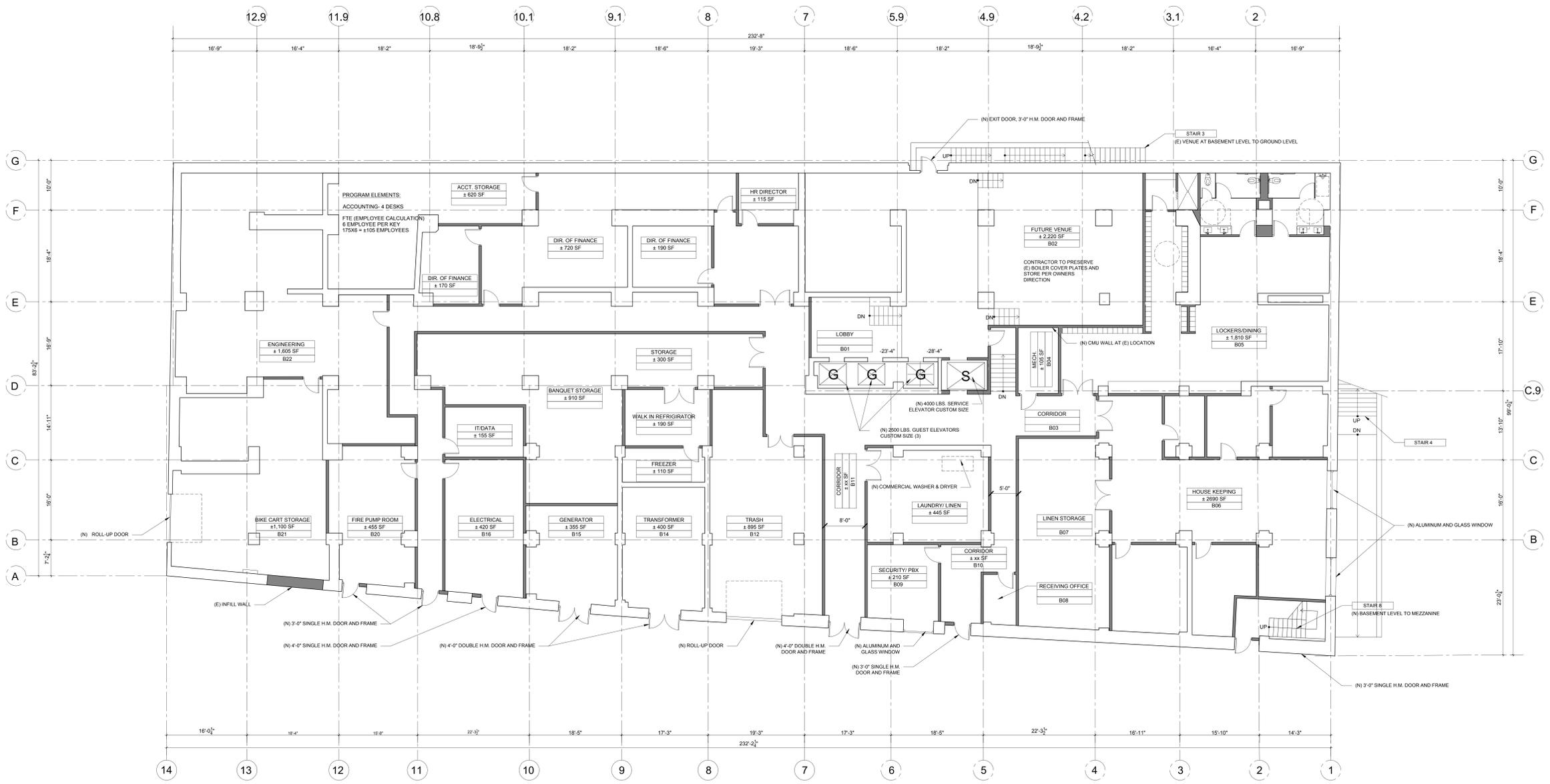
ROOM NAME	AREA (SF)	FUNCTION	LOAD FACTOR	OCCUPANT LOAD	NUMBER OF EXITS REQUIRED	EXITS PROVIDED
RESIDENTIAL	8,500 SF	RESIDENTIAL	200SF	43	2	2
TOTAL OCCUPANT LOAD GROUND FLOOR				43	2	2

43 OCCUPANTS PER LEVEL DIVIDED BY 2 EXITS = 22 OCCUPANTS PER EXIT

ROOM NAME	AREA (SF)	FUNCTION	LOAD FACTOR	OCCUPANT LOAD	NUMBER OF EXITS REQUIRED	EXITS PROVIDED
RESIDENTIAL	8,500 SF	RESIDENTIAL	200SF	43	2	2
TOTAL OCCUPANT LOAD GROUND FLOOR				43	2	2

43 OCCUPANTS PER LEVEL DIVIDED BY 2 EXITS = 22 OCCUPANTS PER EXIT

TYPICAL FLOOR 3
 1/16" = 1'-0"



BREAKERS HOTEL RENOVATION

210 E OCEAN BLVD.
 LONG BEACH, CA 90802

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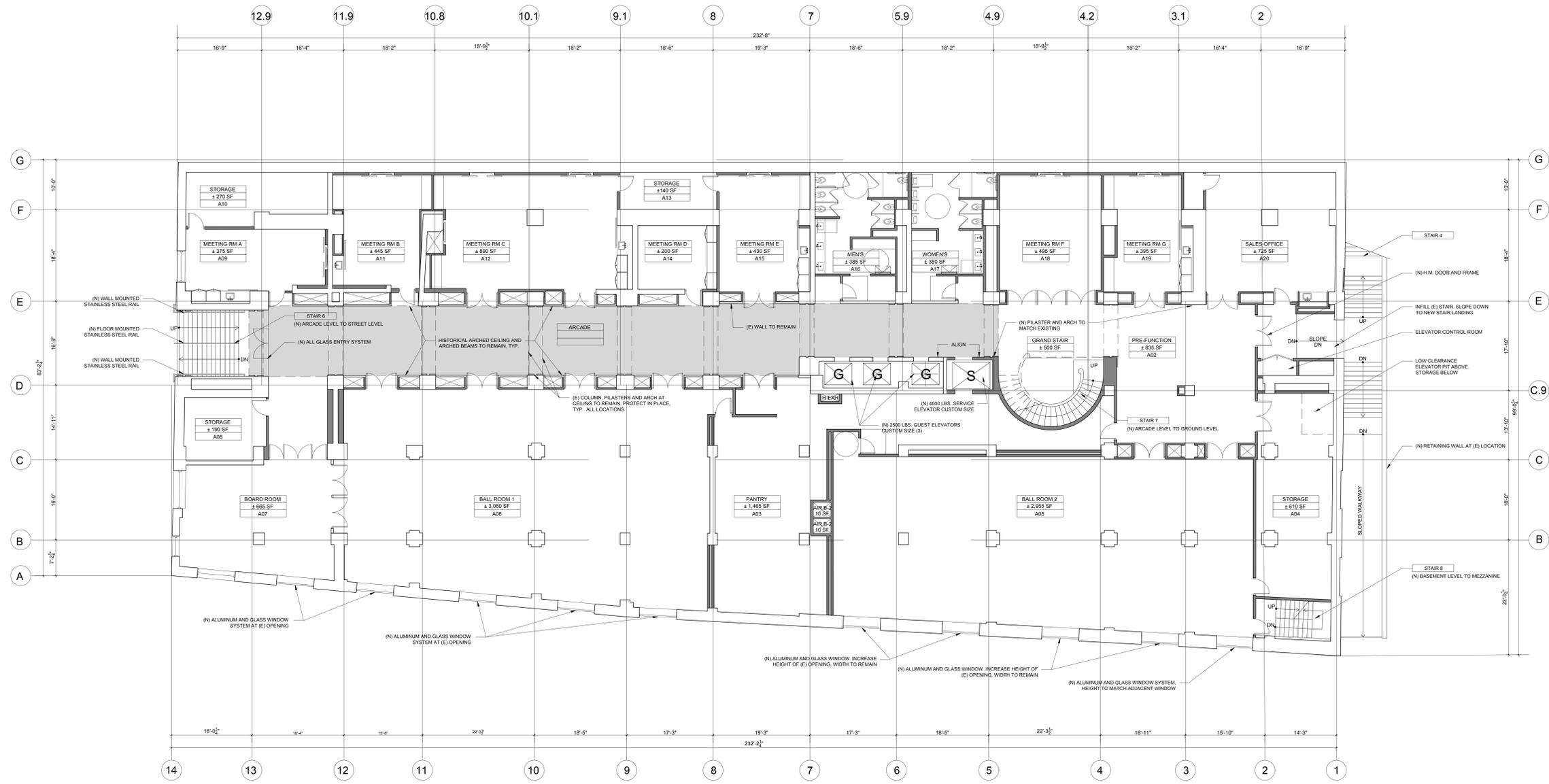
NADEL PROJECT No: 18016
 DRAWING DATE: 08/10/2018
 SCALE: 1/8"=1'-0"

LEGEND:
 (E) WALL TO REMAIN
 (N) WALL/STRUCTURE
 (H) HISTORIC ELEMENT TO REMAIN (1926-1977)



1 BASEMENT PLAN
 1/8" = 1'-0"
 FLOOR PLATE GROSS AREA= 21,365 GSF

BASEMENT PLAN
A2.01



LEGEND:
 (E) WALL TO REMAIN
 (N) WALL/STRUCTURE
 (E) HISTORIC ELEMENT TO REMAIN (1926-1977)



1 ARCADE FLOOR PLAN
 1/8" = 1'-0"
 FLOOR PLATE GROSS AREA = 21,365 GSF

BREAKERS HOTEL RENOVATION

210 E OCEAN BLVD.
 LONG BEACH, CA 90802

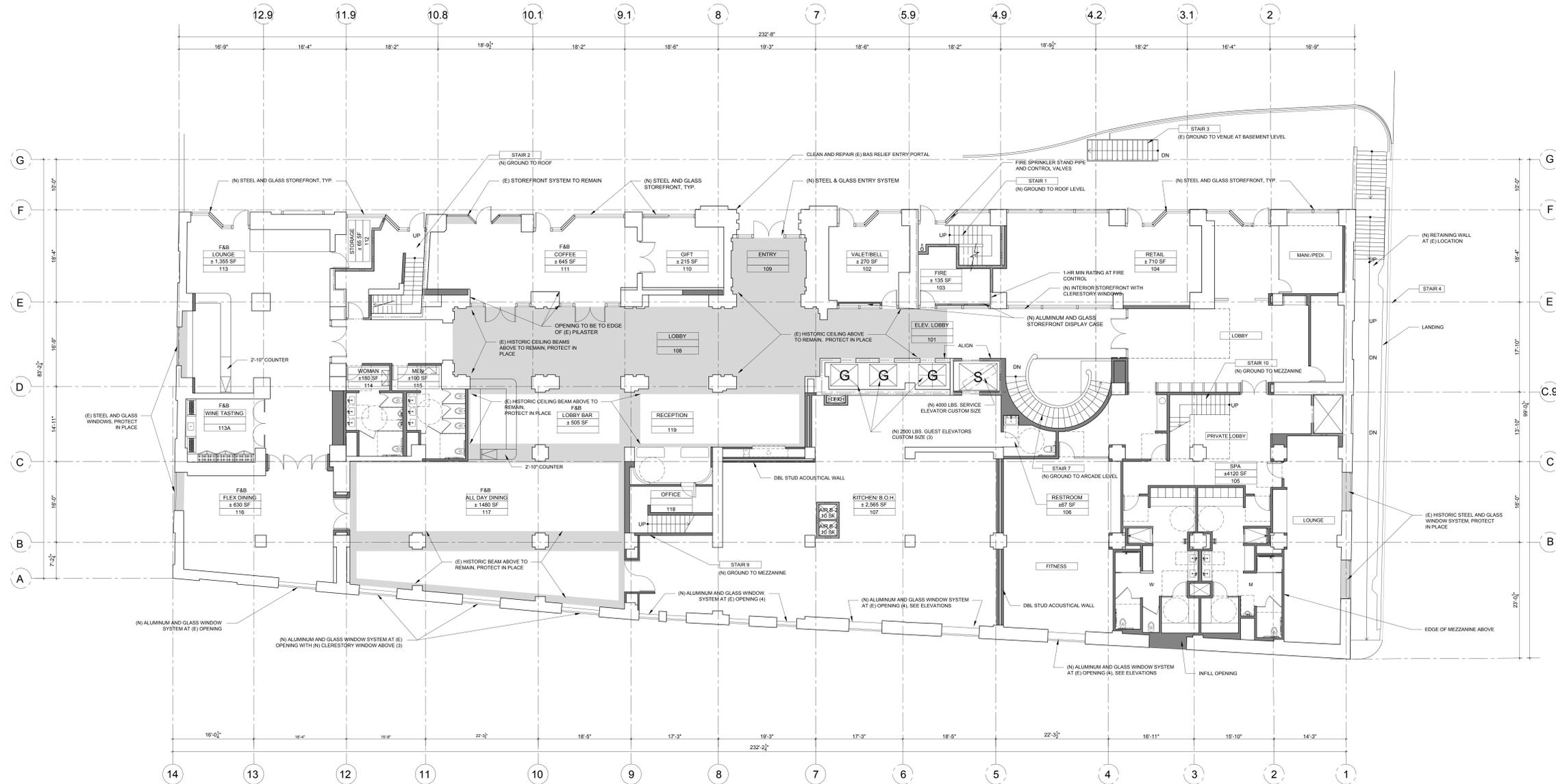
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 SCALE: 1/8"=1'-0"

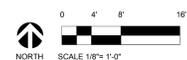
ARCADE FLOOR PLAN

A2.02

ISSUE PLANNING APPROVAL 10-30-2018



LEGEND:
 (E) WALL TO REMAIN
 (N) WALL/STRUCTURE
 (E) HISTORIC ELEMENT TO REMAIN (1926-1977)



1 GROUND FLOOR
 1/8" = 1'-0"
 FLOOR PLATE GROSS AREA = 19,090 GSF

BREAKERS HOTEL RENOVATION

210 E OCEAN BLVD.
LONG BEACH, CA 90802

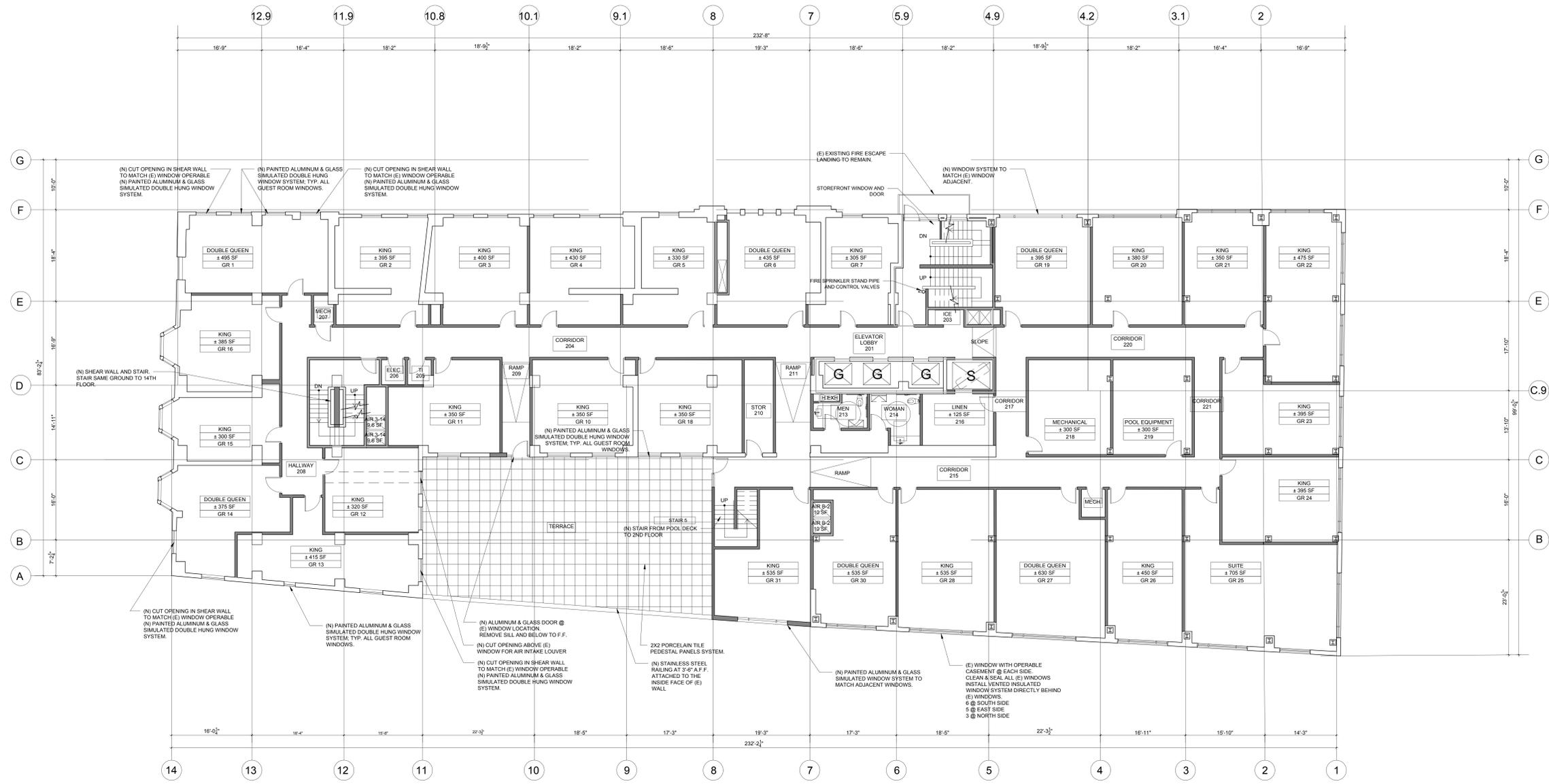
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SCALE: 1/8" = 1'-0"

GROUND FLOOR PLAN
A2.03

ISSUE PLANNING APPROVAL 10-30-2018



BREAKERS HOTEL RENOVATION

210 E OCEAN BLVD.
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2ND FLOOR FLOOR PLAN
 18" x 1'-0"
 FLOOR PLATE GROSS AREA= 16,600 GSF

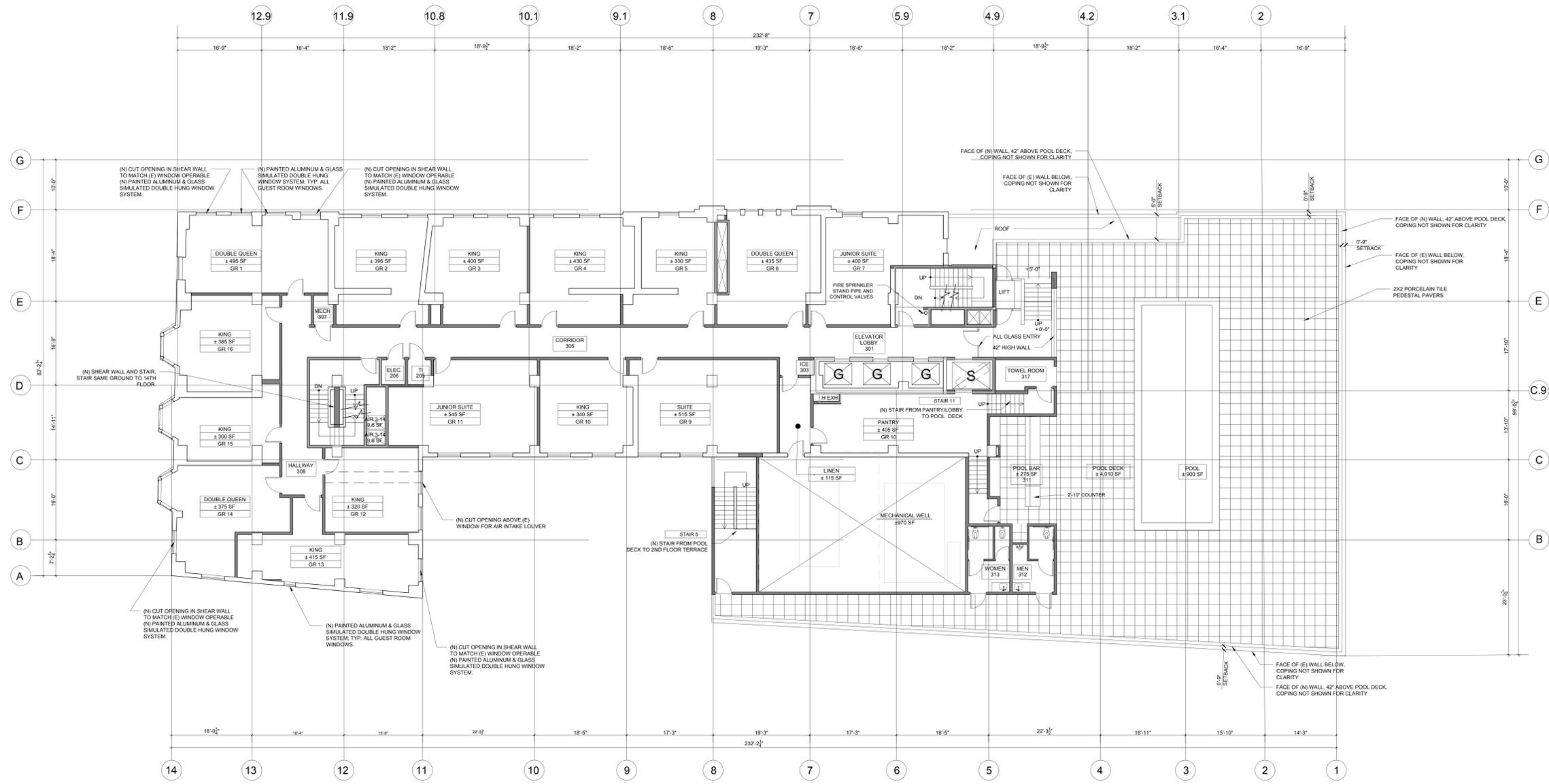
A2.05

LEGEND:
 (E) WALL TO REMAIN
 (N) WALL/STRUCTURE
 (H) HISTORIC ELEMENT TO REMAIN (1926-1977)

