

COFFEE BEAN
5865 E. SPRING ST., LONG BEACH, CA 90808

ALAN BERNSTEIN, AIA + ASLA
ARCHITECTS + LANDSCAPE ARCHITECTS
5700 CORONA AVE. STE. 200-B
WESTLAKE VILLAGE, CA 91362
P. 818 707 9215
E. alan@abarchitects.com

These drawings, design concepts, specifications, and ideas are the property of Alan Bernstein, AIA + ASLA, Architects + Landscape Architects, and no part thereof shall be copied, disclosed to others or used in connection with any work or project except for the specific project indicated herein, and shall not be used unless personally endorsed on each drawing and all remonstrations of agreement have been met.

ABBREVIATIONS

Table with 2 columns: Abbreviation and Description. Includes entries for L1.0 PROPOSED PLANTING PLAN, L2.0 PROPOSED PLANTING DETAILS, etc.

LANDSCAPE

Table with 2 columns: Description and Area. Includes entries for FLOOR AREA GROSS, FLOOR AREA NET, INTERIOR SEATING, etc.

APPLICABLE CODES

CODES IN EFFECT FOR THIS PROJECT INCLUDE THE 2016 EDITIONS OF THE CALIFORNIA BUILDING CODE (CBC), CALIFORNIA PLUMBING CODE (CPC), CALIFORNIA MECHANICAL CODE (CMC), CALIFORNIA ENERGY CODE (CEC), AND CALIFORNIA ELECTRICAL CODE (CEC).

OUTDOOR SEATING

Table with 2 columns: Description and Area. Includes entries for PROPOSED SEATING AREA, PROPOSED SEATS.

Table with 2 columns: Date and Description. Includes entries for 06-28-2024 Elevation Updates, 06-16-2024 Planning Updates, etc.

OWNER:
MR. GEORGE YOUNAN
MANAGING DIRECTOR
THE DOME CENTER
C/O PACIFIC WEST PROPERTY GROUP
17042 DEVONSHIRE ST., SUITE 214
NORTHRIIDGE, CA 91325
OFFICE: (818) 588-9115 X101
MOBILE: (818) 523-7890

PROJECT:
PROPOSED SHELL BUILDING FOR COFFEE BEAN
5865 E SPRING ST
LONG BEACH, CA 90808

TITLE SHEET PROJECT SUMMARY

Opus: 2 Dwg. No. A0.0
Scale: AS SHOWN Date: 04-17-17

GENERAL NOTES

- 1.00 GENERAL CONDITIONS
1.01 THE GENERAL CONDITIONS OF THE CONTRACT FOR CONSTRUCTION, STANDARD FORM OF THE AMERICAN INSTITUTE OF ARCHITECTS, CURRENT EDITION, SHALL APPLY TO ALL WORK IN THIS CONTRACT, EXCEPT AS INDICATED OTHERWISE BY THIS AGREEMENT.
2.02 CONSTRUCTION SCHEDULING
2.03 THE CONTRACTOR SHALL SUBMIT A CONSTRUCTION SCHEDULE TO THE ARCHITECT FOR REVIEW AND APPROVAL. THE SCHEDULE SHALL BE PREPARED ON A CALENDAR BASIS AND SHALL BE SUBJECT TO THE OWNER'S APPROVAL.
2.04 THE CONTRACTOR SHALL SUBMIT A COMPLETE SCHEDULE FOR CONSTRUCTION SHOWING THE CHRONOLOGICAL PHASES OF THE WORK FOR THE COMPLETION OF THE PROJECT. THIS SCHEDULE SHALL INCLUDE A LIST OF ALL SUBCONTRACTORS FURNISHING THEIR RESPECTIVE TRADES, ADDRESSES, TELEPHONE AND TELEFAX NUMBERS AND SHALL INDICATE THE ORDERING LEAD TIME FOR EACH TRADE FOR EACH PHASE AND ITS START AND COMPLETION WITH A PROJECTED COMPLETION DATE. THE SCHEDULE SHALL BE PREPARED ON A CALENDAR BASIS AND SHALL BE SUBJECT TO THE OWNER'S APPROVAL.
2.05 THE CONTRACTOR SHALL SUBMIT, WITHIN TEN (10) CALENDAR DAYS, AN ESTIMATED PAYMENT SCHEDULE.
2.06 THE CONTRACTOR SHALL DISTRIBUTE COPIES OF THE APPROVED SCHEDULE TO THE ARCHITECT, SUBCONTRACTORS AND OTHER CONCERNED PARTIES. EACH RECIPIENT IS TO BE INSTRUCTED TO REPORT ANY VIOLATION OF THE SCHEDULE TO THE ARCHITECT IMMEDIATELY.
2.07 THE CONTRACTOR SHALL SUBMIT, WITHIN TEN (10) CALENDAR DAYS OF ISSUE DATE, AN EXPLANATION, WITH SUGGESTED REMEDIES, WITHIN TEN (10) CALENDAR DAYS OF ISSUE DATE.