0 4' 8' 16'
 SCALE 1/8"=1'-0"

1 2ND FLOOR FLOOR
 18" x 1'-0"
 FLOOR PLATE GROSS AREA= 16,600 GSF

10-30-2018



LEGEND:
 (E) WALL TO REMAIN
 (N) WALL/STRUCTURE
 (E) HISTORIC ELEMENT TO REMAIN (1926-1977)



1 3RD FLOOR FLOOR
 1/8" = 1'-0"
 FLOOR PLATE GROSS AREA = 9,740 GSF

BREAKERS HOTEL RENOVATION

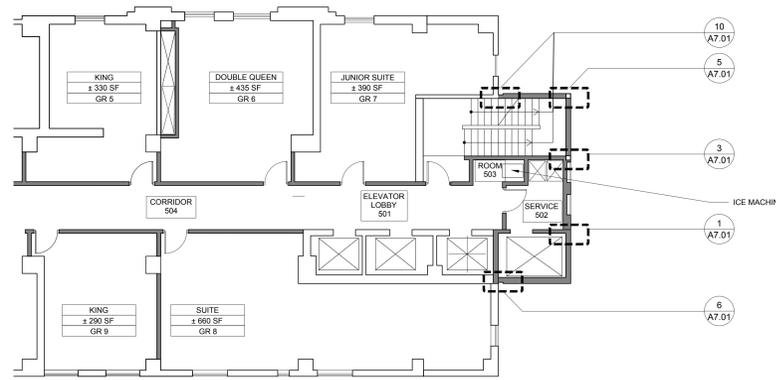
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 LONG BEACH, CA 90802

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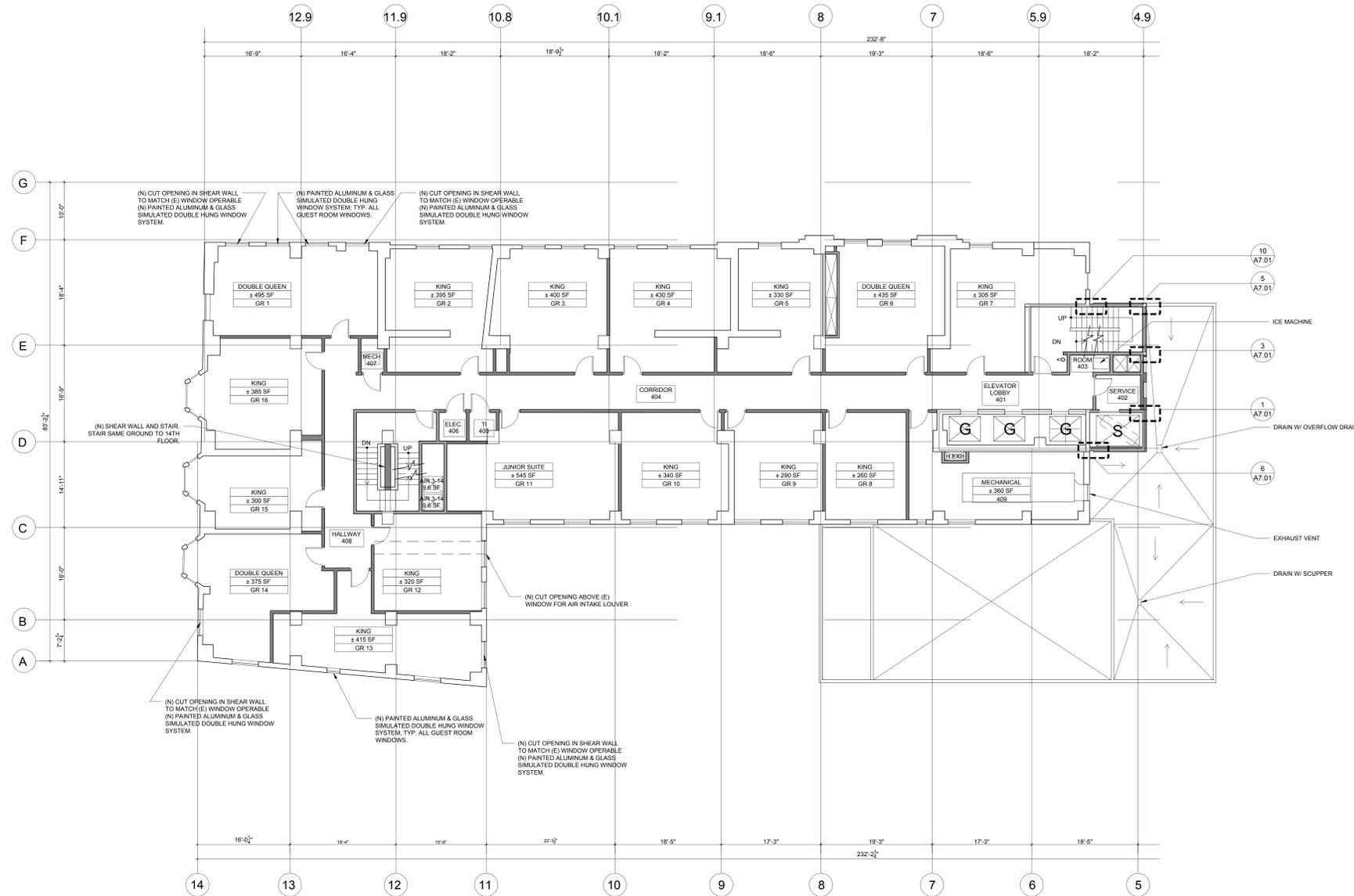
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 DRAWING DATE: 08/10/2018
 SCALE: 1/8"=1'-0"

3RD FLOOR PLAN
A2.06

ISSUE PLANNING APPROVAL 10-30-2018



2 5TH FLOOR PARTIAL PLAN
 1/8" = 1'-0"



LEGEND:
 (E) WALL TO REMAIN
 (N) WALL/STRUCTURE
 (H) HISTORIC ELEMENT TO REMAIN (1926-1977)



1 4TH & 5TH FLOORS
 1/8" = 1'-0"
 FLOOR PLATE GROSS AREA = 9,145 GSF

BREAKERS HOTEL RENOVATION

210 E OCEAN BLVD.
 LONG BEACH, CA 90802

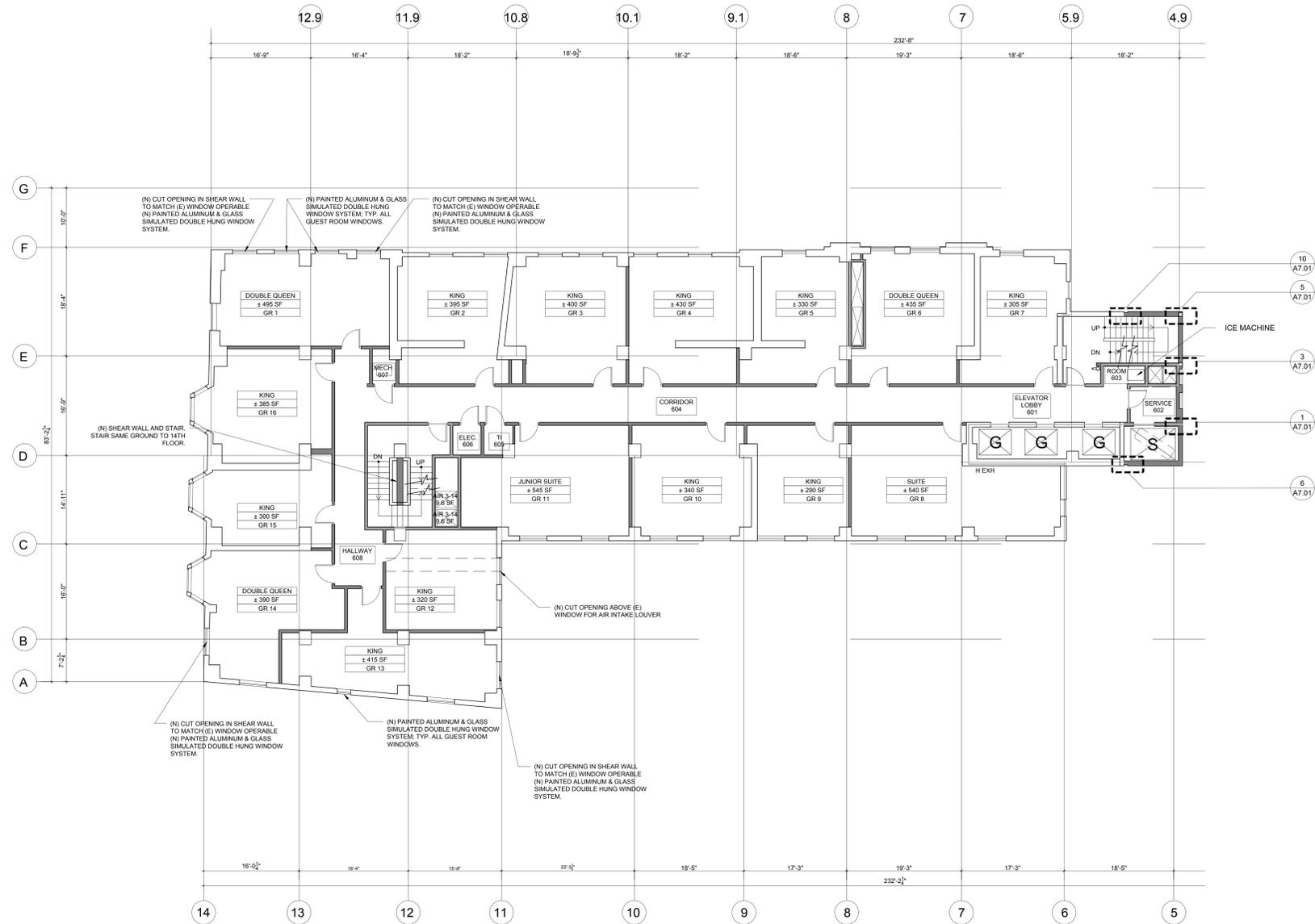
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SCALE: 1/8"=1'-0"
4TH & 5TH FLOOR PLAN

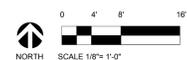
A2.07



KEY COUNT PER FLOOR

KINGS	11
DSL QUEENS	2
JR SUITE	1
SUITE	1
TOTAL KEYS	16

- LEGEND:
- (E) WALL TO REMAIN
 - (N) WALL/STRUCTURE
 - (E) HISTORIC ELEMENT TO REMAIN (1926-1977)



1 6TH - 11TH FLOOR
 1/8" = 1'-0"
 FLOOR PLATE GROSS AREA = 8,925 GSF

BREAKERS HOTEL RENOVATION

210 E OCEAN BLVD,
 LONG BEACH,
 CA 90802

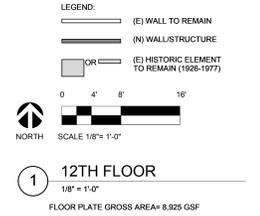
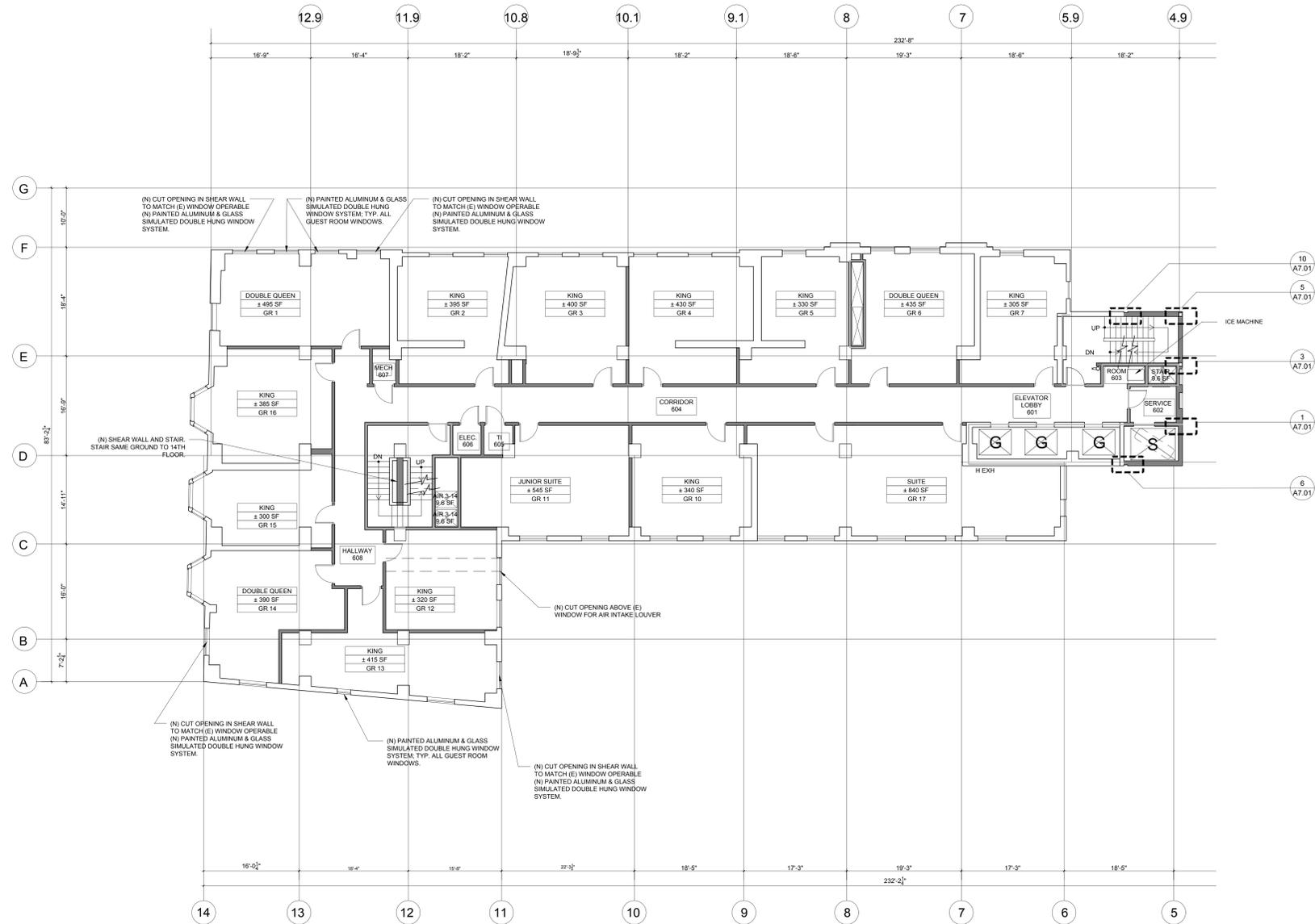
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NO.:	DATE:
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SCALE: 1/8"=1'-0"
 6TH - 11TH FLOOR PLAN

A2.08



BREAKERS HOTEL RENOVATION

210 E OCEAN BLVD,
LONG BEACH,
CA 90802

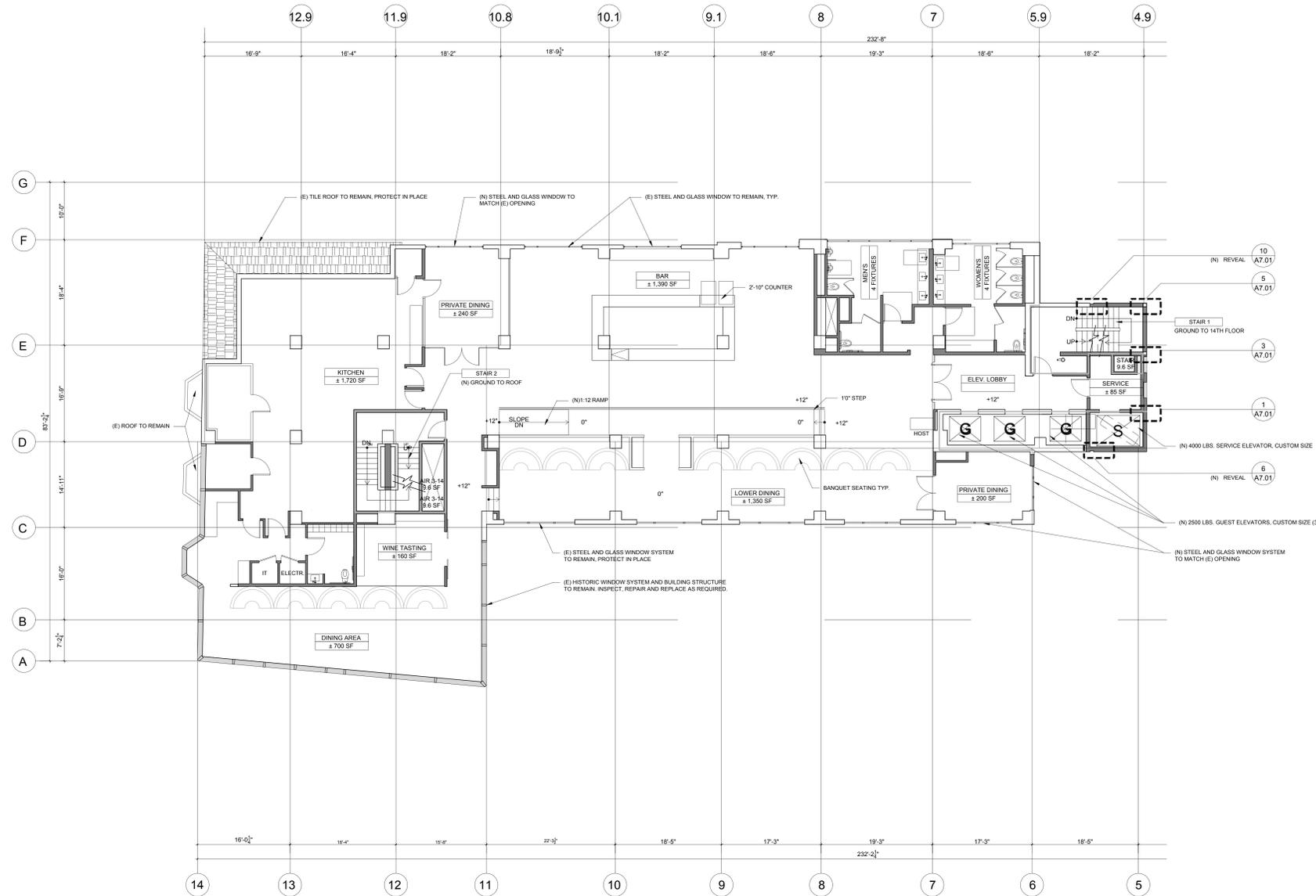
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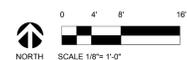
NADEL PROJECT No: 18016
DRAWING DATE: 08/10/2018
SCALE: 1/8" = 1'-0"

12TH PENTHOUSE FLOOR PLAN

A2.09



LEGEND:
 (E) WALL TO REMAIN
 (N) WALL/STRUCTURE
 (E) HISTORIC ELEMENT TO REMAIN (1926-1977)