PROJECT DIRECTORY

- 11.06 MORTAR AND GROUT MATERIALS AND INSTALLATION SPECIFICATIONS & STANDARDS OF "THE TILE COUNCIL OF AMERICA, INC." APPLY TO ALL WORK, EXCEPT AS OTHERWISE NOTED.
11.07 THE CONTRACTOR SHALL PROVIDE "STANDARD GRADE" MATERIALS, UNLESS OTHERWISE NOTED.
11.08 THE CONTRACTOR SHALL PROVIDE ALL MATERIALS AS SPECIFIED ON ARCHITECT'S DRAWINGS.
11.09 PROVIDE MOVEMENT JOINTS, VERTICAL OR HORIZONTAL, AS SPECIFIED BY THE TILE COUNCIL OF AMERICA, INC.
11.10 THE CONTRACTOR SHALL COMPLY WITH AND ASB 108 AND ASB 4 THROUGH 410, AS APPLICABLE FOR TYPE OF TILE. SETTING MATERIALS, GROUT AND METHODS OF INSTALLATION INCLUDING COMPLY WITH MANUFACTURER'S INSTRUCTIONS FOR APPLICATION OF PROPRIETARY MATERIALS.
11.11 ALL WORKMANSHIP SHALL BE OF THE BEST QUALITY AND WHEN THE WORK IS COMPLETE, IT SHALL BE FREE FROM CRACKS, CRACKS, SOAKS, BLEMISHES OR OTHER DEFECTS. JOINTS SHALL BE KEPT IN ACCURATE ALIGNMENT ALONG BOTH COORDINATES. TILE HAVING CHIPPED OR ROUNDED EDGES SHALL BE REJECTED AND IF LAD, SHALL BE REMOVED AND REPLACED WITH "ACCEPTABLE" TILE.
11.12 TILE SHALL BE LAYED IN A SQUARE PATTERN UNLESS OTHERWISE SPECIFIED. UNLESS OTHERWISE NOTED ON THE DRAWINGS, THE TILE SHALL BE SECURED TO THE SUBSTRATE BY LAID OUT WITH 1/16" VIDE JOINTS. UNLESS OTHERWISE NOTED, THE ADHESIVE USED FOR SETTING THE TILE SHALL BE APPLIED PER MANUFACTURER'S INSTRUCTIONS TO PREVENT THE ADHESIVE TO REACH ITS INITIAL SET BUT NOT ITS FINAL SET.
11.13 THE CONTRACTOR SHALL CLEAN TILE IN ACCORDANCE WITH APPLICABLE ASB STANDARDS FOR STANDARDS FOR TYPE OF TILE AND METHOD OF INSTALLATION USED AND MANUFACTURER'S INSTRUCTIONS. JOINTS HEAVY KRAFT PAPER OR OTHER HEAVY PROTECTIVE COVERING TO PREVENT SURFACE DAMAGE AFTER INSTALLATION. REMOVAL SHALL BE AT THE DISCRETION OF ALAN BERNSTEIN ARCHITECTS.