1 13TH FLOOR
 1/8" = 1'-0"
 FLOOR PLATE GROSS AREA = 6,620 GSF

BREAKERS HOTEL RENOVATION

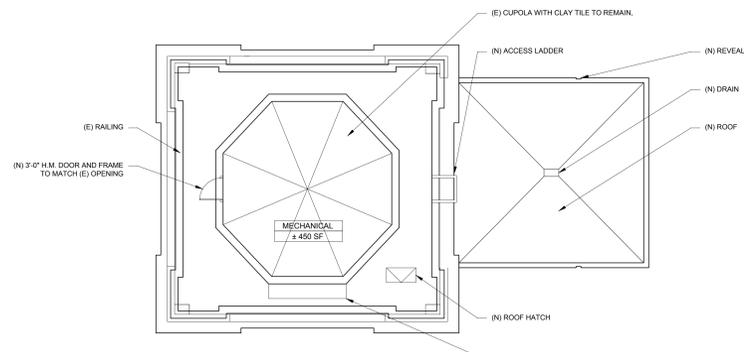
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LONG BEACH,
CA 90802

REVISIONS:	ISSUE DESCRIPTION:	ISSUE DATE:
NO.:		
	PLANNING APPROVAL	10/30/2018

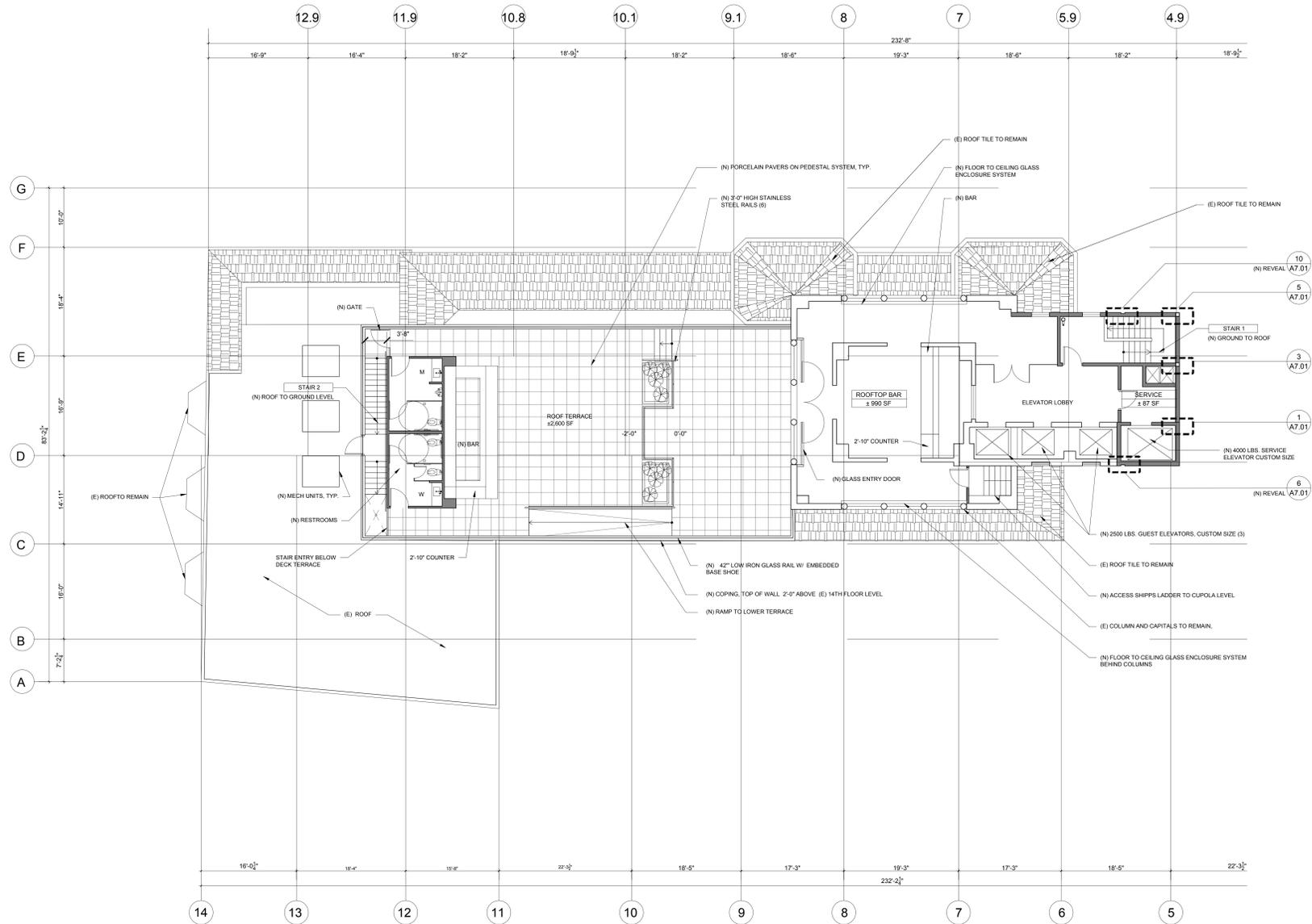
NADEL PROJECT No: 18016
 DRAWING DATE: 08/10/2018
 SCALE: 1/8"=1'-0"

13TH SKY ROOM FLOOR PLAN

A2.10



2 CUPOLA ROOF PLAN
1/8" = 1'-0"



LEGEND:
 (E) WALL TO REMAIN
 (N) WALL/STRUCTURE
 (E) HISTORIC ELEMENT TO REMAIN (1926-1977)



1 14TH FLOOR
1/8" = 1'-0"
FLOOR PLATE GROSS AREA ± 2,075 GSF

**BREAKERS
HOTEL
RENOVATION**

210 E OCEAN BLVD,
LONG BEACH,
CA 90802

REVISIONS:	ISSUE DESCRIPTION:	ISSUE DATE:
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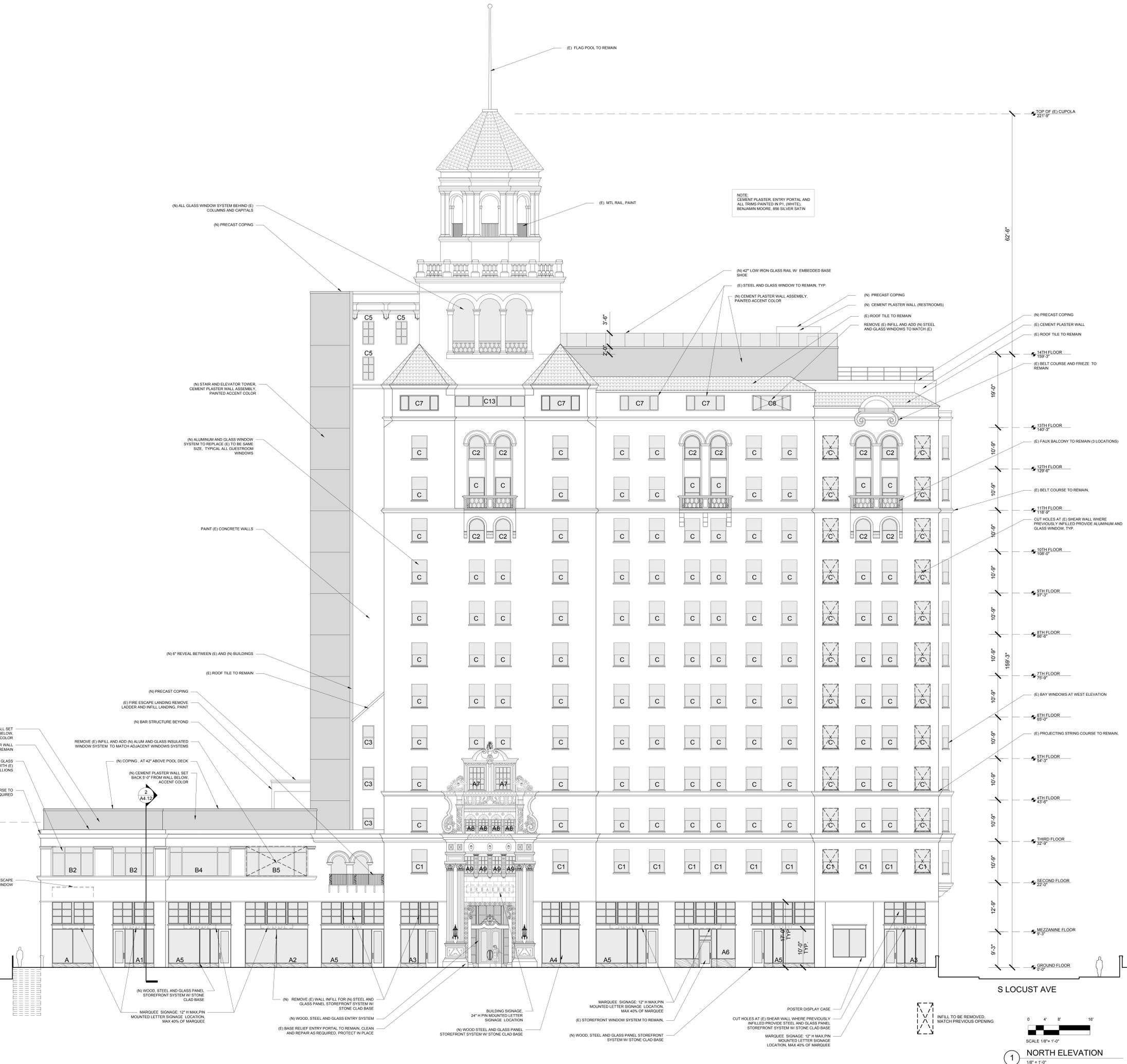
NADEL PROJECT No: 18016
DRAWING DATE: 08/10/2018
SCALE: 1/8" = 1'-0"

**14TH FLOOR &
CUPOLA PLAN**

A2.11

EXTERIOR NOTES

- BUILDING PREPARATION:**
- HISTORIC DESIGNATION RANGE 1926-1947
 - THE EXISTING FACADES WILL BE CLEANED PER THE SECRETARY OF THE INTERIORS STANDARDS FOR REHABILITATION USING THE GENTLEST MEANS POSSIBLE FOR CLEAN OF SURFACES.
 - HISTORIC ELEMENTS BEING RETAINED AND REPAIRED AS REQUIRED.
 - DETERIORATED HISTORICAL FEATURES SHALL BE REPAIRED RATHER THAN REPLACED.
 - ALL SURFACES TO BE PAINTED.
 - ALL NEW COPINGS AND BELT COURSES THAT ARE CONTINUATIONS OF EXISTING SHALL BE PRECAST, MADE FROM A RUBBER CASTING OF THE ORIGINAL COPING/BELT COURSE.
- STRUCTURAL:**
- RE-OPENING OF PREVIOUSLY IN-FILLED WINDOWS AT THE EXISTING SHEAR WALLS AT THE NORTH, EAST AND WEST FACADES
 - AT NEW ELEVATOR STAIR TOWER USE FIBERGLASS REINFORCED STUCCO (FRS)
- WINDOW SYSTEMS:**
- EXISTING HISTORIC WINDOW SYSTEMS TO REMAIN:
- STEEL AND GLASS STOREFRONT WINDOW AT OCEAN BLVD WILL BE CLEANED AND REPAIRED AS REQUIRED.
 - STEEL AND GLASS ARCHED WINDOWS WILL BE CLEANED AND REPAIRED AS REQUIRED.
 - STEEL AND GLASS FIXED/CASEMENT WINDOWS AT THE SECOND FLOOR, WINDOWS WILL BE CLEANED AND REPAIRED AS REQUIRED, AND WILL HAVE A NEW SECONDARY ALUMINUM W/ INSULATED GLASS WINDOW SYSTEM INSTALLED DIRECTLY BEHIND THE MILLION SIZE WILL BE SIZED TO MATCH THE EXISTING WINDOWS
 - STEEL AND GLASS FIXED/CASEMENT WINDOWS AT THE THIRTEENTH FLOOR, WINDOWS WILL BE CLEANED AND REPAIRED AS REQUIRED.
 - SKY ROOM ROOF STRUCTURE WINDOW SYSTEM WILL BE CLEANED AND BE REPAIRED AS REQUIRED. THE INTEGRITY OF THE ROOF STRUCTURE NEEDS TO BE VERIFIED DURING CONSTRUCTION. ALL GLASS AND MULLIONS WILL BE REPAIRED AS REQUIRED.



BREAKERS HOTEL RENOVATION

210 E OCEAN BLVD, LONG BEACH, CA 90802

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SCALE: 1/8" = 1'-0"
 NORTH ELEVATION

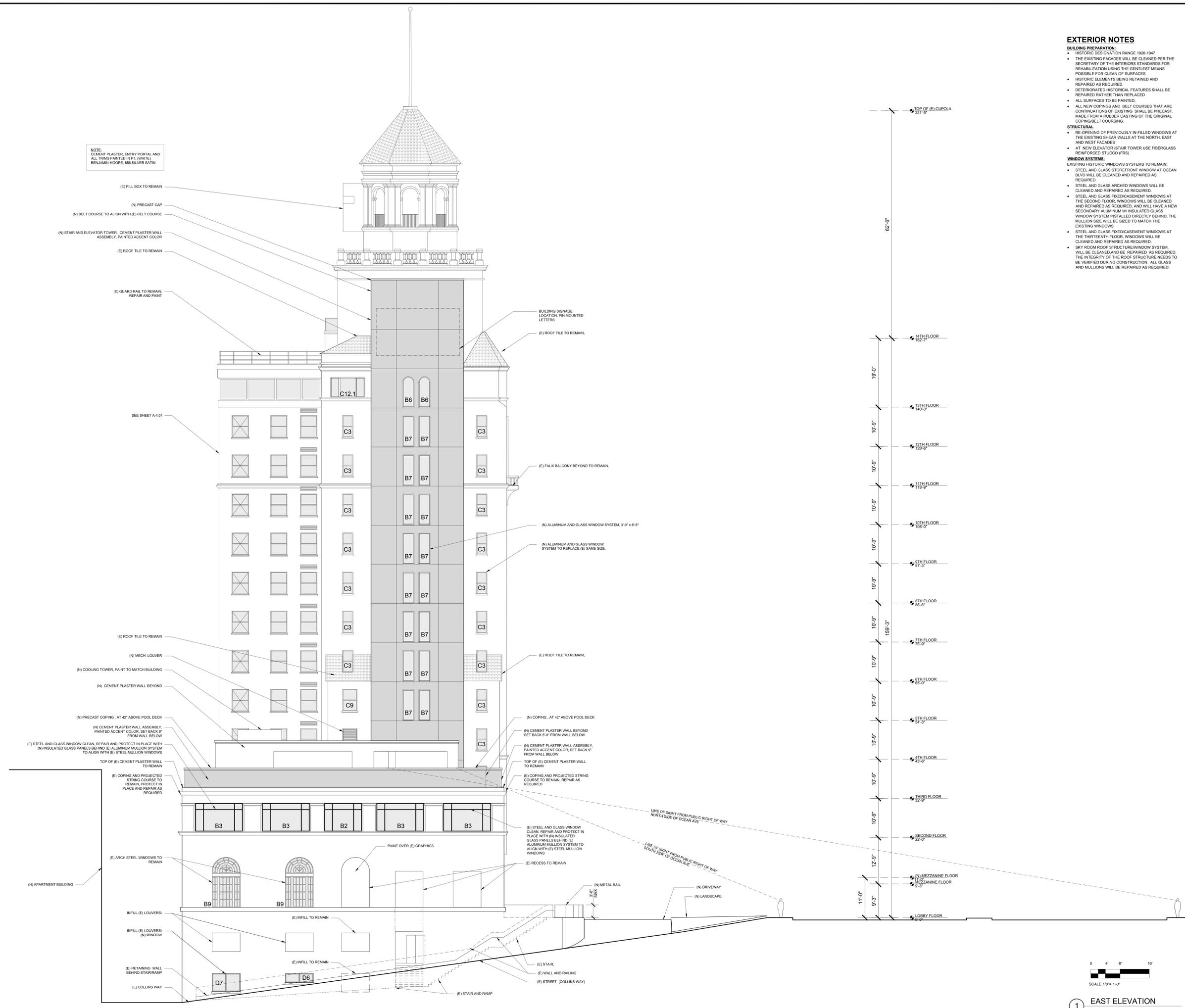
A3.01

10-30-2018

EXTERIOR NOTES

- BUILDING PREPARATION:**
- HISTORIC DESIGNATION RANGE 1926-1947
 - THE EXISTING FACADES WILL BE CLEANED PER THE SECRETARY OF THE INTERIORS STANDARDS FOR REHABILITATION USING THE GENTLEST MEANS POSSIBLE FOR CLEAN OF SURFACES.
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 - ALL SURFACES TO BE PAINTED.
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NOTE:
 CEMENT PLASTER, ENTRY PORTAL AND ALL TRIMS PAINTED IN P1, (WHITE) BENJAMIN MOORE, 856 SILVER SATIN



BREAKERS HOTEL RENOVATION

210 E OCEAN BLVD,
 LONG BEACH,
 CA 90802

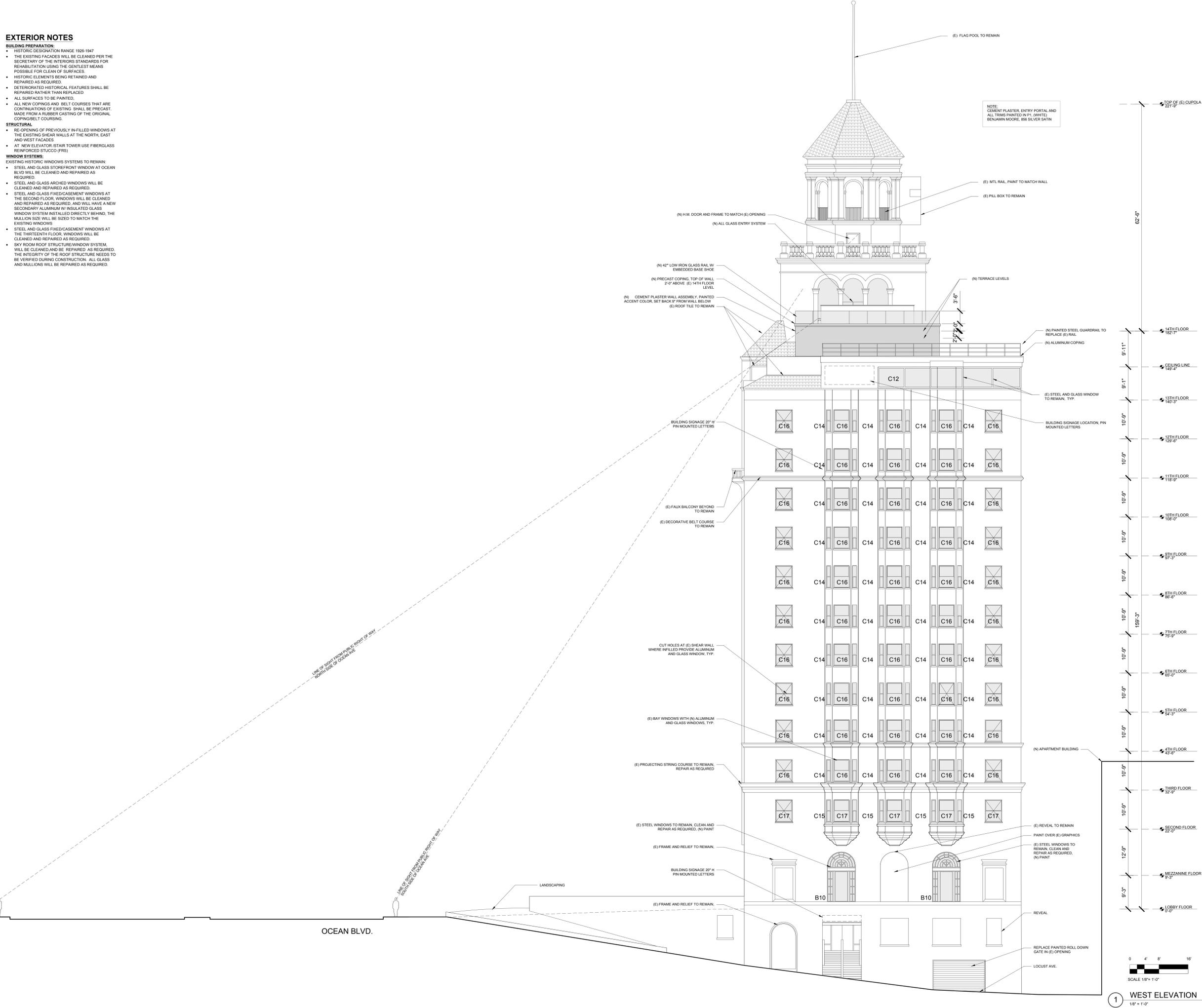
REVISIONS:	ISSUE DESCRIPTION:	ISSUE DATE:
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NADEL PROJECT No: 18016
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SCALE 1/8"=1'-0"
EAST ELEVATION

EXTERIOR NOTES

- BUILDING PREPARATION:**
- HISTORIC DESIGNATION RANGE 1900-1947
 - THE EXISTING FACADES WILL BE CLEANED PER THE SECRETARY OF THE INTERIORS STANDARDS FOR REHABILITATION USING THE GENTLEST MEANS POSSIBLE FOR CLEAN OF SURFACES.
 - HISTORIC ELEMENTS BEING RETAINED AND REPAIRED AS REQUIRED.
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BREAKERS HOTEL RENOVATION