PLANNING & ZONING

- OWNER:
George Younan
Managing Director
The Dome Center
c/o Pacific West Property Group
17042 Devonshire St., Suite 214
Northridge, CA 91325
T: (818) 588-9115 x101
C: (818) 523-7890
E: gyounan@pwpjnc.com
ARCHITECT:
Alan Bernstein, AIA + ASLA
5700 Corona Ave. Suite 200B
Westlake Village, CA 91362
T: 818 707 9215
F: 818 707 7266 E
alan@abarchitects.com
LANDSCAPE ARCHITECT:
Alan Bernstein, AIA + ASLA
5700 Corona Ave. Suite 200B
Westlake Village, CA 91362
T: 818 707 9215
F: 818 707 7266 E
alan@abarchitects.com

SCOPE OF WORK

- 1. NEW SINGLE STORY SHELL BUILDING FOR COFFEE BEAN
2. NEW 4" HIGH CONCRETE PAD
3. NEW 12 FT. WIDE DRIVE-THRU DRIVEWAY
4. NEW PLANTERS ON GRADE
5. NEW 8 FT. HIGH PLASTER WALLS
6. NEW EXTENDED CURB AT REAR PLANTER
7. NEW LANDSCAPE PLANTING AND IRRIGATION

DRAWING INDEX

Table with 2 columns: Drawing Number and Description. Includes entries for A0.0 COVER SHEET, NOTES, PROJECT SUMMARY, A1.0 AS-BUILT & DEMO SITE PLAN, etc.

FLOOR AREA GROSS

Table with 2 columns: Description and Area. Includes entries for BUILDING FOOTPRINT, EXCLUDING MECHANICAL & RESTROOMS, TOTAL.

FLOOR AREA NET

Table with 2 columns: Description and Area. Includes entries for ENTRY & DINING AREA, KITCHEN, TOTAL.

BACK AREAS

Table with 2 columns: Description and Area. Includes entries for RESTROOM HALLWAY, RESTROOMS, MECHANICAL ROOM, TOTAL.

INTERIOR SEATING

Table with 2 columns: Description and Area. Includes entries for PROPOSED SEATING AREA, PROPOSED SEATS.

LANDSCAPE AREA

Table with 2 columns: Description and Area. Includes entries for EXISTING PLANTING TO REMAIN, PROPOSED PLANTING, TOTAL.

OUTDOOR SEATING

Table with 2 columns: Description and Area. Includes entries for PROPOSED SEATING AREA, PROPOSED SEATS.