210 E OCEAN BLVD.
 LONG BEACH, CA 90802

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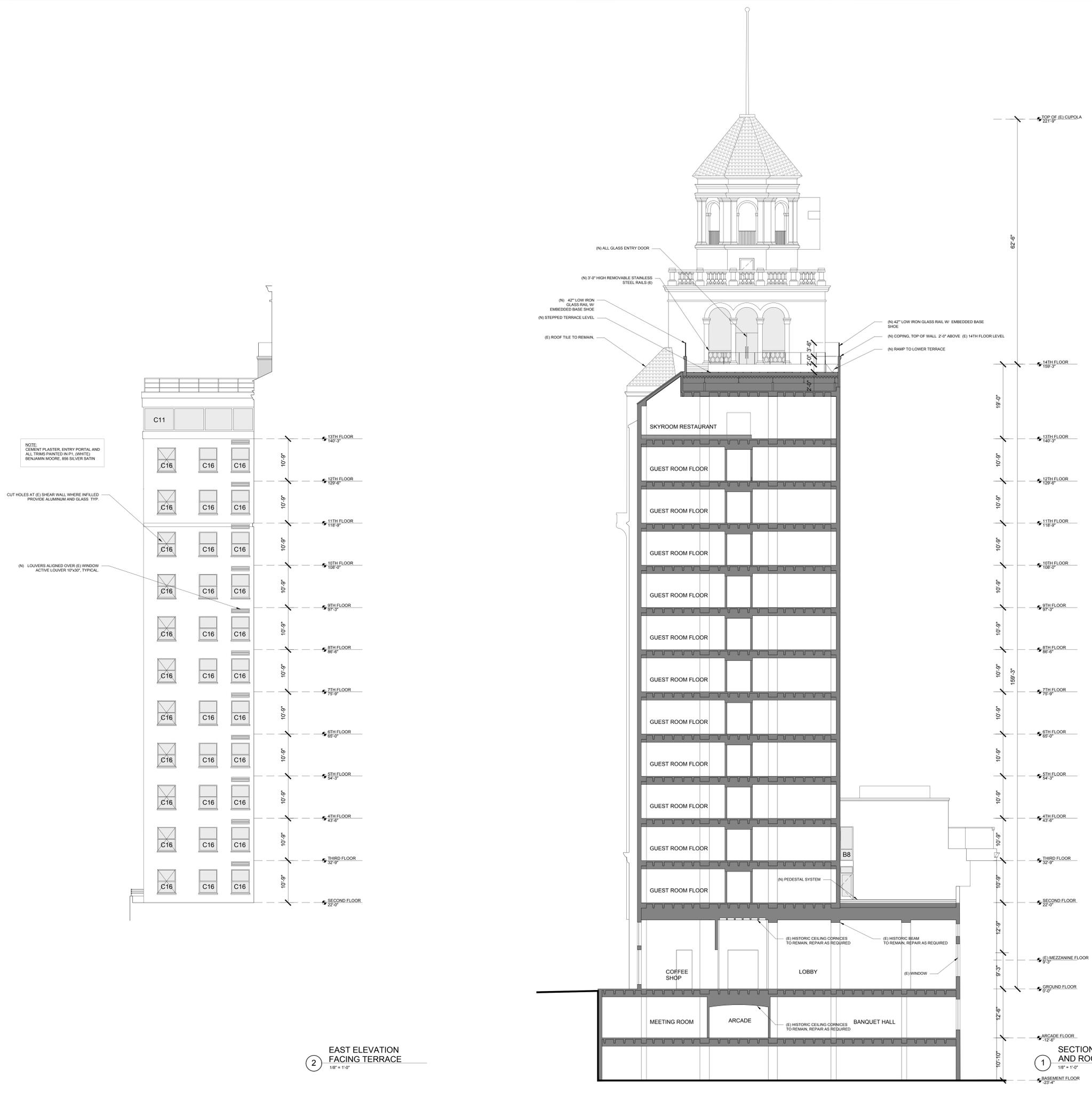
WEST ELEVATION

A3.04



1 WEST ELEVATION
 1/8" = 1'-0"

10-30-2018



BREAKERS HOTEL RENOVATION

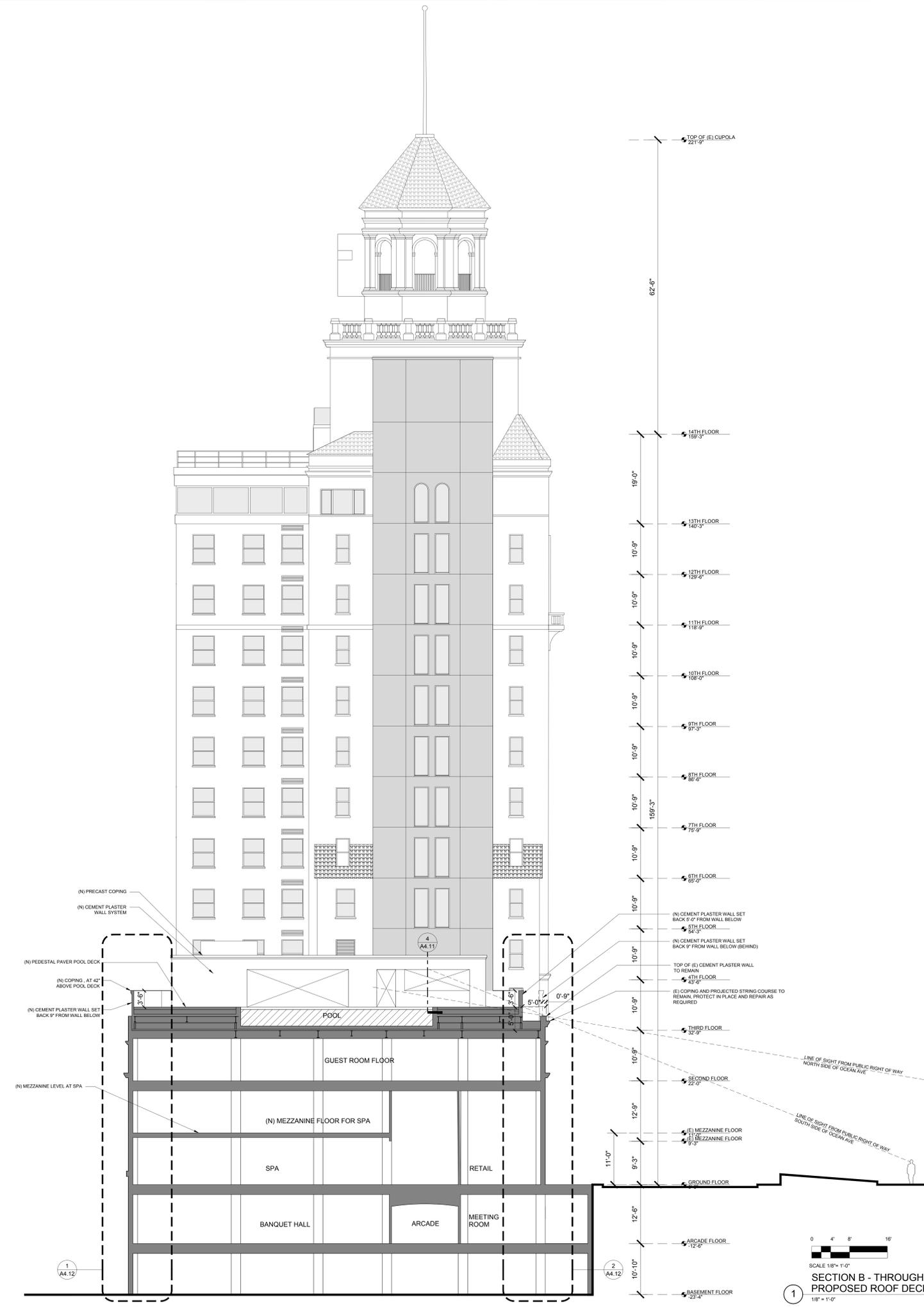
210 E OCEAN BLVD, LONG BEACH, CA 90802

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NADEL PROJECT No: 18016
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SCALE: 1/8"=1'-0"

ELEVATION & SECTION



BREAKERS HOTEL RENOVATION

210 E OCEAN BLVD.
LONG BEACH,
CA 90802

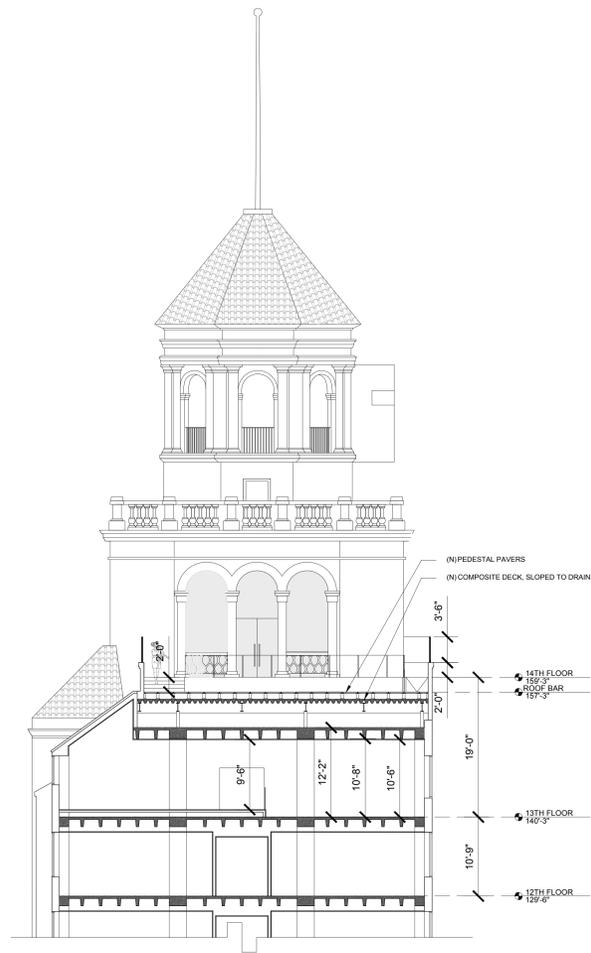
REVISIONS:	ISSUE DESCRIPTION:	ISSUE DATE:
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1	PLANNING APPROVAL	10/30/2018
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NADEL PROJECT NO: 18016
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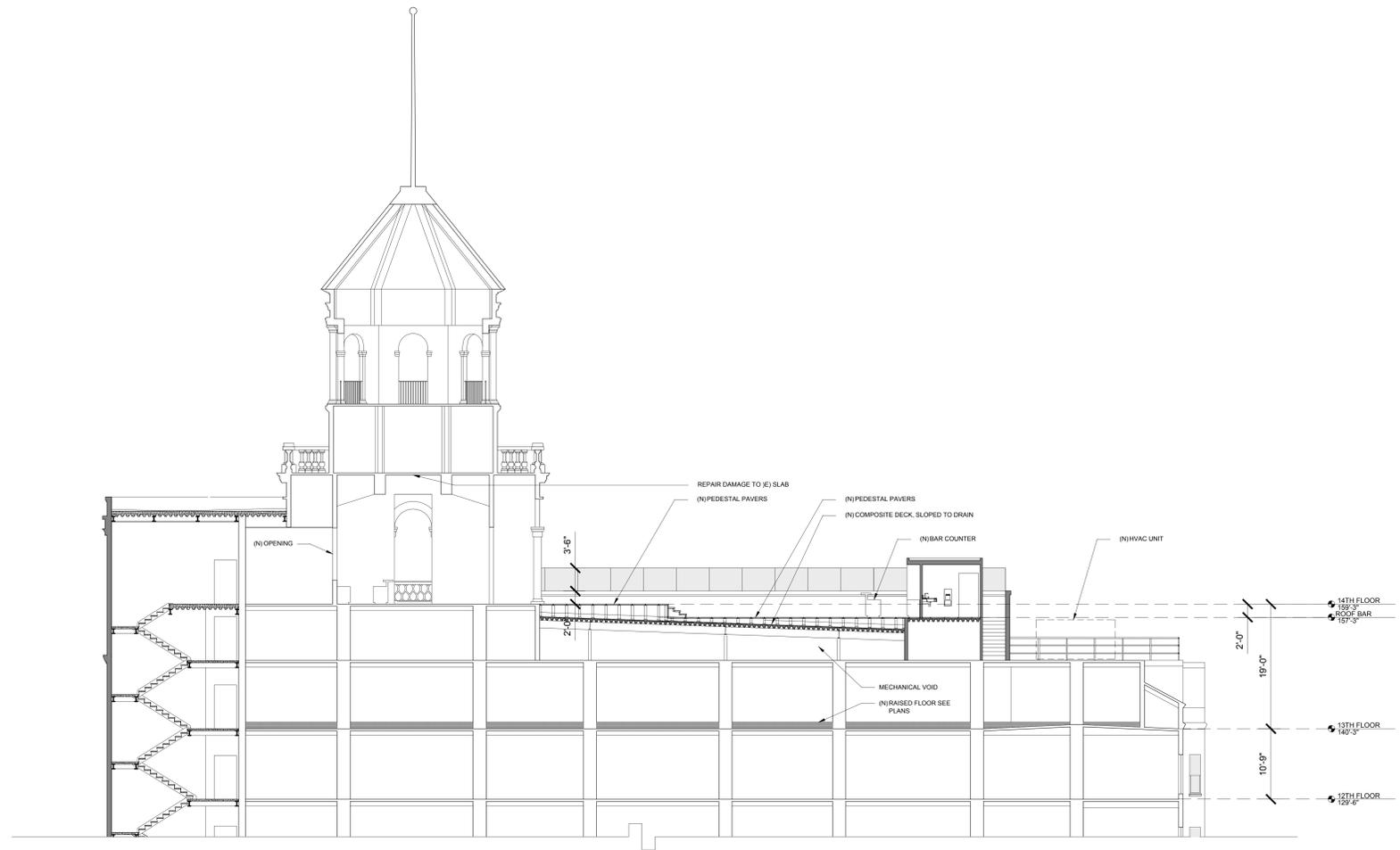
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SECTION

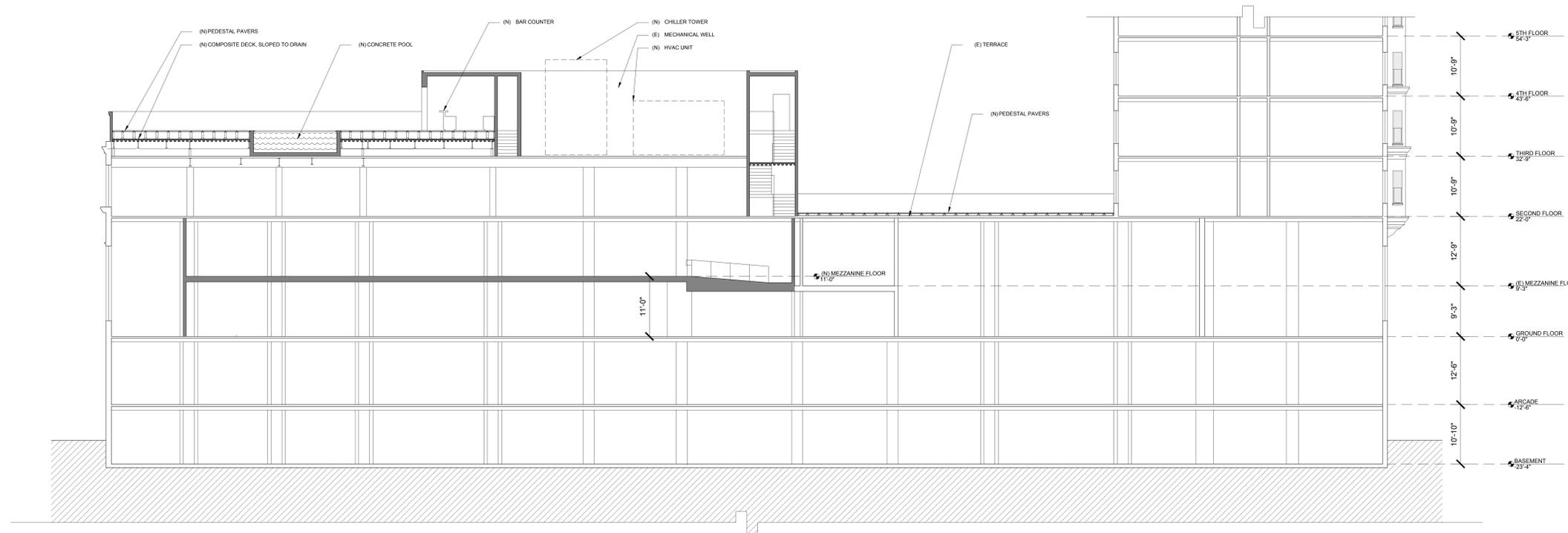
A4.02



3 SECTION E - THROUGH SKY ROOM
1/8" = 1'-0"



2 SECTION C - THROUGH PROPOSED ROOF BAR
1/8" = 1'-0"



1 SECTION D - THROUGH PROPOSED POOL DECK
1/8" = 1'-0"

BREAKERS HOTEL RENOVATION

210 E OCEAN BLVD,
LONG BEACH,
CA 90802

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ENLARGED BUILDING SECTIONS

A4.11

**BREAKERS
HOTEL
RENOVATION**

210 E OCEAN BLVD,
LONG BEACH,
CA 90802

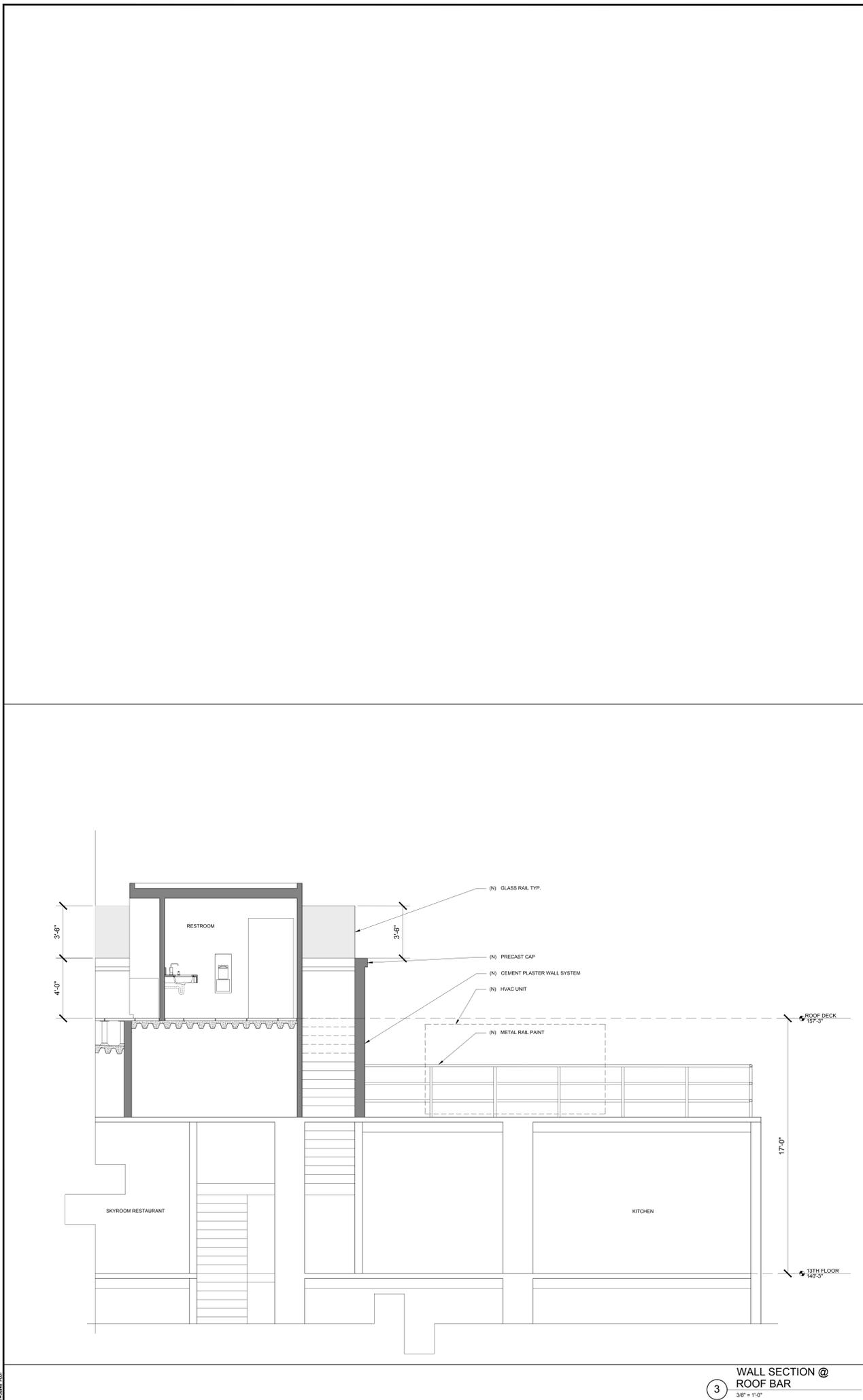
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DATE:	10-30-2018

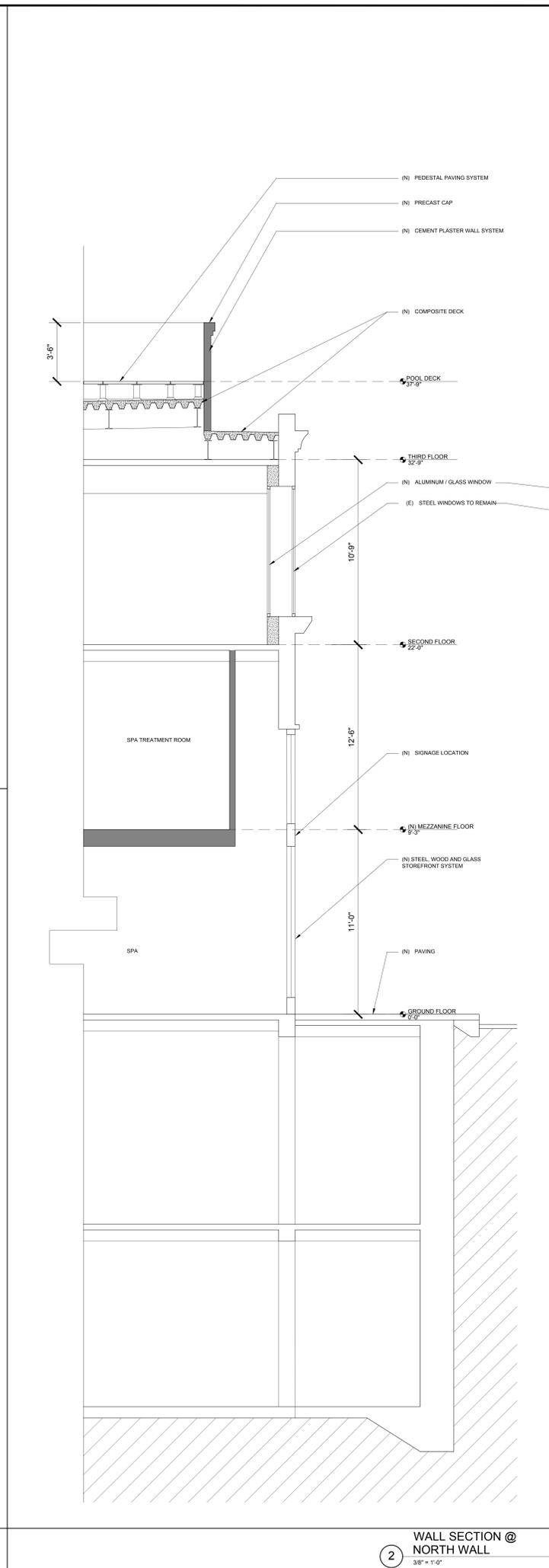
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ENLARGED BUILDING
SECTIONS

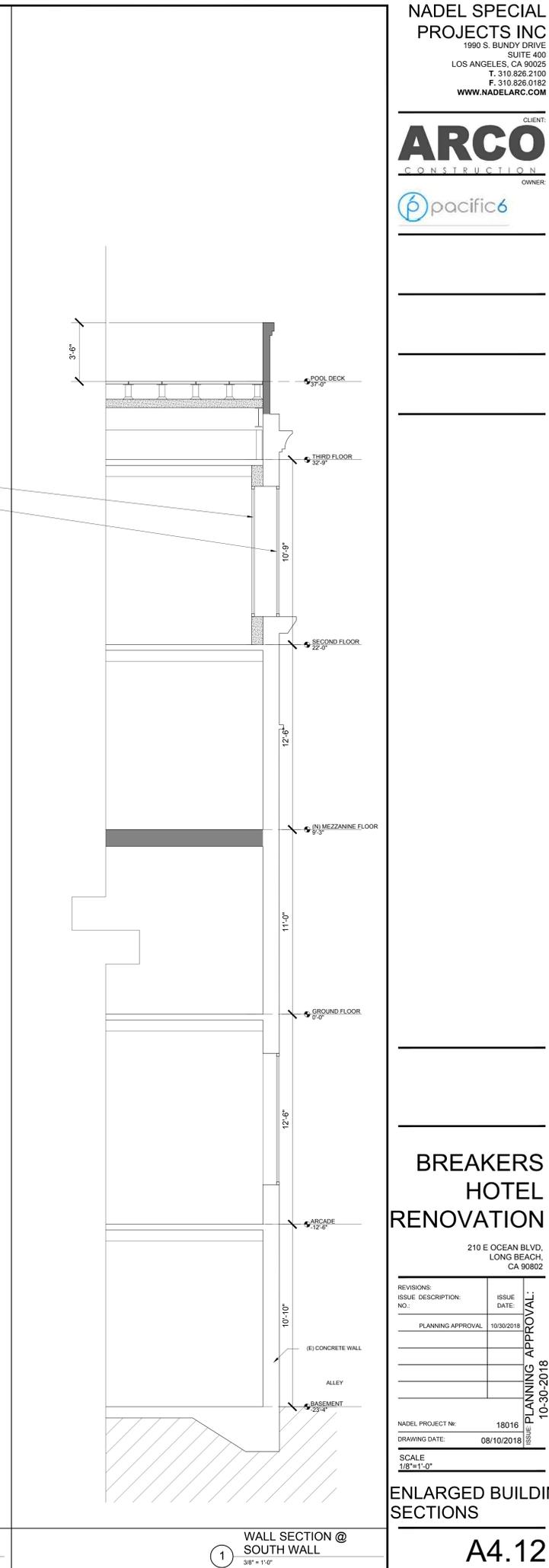
A4.12



3 WALL SECTION @
ROOF BAR
3/8" = 1'-0"



2 WALL SECTION @
NORTH WALL
3/8" = 1'-0"



1 WALL SECTION @
SOUTH WALL
3/8" = 1'-0"

BREAKERS HOTEL RENOVATION

210 E OCEAN BLVD.
 LONG BEACH, CA 90802

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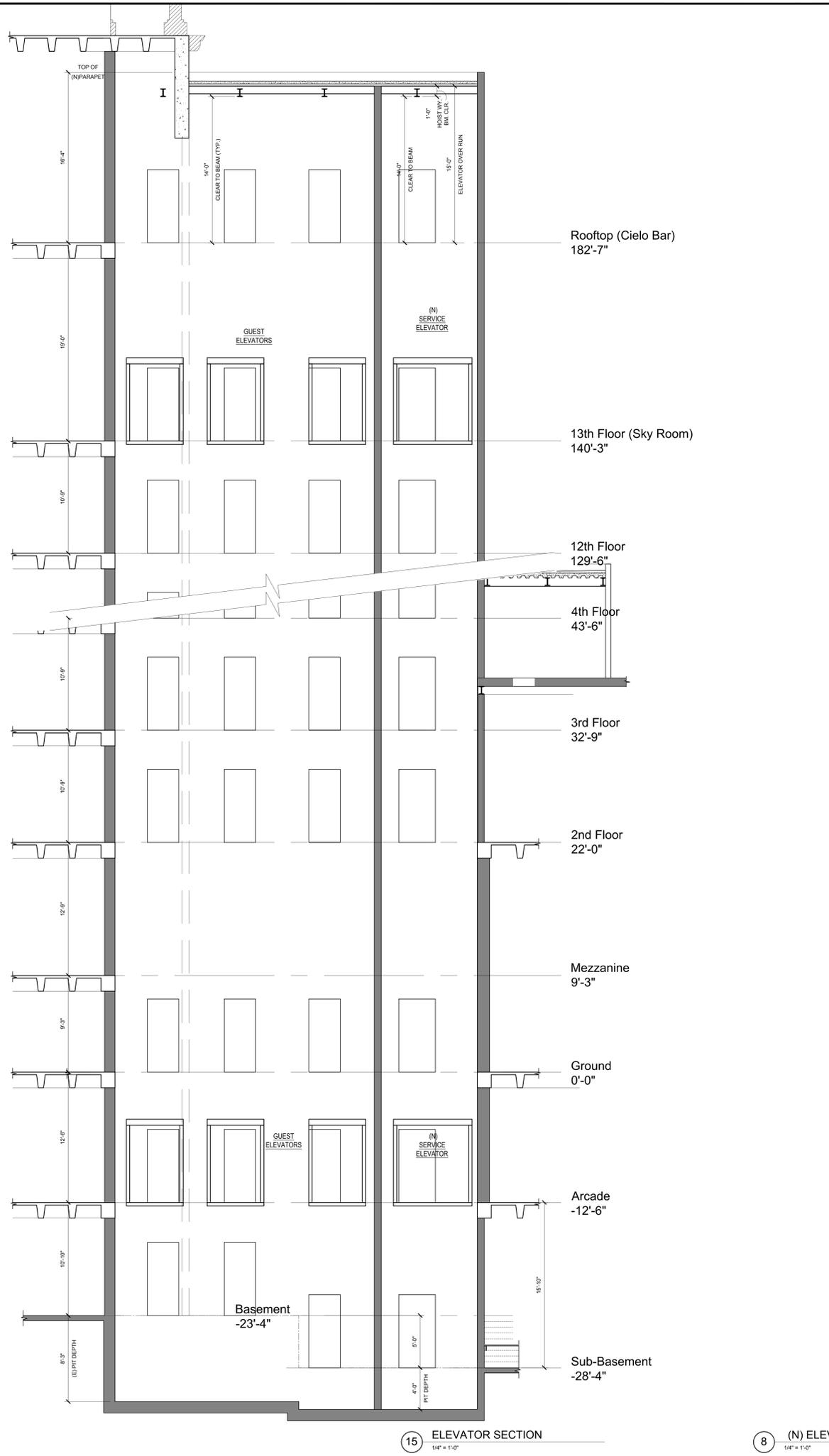
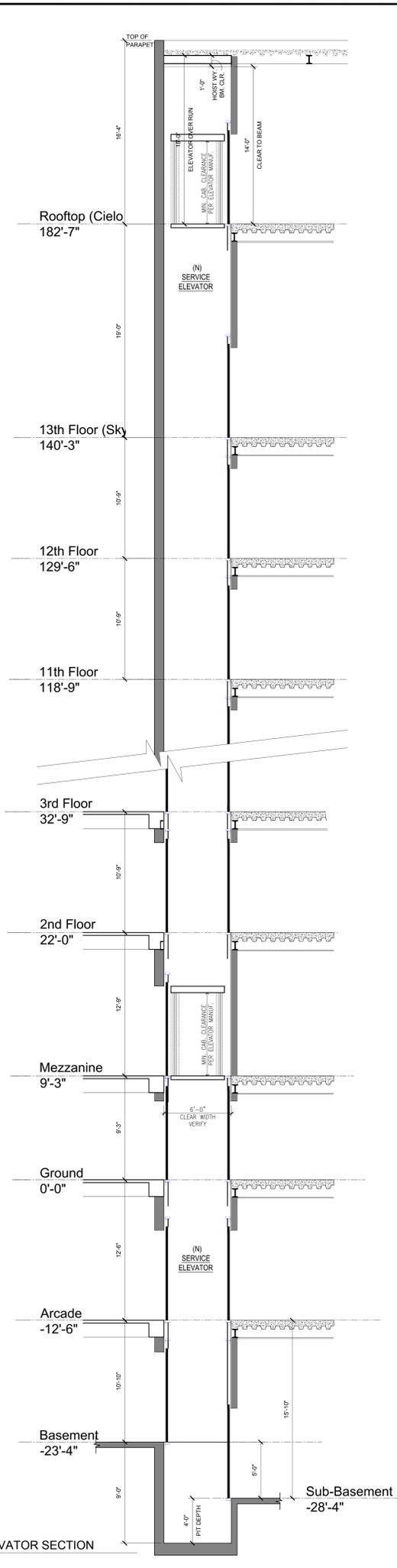
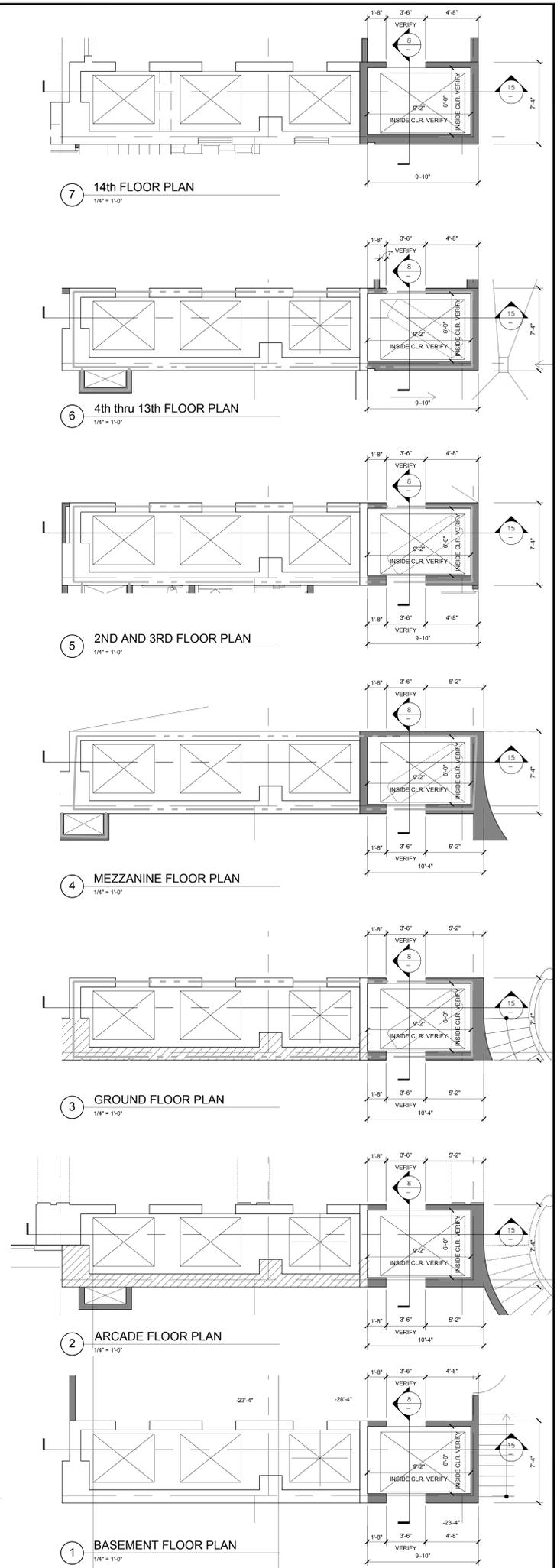
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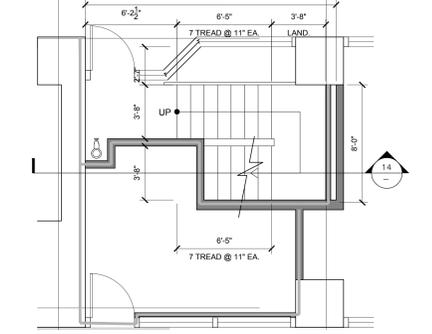
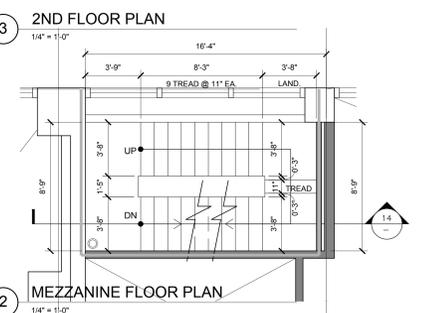
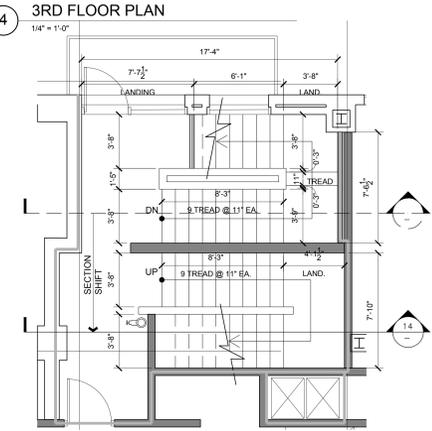
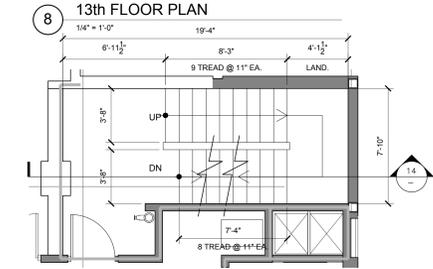
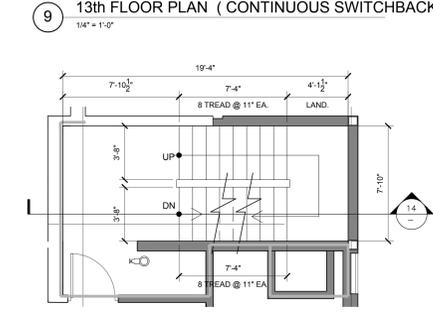
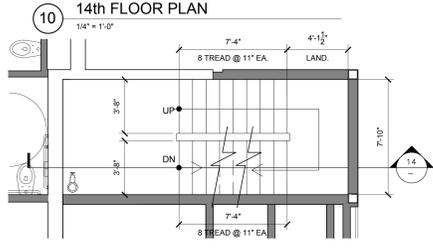
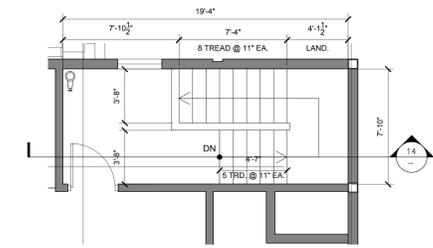
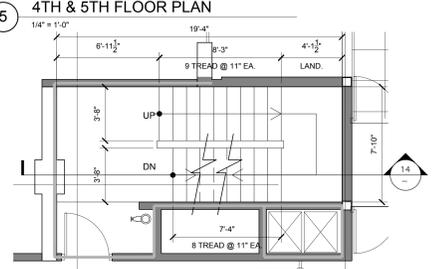
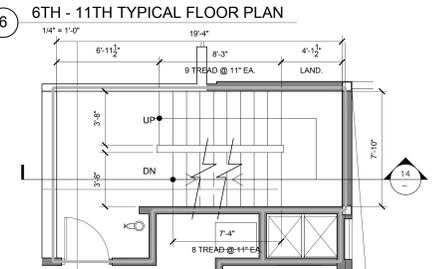
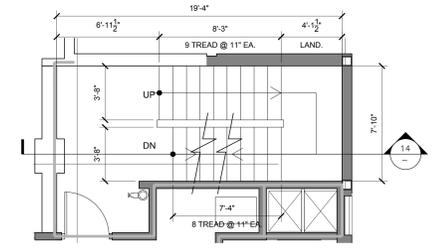
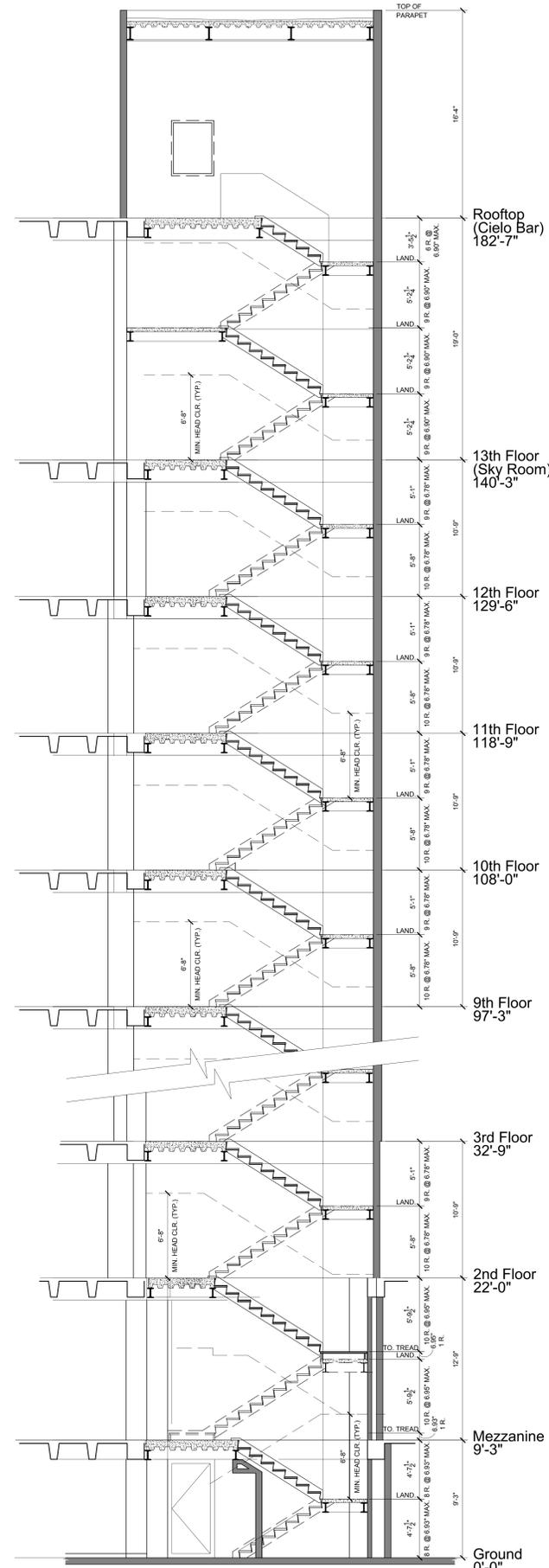
ISSUE DATE: 08/10/2018