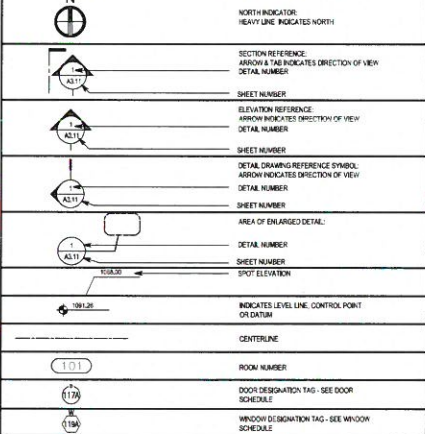
AREA MAP



VICINITY MAP



DRAWING SYMBOL LEGEND



GENERAL NOTES

- 6.00 CEILING
6.01 THE GENERAL CONTRACTOR SHALL PROVIDE AND INSTALL NEW AND/OR GYPSUM WALL BOARD HUNG OR DROPPED CEILING IN AREAS DESIGNATED ON ARCHITECT'S DRAWINGS.
6.02 FASCIA OR ANY BREAK IN THE CEILING HEIGHTS CREATED BY THE INSTALLATION OF HEATING VENTILATION AIR CONDITIONING OR MECHANICAL DUCTS, PIPING OR OTHER EQUIPMENT SHALL BE FINISHED BY OTHER TRADES AS REQUIRED BY THE BUILDING DEPARTMENT.
6.03 HUNG OR DROPPED CEILING HEIGHTS SHALL BE AS SHOWN ON ARCHITECT'S DRAWINGS AND DETAILS. ANY DEVIATION FROM HEIGHTS SHOWN SHALL BE SUBMITTED TO ARCHITECT FOR APPROVAL.
6.04 THE CONTRACTOR CEILING CONTRACTOR SHALL CLOSELY COORDINATE ITS WORK WITH THAT OF PLUMBING, HVAC AND ELECTRICAL CONTRACTORS WHEREVER THEIR RESPECTIVE WORK IS CONTIGUOUS.
6.05 THE CONTRACTOR SHALL PROVIDE AND INSTALL ALL CEILING ACCESS PANELS REQUIRED IN GYPSUM WALLBOARD OR PLASTER CEILING. SIZE & TYPE OF ACCESS DOOR SHALL BE APPROVED BY ARCHITECT PRIOR TO FURNISHING AND INSTALLATION.
6.06 PRIOR TO GROUNDING THE CEILING ALL PLUMBING SYSTEMS (PLUMBING & ELECTRICAL) SHALL BE INSPECTED AND WHERE REQUIRED, TESTED BY CONTRACTOR ENGINEERS, AND BY THE AUTHORITIES HAVING JURISDICTION TO INSURE THEIR PROPER INSTALLATION AND FUNCTION.

PROJECT DIRECTORY

- 11.06 MORTAR AND GROUT MATERIALS AND INSTALLATION SPECIFICATIONS & STANDARDS OF "THE TILE COUNCIL OF AMERICA, INC." APPLY TO ALL WORK, EXCEPT AS OTHERWISE NOTED.
11.07 THE CONTRACTOR SHALL PROVIDE "STANDARD GRADE" MATERIALS, UNLESS OTHERWISE NOTED.
11.08 THE CONTRACTOR SHALL PROVIDE ALL MATERIALS AS SPECIFIED ON ARCHITECT'S DRAWINGS.
11.09 PROVIDE MOVEMENT JOINTS, VERTICAL OR HORIZONTAL, AS SPECIFIED BY THE TILE COUNCIL OF AMERICA, INC.
11.10 THE CONTRACTOR SHALL COMPLY WITH AND ASB 108 AND ASB 4 THROUGH 410, AS APPLICABLE FOR TYPE OF TILE. SETTING MATERIALS, GROUT AND METHODS OF INSTALLATION INCLUDING COMPLY WITH MANUFACTURER'S INSTRUCTIONS FOR APPLICATION OF PROPRIETARY MATERIALS.
11.11 ALL WORKMANSHIP SHALL BE OF THE BEST QUALITY AND WHEN THE WORK IS COMPLETE, IT SHALL BE FREE FROM CRACKS, CRACKS, SOAKS, BLEMISHES OR OTHER DEFECTS. JOINTS SHALL BE KEPT IN ACCURATE ALIGNMENT ALONG BOTH COORDINATES. TILE HAVING CHIPPED OR ROUNDED EDGES SHALL BE REJECTED AND IF LAD, SHALL BE REMOVED AND REPLACED WITH "ACCEPTABLE" TILE.
11.12 TILE SHALL BE LAYED IN A SQUARE PATTERN UNLESS OTHERWISE SPECIFIED. UNLESS OTHERWISE NOTED ON THE DRAWINGS, THE TILE SHALL BE SECURED TO THE SUBSTRATE BY LAID OUT WITH 1/16" VIDE JOINTS. UNLESS OTHERWISE NOTED, THE ADHESIVE USED FOR SETTING THE TILE SHALL BE APPLIED PER MANUFACTURER'S INSTRUCTIONS TO PREVENT THE ADHESIVE TO REACH ITS INITIAL SET BUT NOT ITS FINAL SET.
11.13 THE CONTRACTOR SHALL CLEAN TILE IN ACCORDANCE WITH APPLICABLE ASB STANDARDS FOR STANDARDS FOR TYPE OF TILE AND METHOD OF INSTALLATION USED AND MANUFACTURER'S INSTRUCTIONS. JOINTS HEAVY KRAFT PAPER OR OTHER HEAVY PROTECTIVE COVERING TO PREVENT SURFACE DAMAGE AFTER INSTALLATION. REMOVAL SHALL BE AT THE DISCRETION OF ALAN BERNSTEIN ARCHITECTS.