SCALE: 1/8"=1'-0"

ELEVATOR PLANS AND SECTIONS

A5.01





**BREAKERS
HOTEL
RENOVATION**

210 E OCEAN BLVD.
LONG BEACH,
CA 90802

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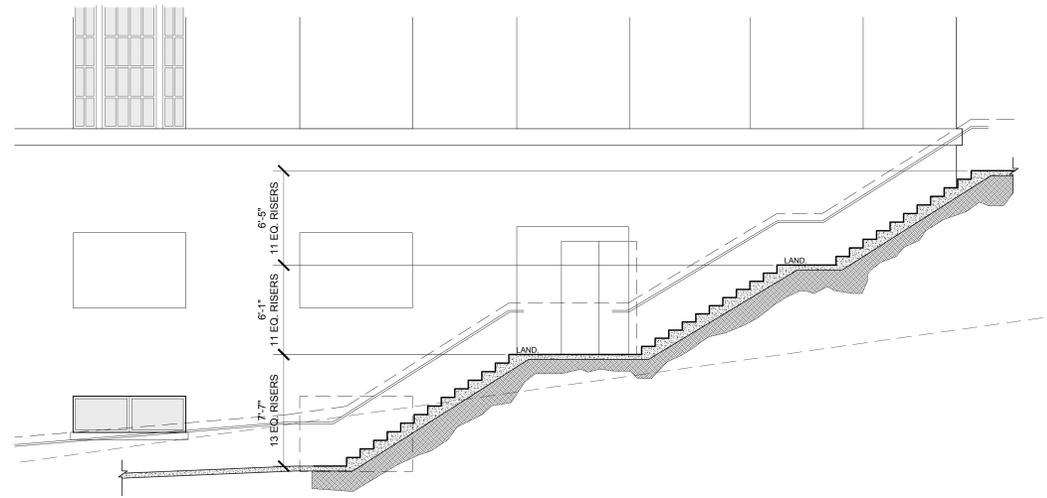
PLANNING APPROVAL	10/30/2018
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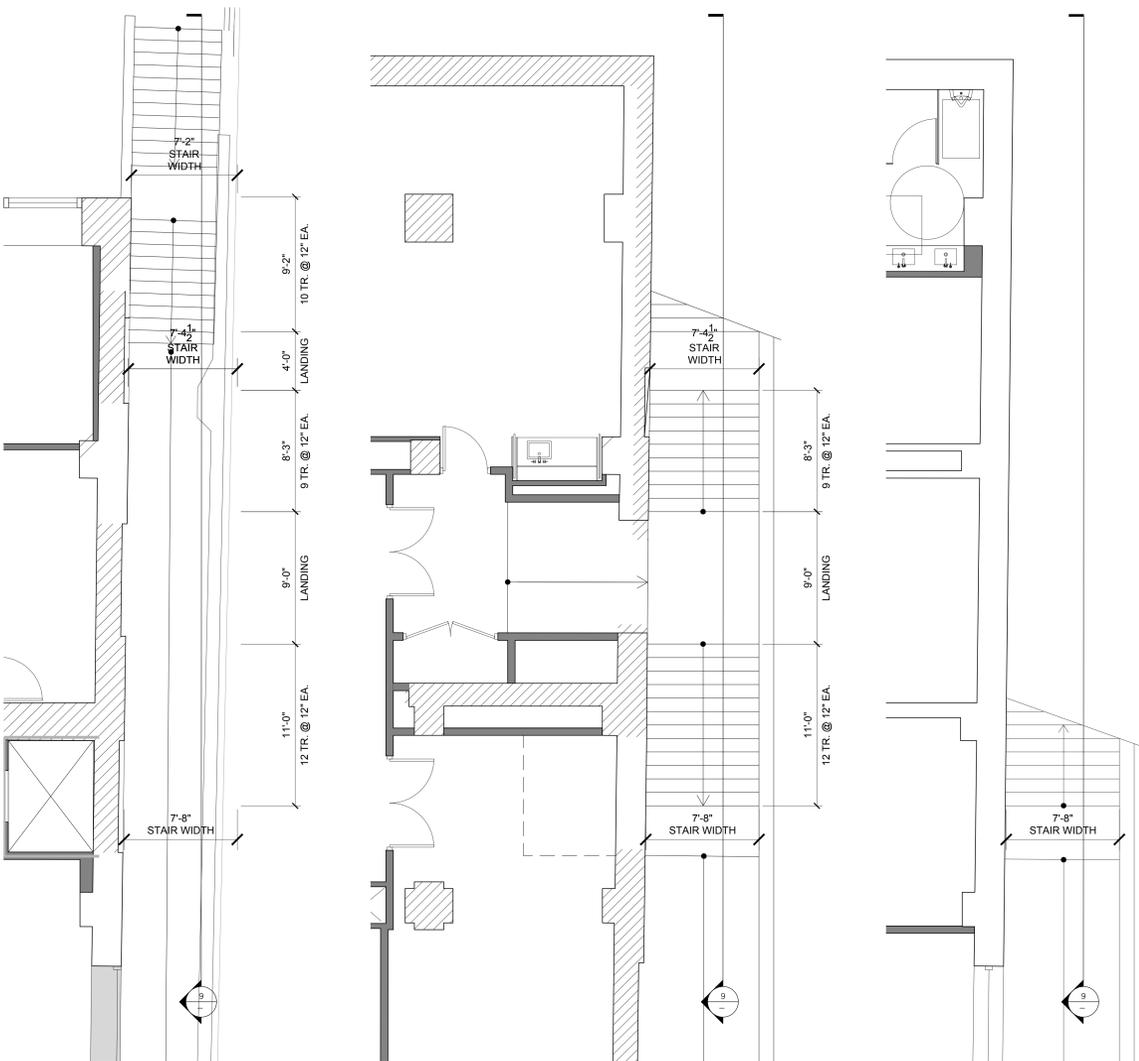
SCALE
1/8"=1'-0"

**STAIR #1 PLANS
AND SECTIONS**

A5.02



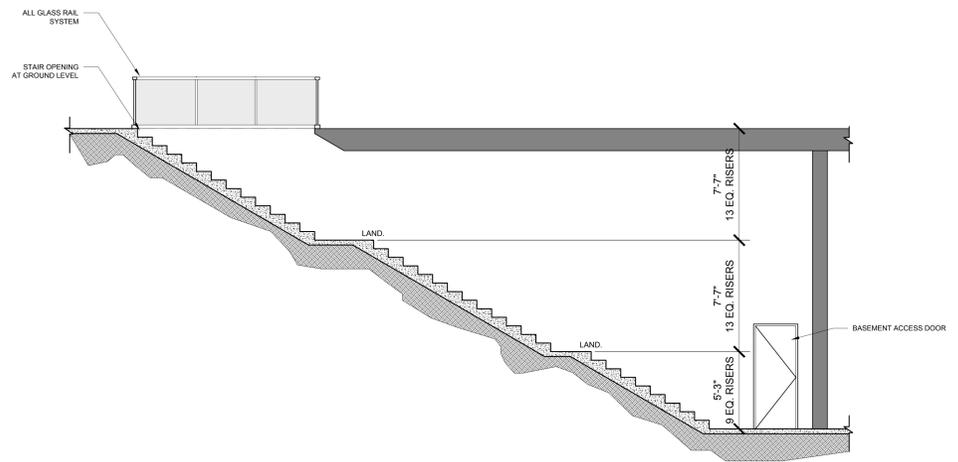
9 (E) STAIR #4 SECTION
1/4" = 1'-0"



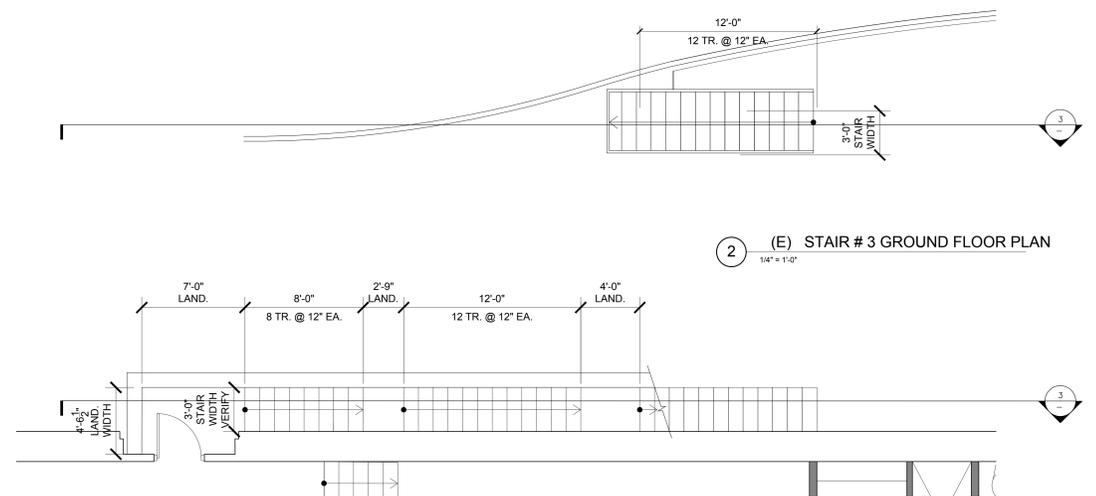
14 (E) STAIR #4 GROUND FLOOR PLAN
1/4" = 1'-0"

10 (E) STAIR #4 ARCADE FLOOR PLAN
1/4" = 1'-0"

6 (E) STAIR #4 BASEMENT FLOOR PLAN
1/4" = 1'-0"



3 (E) STAIR #3 SECTION
1/4" = 1'-0"



2 (E) STAIR #3 GROUND FLOOR PLAN
1/4" = 1'-0"

1 (E) STAIR #3 BASEMENT FLOOR PLAN
1/4" = 1'-0"

**BREAKERS
HOTEL
RENOVATION**

210 E OCEAN BLVD.
LONG BEACH,
CA 90802

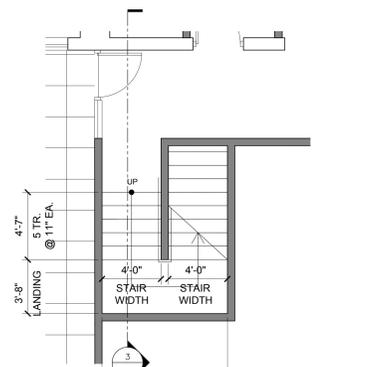
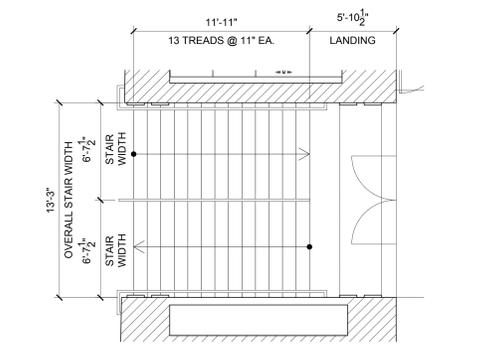
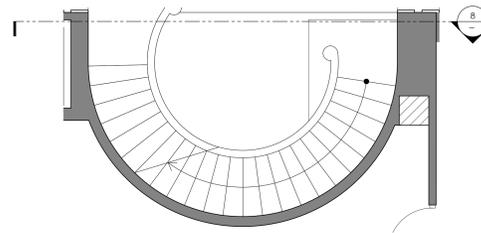
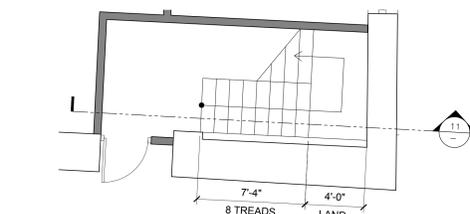
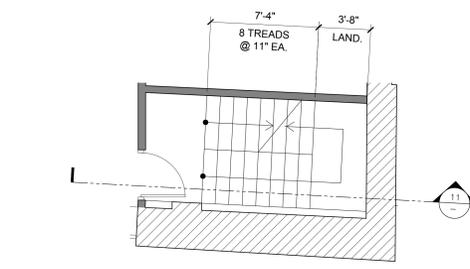
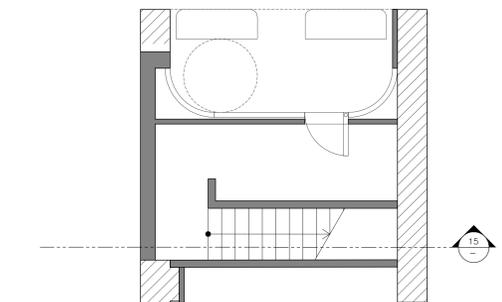
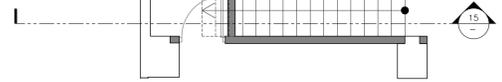
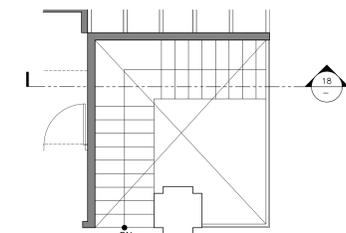
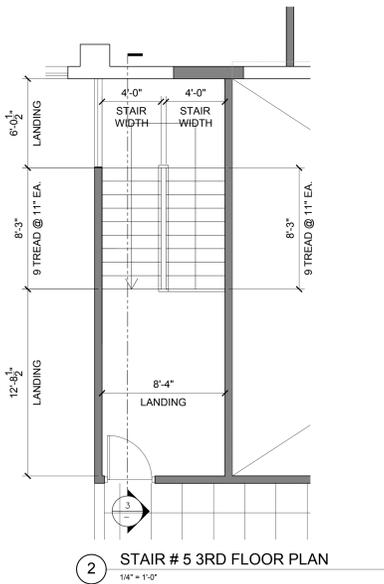
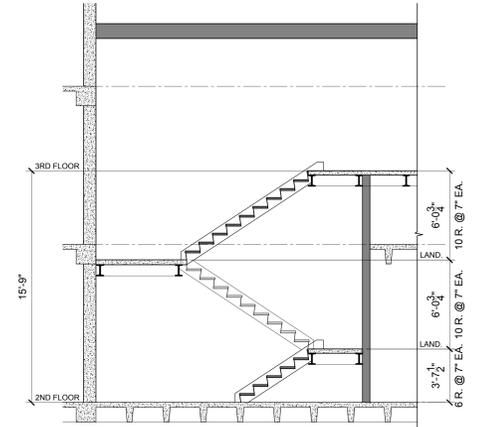
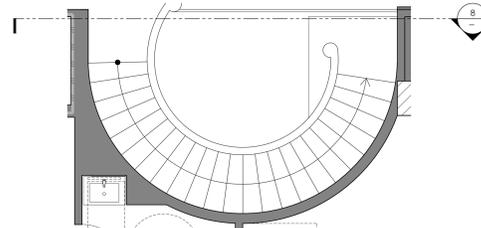
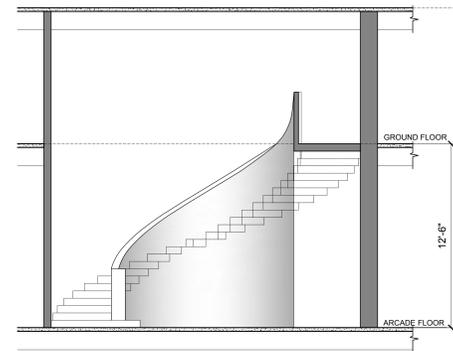
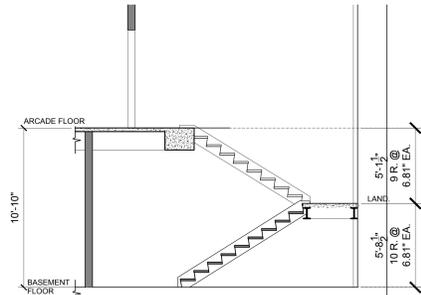
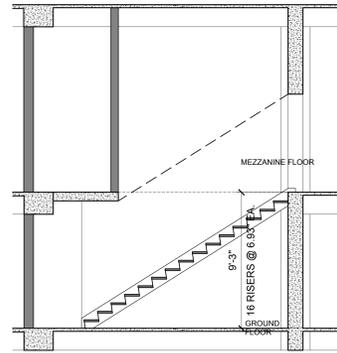
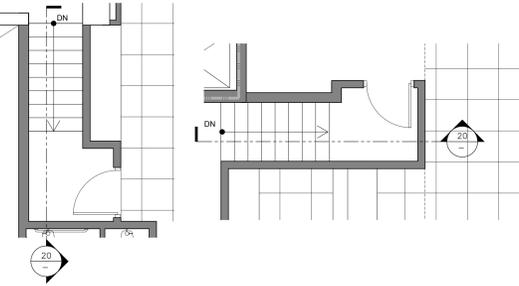
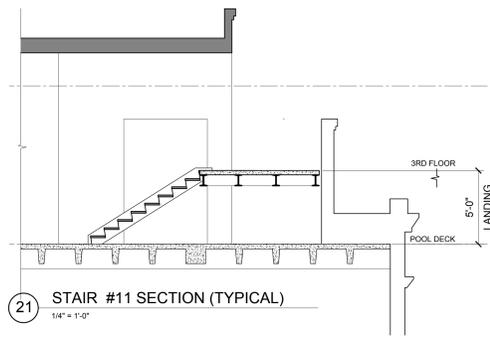
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PLANNING APPROVAL:

NADEL PROJECT No: 18016
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SCALE
1/8" = 1'-0"
**STAIRS #3 & #4
PLANS AND
SECTIONS**

A5.04



BREAKERS HOTEL RENOVATION

210 E OCEAN BLVD.
 LONG BEACH, CA 90802

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ISSUE PLANNING APPROVAL 10-30-2018

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SCALE: 1/8"=1'-0"

STAIRS #5 - #11

PLANS AND SECTIONS

A5.05

**BREAKERS
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PLANNING APPROVAL 10-30-2018

PLANNING APPROVAL 10-30-2018

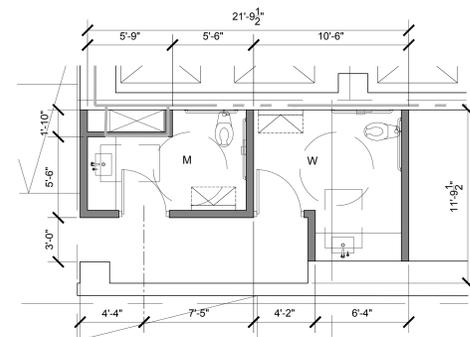
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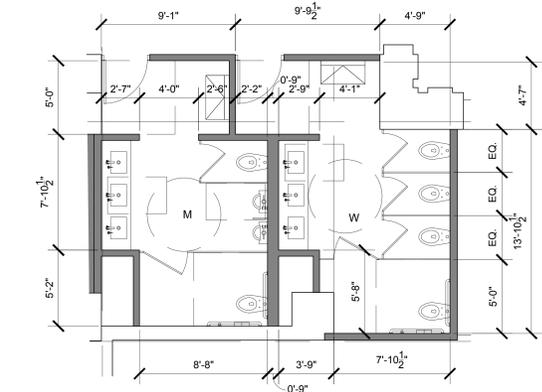
SCALE: 1/8"=1'-0"