PLANNING & ZONING

- OWNER:
George Younan
Managing Director
The Dome Center
c/o Pacific West Property Group
17042 Devonshire St., Suite 214
Northridge, CA 91325
T: (818) 588-9115 x101
C: (818) 523-7890
E: gyounan@pwpjnc.com
ARCHITECT:
Alan Bernstein, AIA + ASLA
5700 Corona Ave. Suite 200B
Westlake Village, CA 91362
T: 818 707 9215
F: 818 707 7266 E
alan@abarchitects.com
LANDSCAPE ARCHITECT:
Alan Bernstein, AIA + ASLA
5700 Corona Ave. Suite 200B
Westlake Village, CA 91362
T: 818 707 9215
F: 818 707 7266 E
alan@abarchitects.com

SCOPE OF WORK

- 1. NEW SINGLE STORY SHELL BUILDING FOR COFFEE BEAN
2. NEW 4" HIGH CONCRETE PAD
3. NEW 12 FT. WIDE DRIVE-THRU DRIVEWAY
4. NEW PLANTERS ON GRADE
5. NEW 8 FT. HIGH PLASTER WALLS
6. NEW EXTENDED CURB AT REAR PLANTER
7. NEW LANDSCAPE PLANTING AND IRRIGATION

DRAWING INDEX

Table with 2 columns: Drawing Number and Description. Includes entries for A0.0 COVER SHEET, NOTES, PROJECT SUMMARY, A1.0 AS-BUILT & DEMO SITE PLAN, etc.

FLOOR AREA GROSS

Table with 2 columns: Description and Area. Includes entries for BUILDING FOOTPRINT, EXCLUDING MECHANICAL & RESTROOMS, TOTAL.

FLOOR AREA NET

Table with 2 columns: Description and Area. Includes entries for ENTRY & DINING AREA, KITCHEN, TOTAL.

BACK AREAS

Table with 2 columns: Description and Area. Includes entries for RESTROOM HALLWAY, RESTROOMS, MECHANICAL ROOM, TOTAL.

INTERIOR SEATING

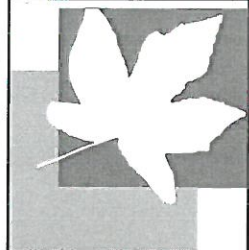
Table with 2 columns: Description and Area. Includes entries for PROPOSED SEATING AREA, PROPOSED SEATS.

LANDSCAPE AREA

Table with 2 columns: Description and Area. Includes entries for EXISTING PLANTING TO REMAIN, PROPOSED PLANTING, TOTAL.