ENLARGED PUBLIC
AREA PLANS

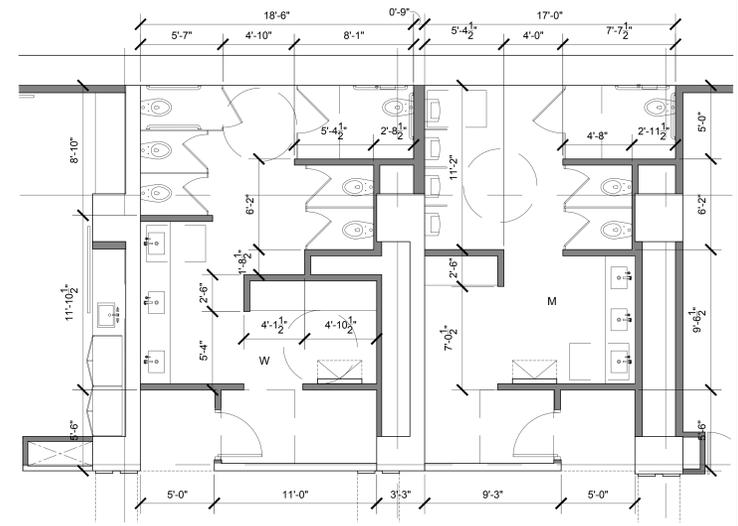
A6.01



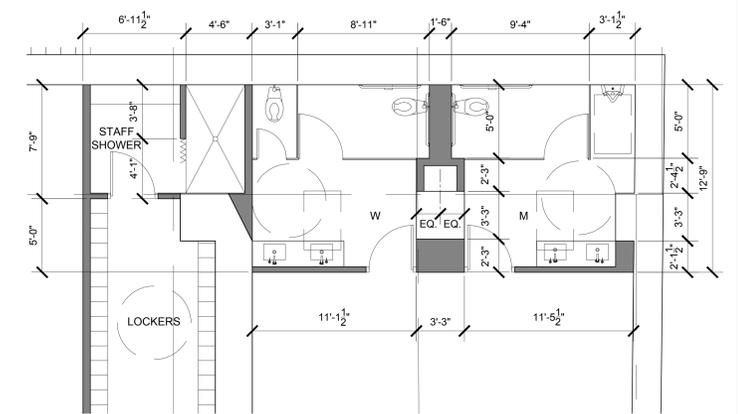
4 2ND FLOOR PUBLIC TOILETS
1/4" = 1'-0"



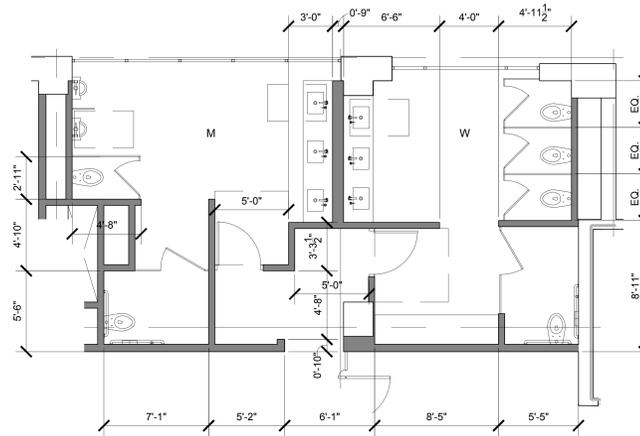
3 GROUND FLOOR PUBLIC TOILETS
1/4" = 1'-0"



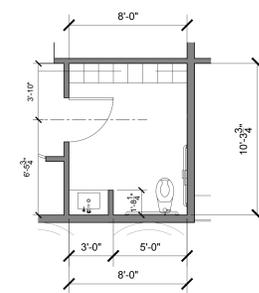
2 BANQUET (ARCADE) FLOOR PUBLIC TOILETS
1/4" = 1'-0"



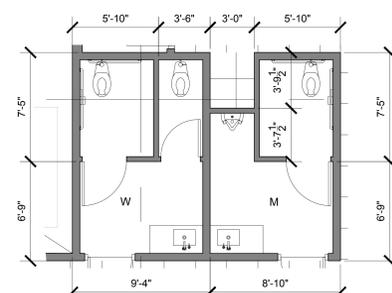
1 STAFF TOILETS / LOCKERS
1/4" = 1'-0"



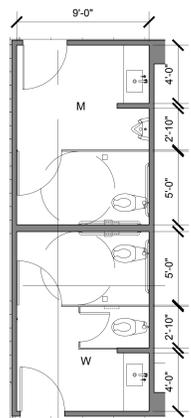
7 SKY BAR PUBLIC TOILET
1/4" = 1'-0"



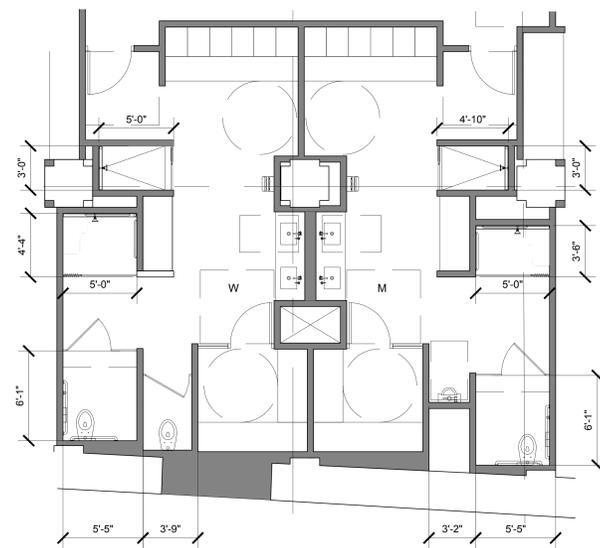
6 13TH FLOOR SKYBAR SERVICE TOILET
1/4" = 1'-0"



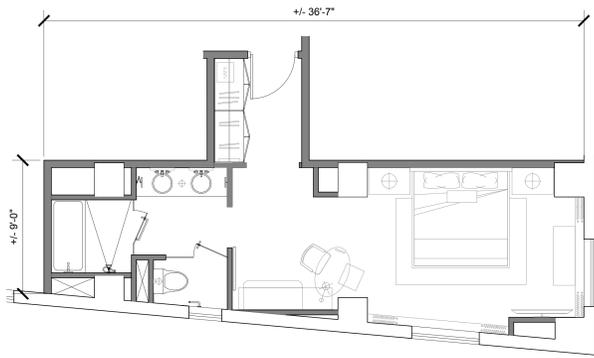
5 POOL LEVEL
1/4" = 1'-0"



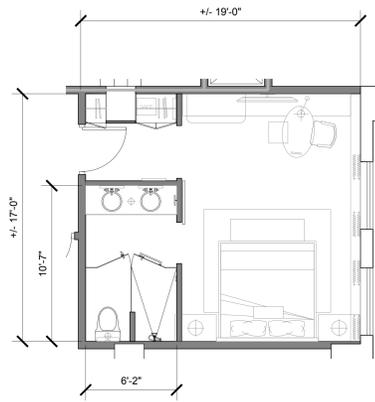
9 ROOF DECK
1/4" = 1'-0"



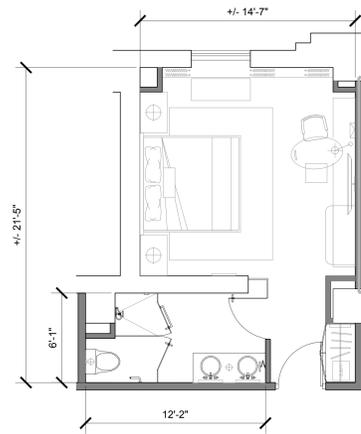
8 SPA
1/4" = 1'-0"



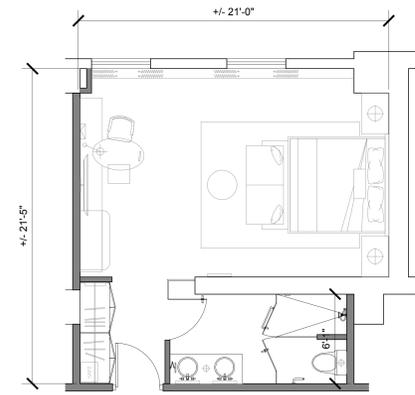
13 GUEST ROOM # 13
1/4" = 1'-0"



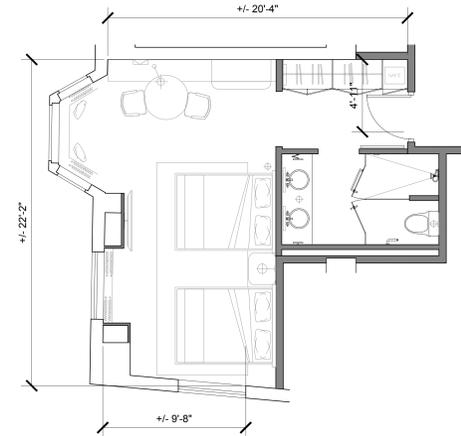
12 GUEST ROOM # 12
1/4" = 1'-0"



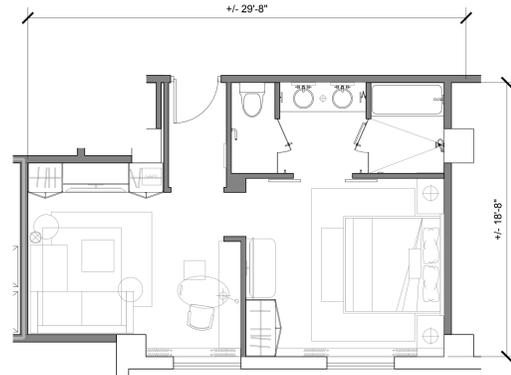
5 GUEST ROOM # 5
1/4" = 1'-0"



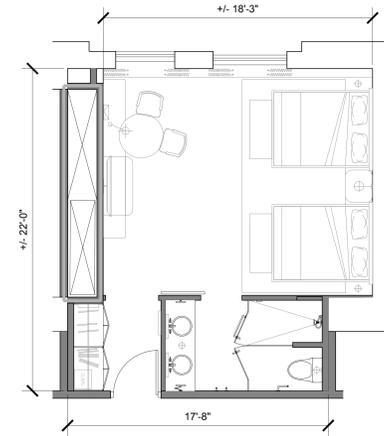
4 GUEST ROOM # 4
1/4" = 1'-0"



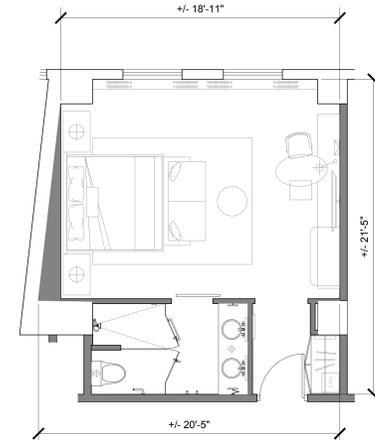
14 GUEST ROOM # 14
1/4" = 1'-0"



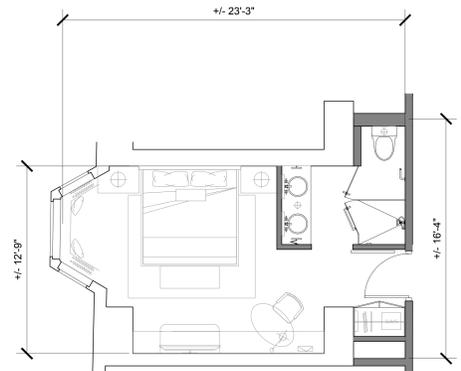
11 GUEST ROOM # 11
1/4" = 1'-0"



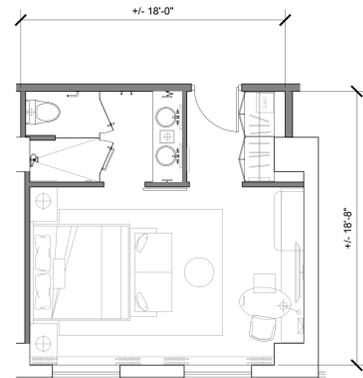
6 GUEST ROOM # 6
1/4" = 1'-0"



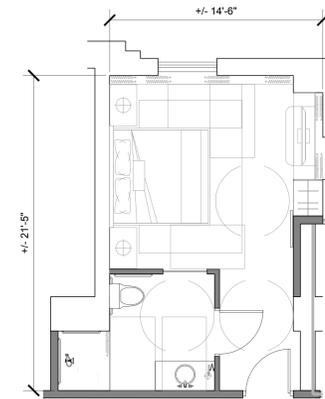
3 GUEST ROOM # 3
1/4" = 1'-0"



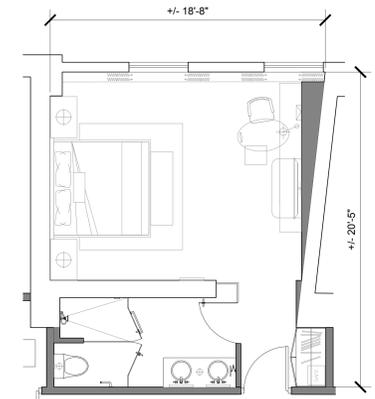
15 GUEST ROOM # 15
1/4" = 1'-0"



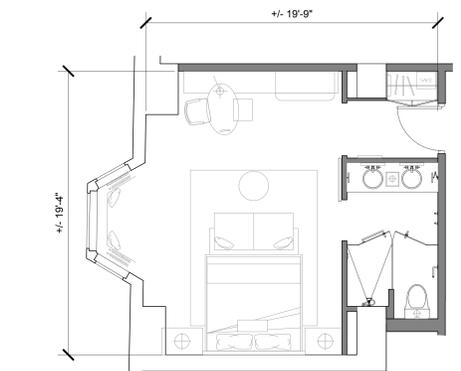
10 GUEST ROOM # 10
1/4" = 1'-0"



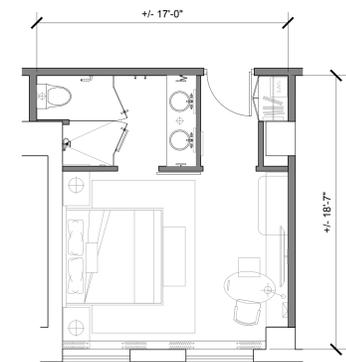
7 GUEST ROOM # 7
1/4" = 1'-0"



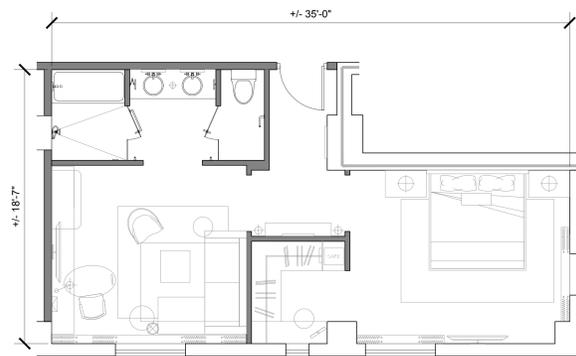
2 GUEST ROOM # 2
1/4" = 1'-0"



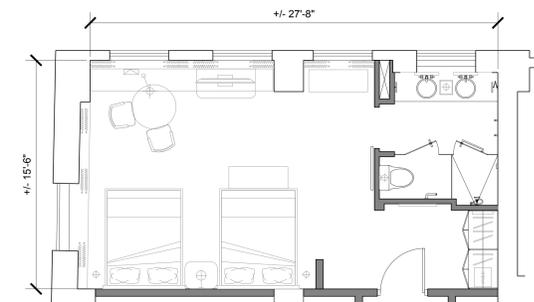
16 GUEST ROOM # 16
1/4" = 1'-0"



9 GUEST ROOM # 9
1/4" = 1'-0"



8 GUEST ROOM # 8
1/4" = 1'-0"



1 GUEST ROOM # 1
1/4" = 1'-0"

**BREAKERS
HOTEL
RENOVATION**

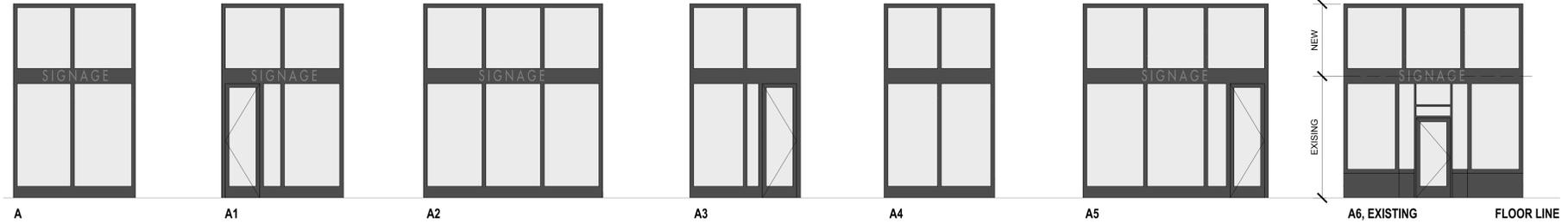
210 E OCEAN BLVD,
LONG BEACH,
CA 90802

REVISIONS:	ISSUE DESCRIPTION:	ISSUE DATE:
NO.		
	PLANNING APPROVAL	10/30/2018

NADEL PROJECT No: 18016
DRAWING DATE: 08/10/2018
SCALE: 1/8"=1'-0"

ENLARGED GUEST
ROOM PLANS

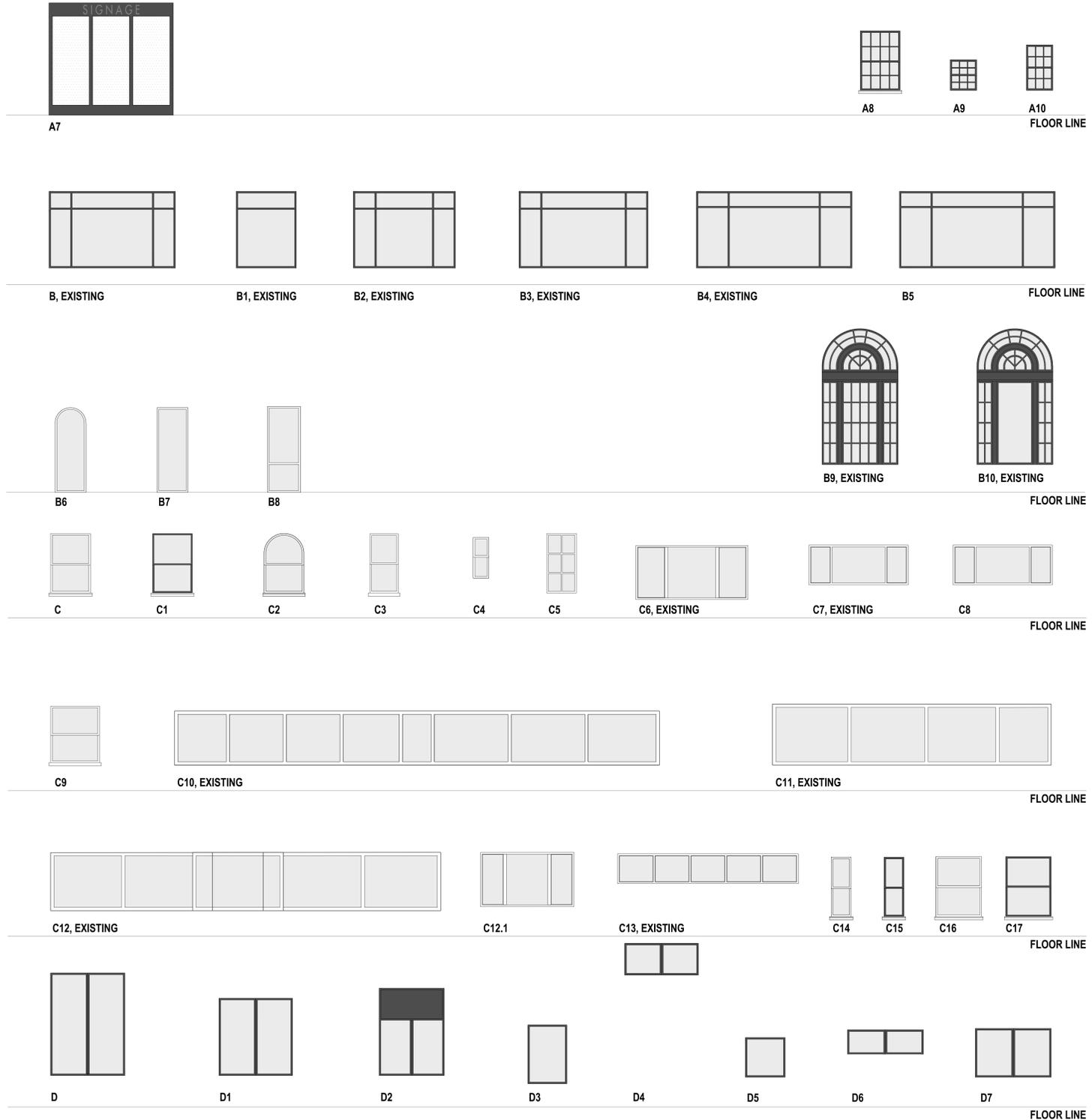
A6.11



WINDOW SCHEDULE

- WINDOW SYSTEMS:**
- EXISTING HISTORIC WINDOWS SYSTEMS TO REMAIN:**
- STEEL AND GLASS STOREFRONT WINDOW AT OCEAN AVE WILL BE CLEANED AND REPAIRED AS REQUIRED.
 - STEEL AND GLASS ARCHED WINDOWS WILL BE CLEANED AND REPAIRED AS REQUIRED.
 - STEEL AND GLASS FIXED/CASEMENT WINDOWS AT THE SECOND FLOOR, WINDOWS WILL BE CLEANED AND REPAIRED AS REQUIRED, AND WILL HAVE A NEW SECONDARY ALUMINUM W/ INSULATED GLASS WINDOW SYSTEM INSTALLED DIRECTLY BEHIND, THE MULLION SIZE WILL BE SIZED TO MATCH THE EXISTING WINDOWS
 - STEEL AND GLASS FIXED/CASEMENT WINDOWS AT THE THIRTEENTH FLOOR, WINDOWS WILL BE CLEANED AND REPAIRED AS REQUIRED.
 - SKY ROOM ROOF STRUCTURE/WINDOW SYSTEM, WILL BE REPAIRED AND CLEANED AS REQUIRED. THE INTEGRITY OF THE ROOF STRUCTURE NEEDS TO BE VERIFIED DURING CONSTRUCTION.
- ALUMINUM AND GLASS STOREFRONT SYSTEM:**
- THIS STOREFRONT IS INTENDED TO MIMIC THE HISTORIC WINDOWS SYSTEMS INSTALLED IN 1926. THE SYSTEM WILL BE AN ALUMINUM FRAMED STOREFRONT SYSTEM WITH 4X 4-1/2" CENTER GLAZED, BY WAUSAU OR SIM.
- ALUMINUM AND GLASS SIMULATED DOUBLE HUNG WINDOWS SYSTEM:**
- 1450 HR SERIES BY WINCO OR SIM.
- STEEL REPLICA WINDOWS:**
- 3250 SERIES BY WINCO OR SIM.
- ALL GLASS WINDOW SYSTEM:**
- CRL US ALUMINUM- GLASS DOOR PATCH SYSTEMS

WINDOW NUMBER	OPENING SIZE WIDTH x HEIGHT ALL DIMENSIONS W/ E	FRAME MATERIAL / FINISH
A	10'-8" x 17'-0"	AL / PT / P2
A1	10'-8" x 17'-0"	AL / PT / P2
A2	15'-8" x 17'-0"	AL / PT / P2
A3	9'-8" x 17'-0"	AL / PT / P2
A4	9'-8" x 17'-0"	AL / PT / P2
A5	16'-2" x 17'-0"	AL / PT / P2
A6	15'-8" x 17'-0"	WD, EXISTING TO REMAIN
A7	12'-6" x 11'-4"	AL / PT / P2 (DISPLAY CASE)
A8	4'-0" x 6'-0"	AL / PT / P2
A9	2'-8" x 3'-0"	AL / PT / P2
A10	2'-8" x 4'-7"	AL / PT / P2
B	12'-8" x 7'-9"	STL, EXISTING TO REMAIN
B1	6'-0" x 7'-9"	STL, EXISTING TO REMAIN
B2	10'-3" x 7'-9"	STL, EXISTING TO REMAIN
B3	13'-0" x 7'-9"	STL, EXISTING TO REMAIN
B4	15'-8" x 7'-9"	STL, EXISTING TO REMAIN
B5	15'-8" x 7'-9"	STL / PT / P2
B6	2'-8" x 4'-7"	AL / PT / P3
B7	3'-0" x 8'-6"	AL / PT / P3
B8	3'-0" x 8'-6"	AL / PT / P3
B9	7'-7" x 13'-8"	STL, EXISTING TO REMAIN
B10	7'-7" x 13'-8"	STL, EXISTING TO REMAIN
C	4'-0" x 6'-0"	AL / PT / P3
C1	4'-0" x 6'-0"	AL / PT / P2
C2	4'-0" x 6'-0"	AL / PT / P3
C3	2'-10" x 6'-0"	AL / PT / P3
C4	1'-8" x 4'-0"	AL / PT / P3
C5	2'-10" x 6'-0"	AL / PT / P3
C6	11'-3" x 5'-6"	STL, EXISTING TO REMAIN
C7	10'-0" x 3'-10"	STL, EXISTING TO REMAIN
C8	10'-0" x 3'-10"	STL / PT / P3
C9	5'-0" x 5'-8"	AL / PT / P3
C10	48'-10" x 5'-6"	STL, EXISTING TO REMAIN
C11	28'-0" x 6'-0"	STL, EXISTING TO REMAIN
C12	54'-10" x 5'-10"	STL, EXISTING TO REMAIN
C12.1	9'-5" x 5'-5"	STL / PT / P3
C13	3'-0" x 18'-0"	STL, EXISTING TO REMAIN
C14	2'-0" x 6'-0"	AL / PT / P3
C15	2'-0" x 6'-0"	AL / PT / P2
C16	4'-6" x 5'-8"	AL / PT / P3
C17	4'-6" x 5'-8"	AL / PT / P2
D	7'-5" x 10'-4"	AL / PT / P2
D1	7'-4" x 7'-10"	AL / PT / P2
D2	6'-6" x 8'-10"	AL / PT / P2
D3	4'-0" x 6'-0"	AL / PT / P2
D4	7'-5" x 3'-2"	AL / PT / P2
D5	4'-0" x 4'-0"	AL / PT / P2
D6	7'-8" x 2'-6"	AL / PT / P2
D7	7'-8" x 4'-10"	AL / PT / P2
AL	ALUMINUM	
PT	PAINT	
STL	STEEL	
WD	WOOD	
PT2	BLACK, LT601-70 70%, 2 COAT NON INHOUSE BLEND, LINETEC O.S.	
PT3	BONE WHITE, LT609-70 70%, 2 COAT NON INHOUSE BLEND, LINETEC O.S.	



BREAKERS HOTEL RENOVATION

210 E OCEAN BLVD, LONG BEACH, CA 90802

REVISIONS:	ISSUE DESCRIPTION:	ISSUE DATE:
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NADEL PROJECT NO:	18016	
DRAWING DATE:	08/10/2018	

WINDOW SCHEDULE

A9.01



UPPER WINDOWS PAINTED WHITE

LOWER WINDOWS PAINTED DARK

(E) WINDOWS HAVE BEEN INFILLED

(E) WINDOWS TO REMAIN

**BREAKERS
HOTEL
RENOVATION**

210 E OCEAN BLVD,
LONG BEACH,
CA 90802

ISSUE DESCRIPTION:	ISSUE DATE:
PLANNING APPROVAL	10/30/2018

NADEL PROJECT No: 18016
DRAWING DATE: 08/10/2018

SCALE: 1/16"=1'-0"

HISTORIC
PHOTOS

A9.02



(E) STOREFRONT ARE SIMPLE AND SUBDIVIDED. THE CENTER OPENING AT THE HISTORIC DOORS WOULD NOT MEET CURRENT CODES.

(E) STOREFRONT HAS A SIMPLE SIGNAGE BAND BETWEEN THE DOORS AND THE CLEARSTORY LITE ABOVE.

(E) TRANSOM PANELS ABOVE WINDOWS HAVE BEEN INFILLED. PROPOSAL TO REOPEN THESE PANELS.

(E) STOREFRONT THAT REMAINS

ORNAMENTAL FEATURES PAINTED THE SAME COLOR AS THE BUILDING

(E) STOREFRONT HAS A SIMPLE SIGNAGE BAND BETWEEN THE DOORS AND THE CLEARSTORY LITE ABOVE.

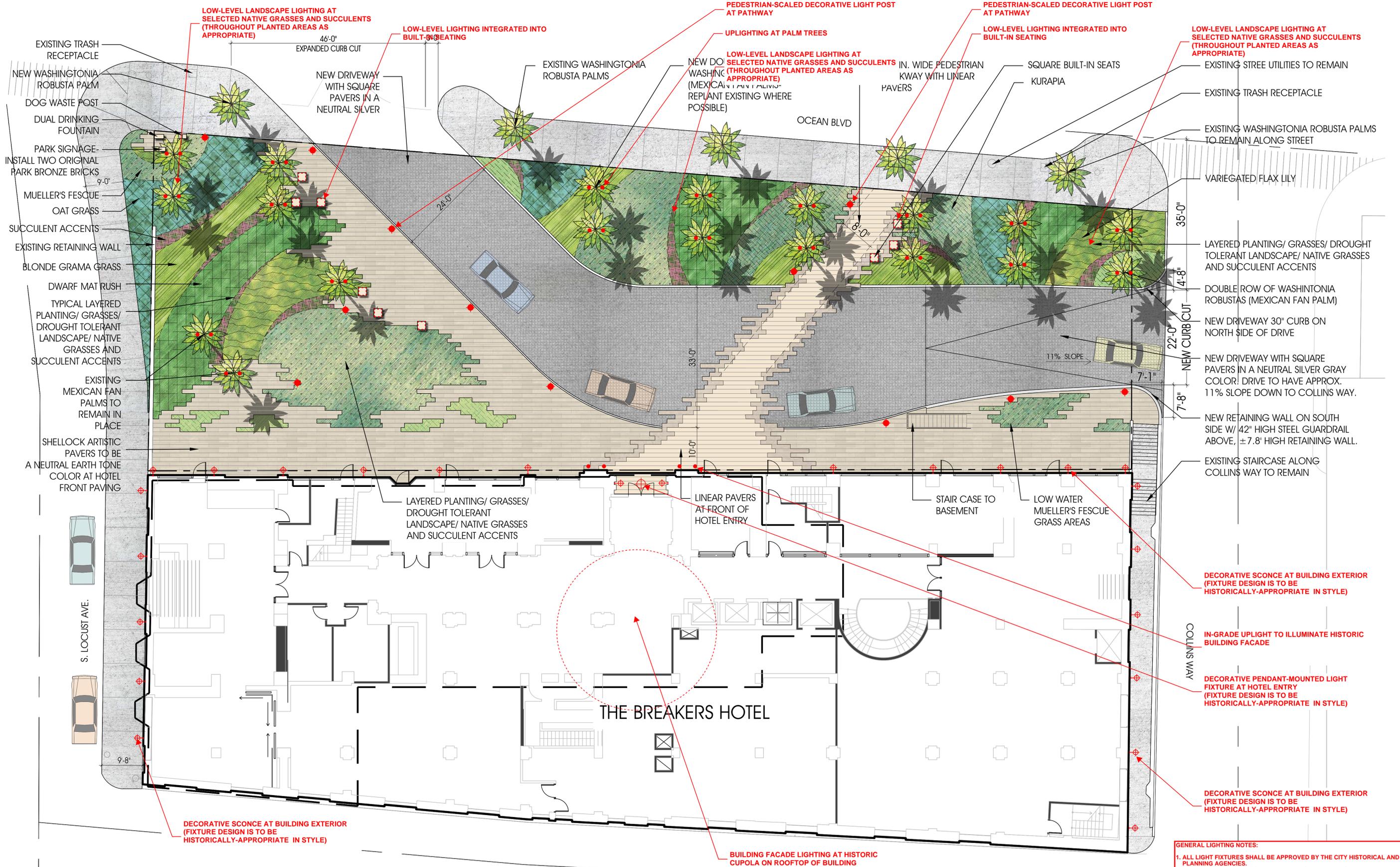
(E) TRANSOM PANELS ABOVE WINDOWS HAVE BEEN INFILLED. PROPOSAL TO REOPEN THESE PANELS.

(E) STOREFRONT THAT REMAINS

(E) STOREFRONT ARE SIMPLE AND SUBDIVIDED. THE CENTER OPENING AT THE HISTORIC DOORS WOULD NOT MEET CURRENT CODES.

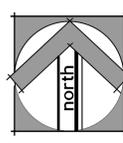
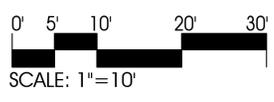
2- ENLARGED NORTH ELEVATION FROM 1926 PHOTO

1-NORTH - WEST ELEVATION FROM 1926 PHOTO



CONCEPTUAL LIGHTING DESIGN
THE BREAKERS HOTEL
 LONG BEACH, CA

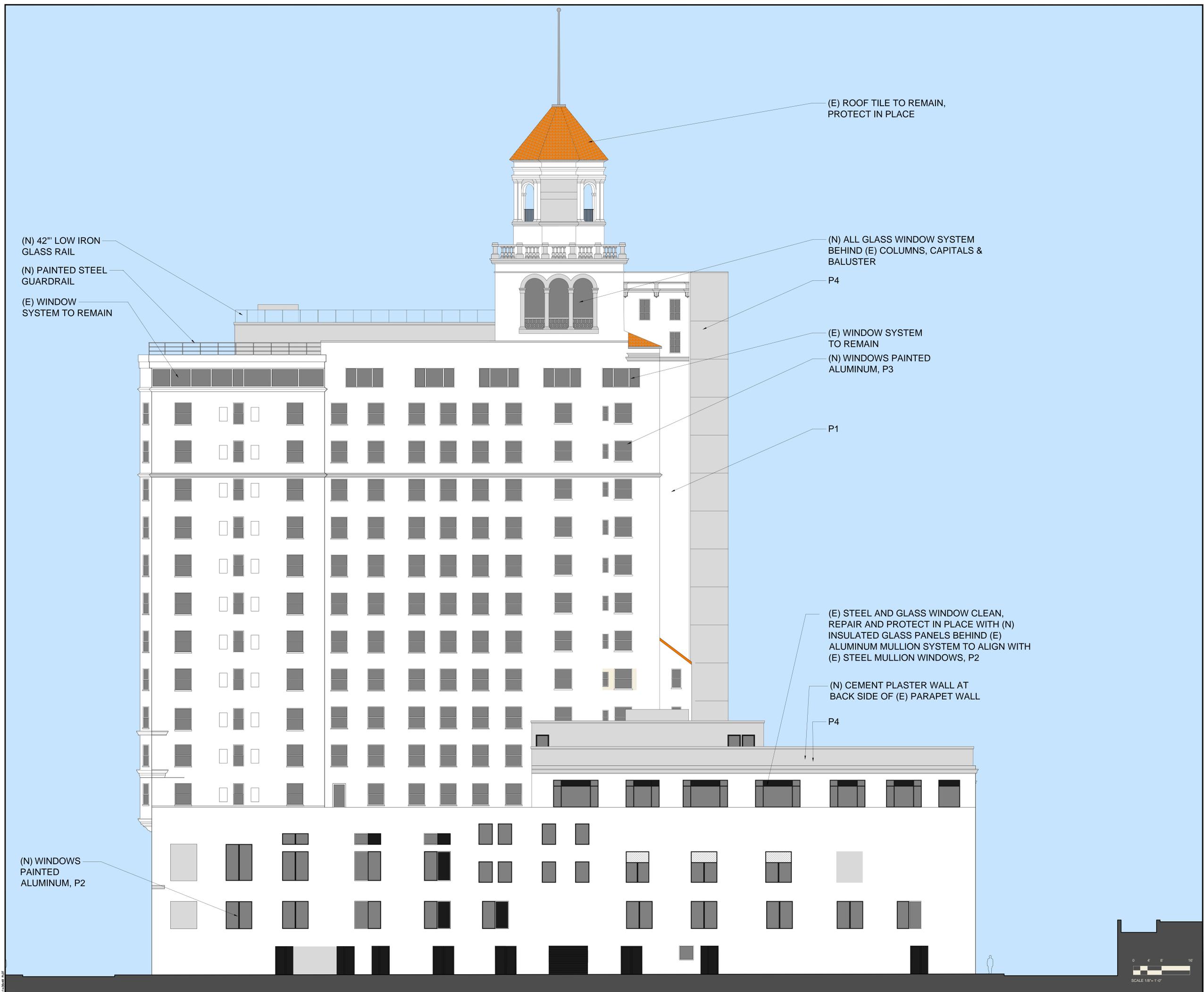
DATE: 10-25-18



conceptual design & planning company
 3195-C Airport Loop Dr, Studio One, Costa Mesa, CA 92626
 T: 949.399.0870 F: 949.399.0882 www.cdpcinc.com
 6659 Morro Road, Atascadero, CA 93422
 T: 805.466.3385 F: 805.466.3204
 75 E. Santa Clara St., 6th Floor, San Jose, CA 95113
 CDPC PROJECT#: 18056

- GENERAL LIGHTING NOTES:**
1. ALL LIGHT FIXTURES SHALL BE APPROVED BY THE CITY HISTORICAL AND PLANNING AGENCIES.
 2. ALL LIGHT FIXTURES LOCATED WITHIN VICTORY PARK SHALL MEET THE FINDINGS OF THE CONDITIONAL USE PERMIT ALONG WITH ANY OTHER CITY REQUIREMENTS.
 3. ALL LIGHTING SHALL COMPLY WITH TITLE 24 AND CALGREEN REQUIREMENTS FOR EXTERIOR LIGHTING.
 4. ALL LIGHTING TO BE LED, 2700K, 90+ CRI.





BREAKERS HOTEL RENOVATION

210 E OCEAN BLVD.
 LONG BEACH, CA 90802

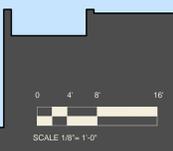
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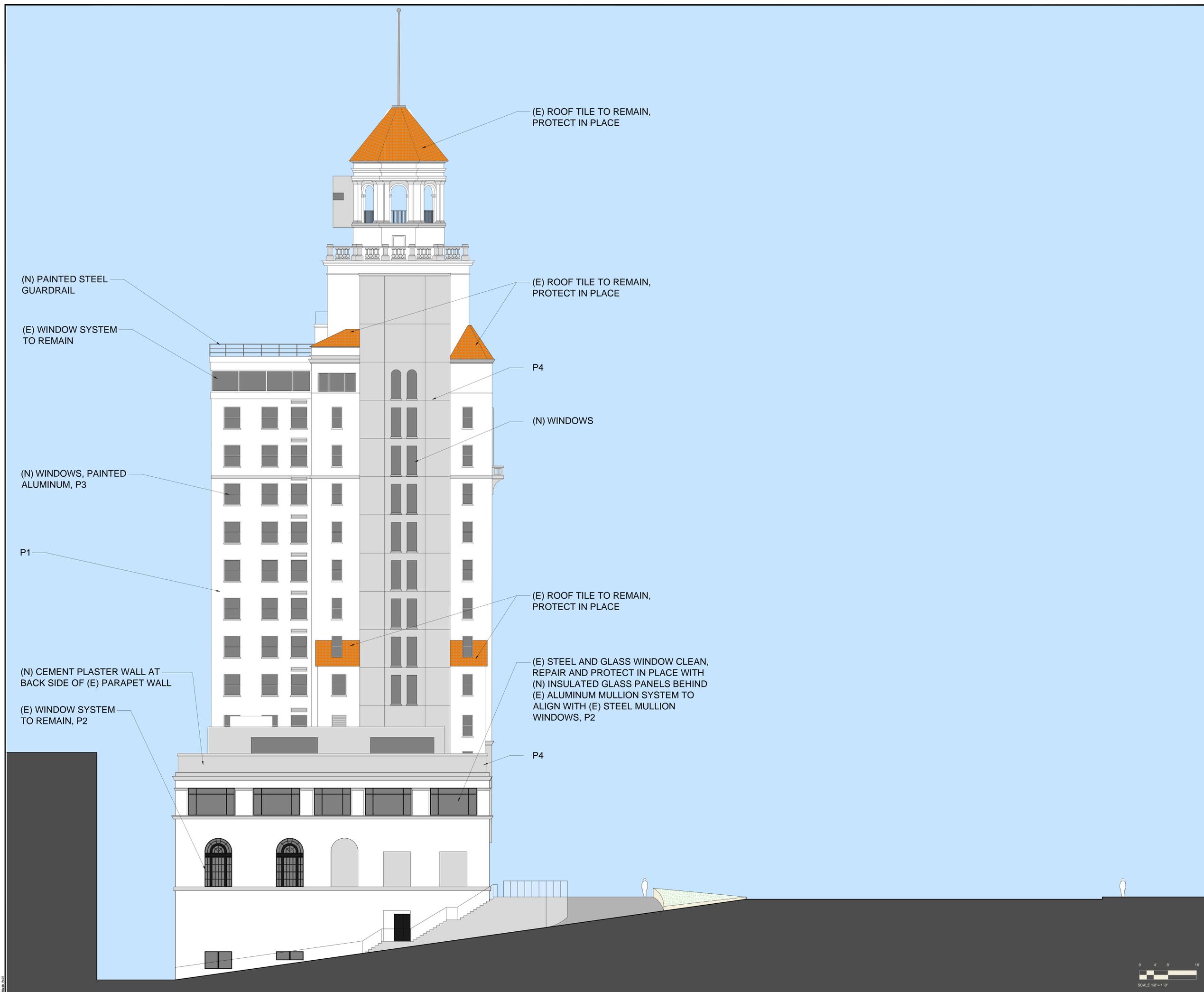
SCALE 1/8"=1'-0"

SOUTH ELEVATION

A3



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BREAKERS HOTEL RENOVATION

210 E OCEAN BLVD.
 LONG BEACH, CA 90802

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SCALE 1/8"=1'-0"

EAST ELEVATION

A4



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