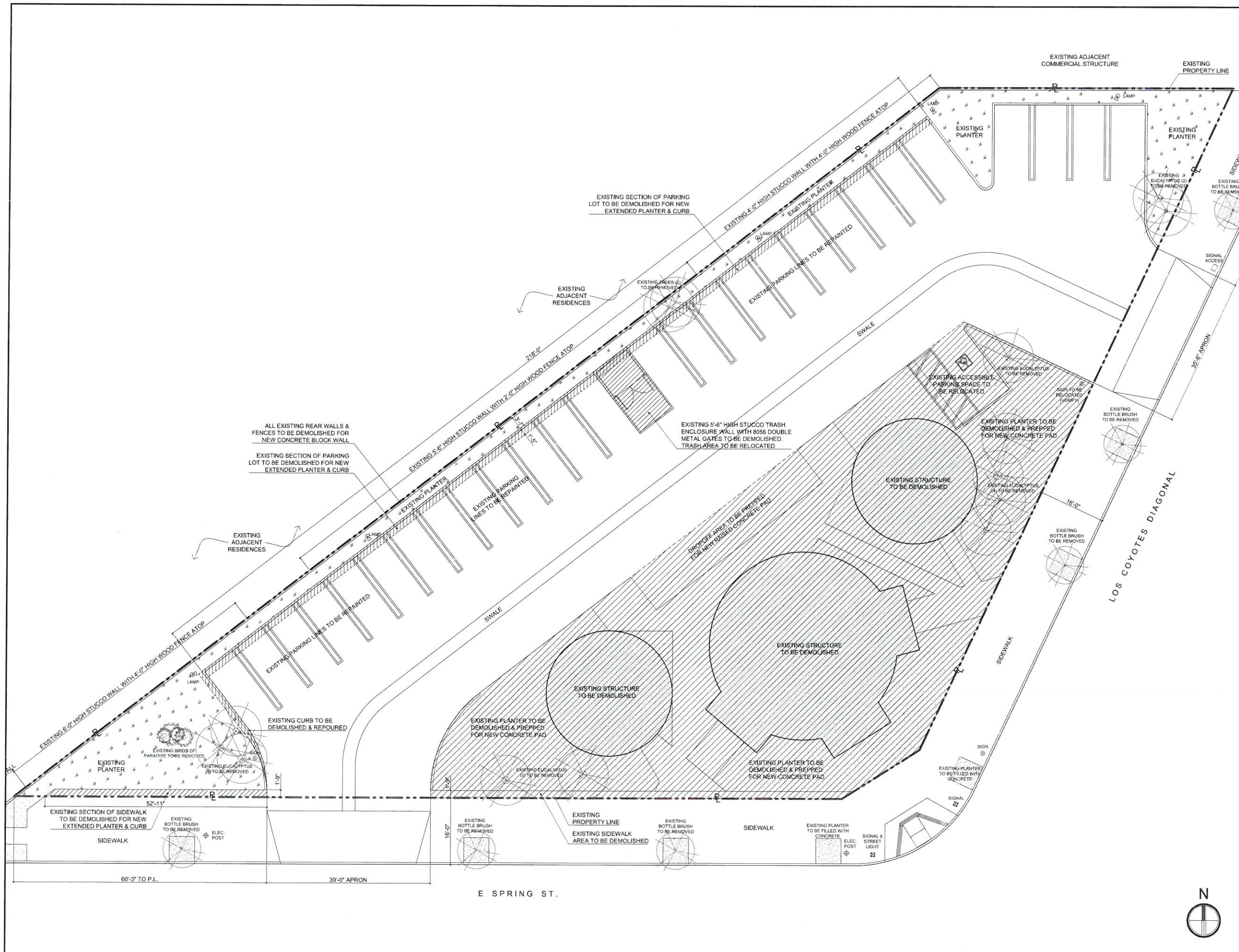
OUTDOOR SEATING

Table with 2 columns: Description and Area. Includes entries for PROPOSED SEATING AREA, PROPOSED SEATS.



ALAN BERNSTEIN, AIA + ASLA
 ARCHITECTS + LANDSCAPE ARCHITECTS
 5706 CORONA AVE. STE. 200 B
 WESTLAKE VILLAGE, CA 91362
 P. 818 707 9215
 F. 818 707 7266
 E. alan@abarchitects.com

These drawings, design concepts, specifications, and ideas are the property of Alan Bernstein, AIA + ASLA, Architects & Landscape Architects, and no part thereof shall be copied, disclosed to others or used in connection with any work or project except for the specific project indicated herein, and shall not be used unless personally endorsed on each drawing and all remunerations of agreement have been met.
 © 2017 Alan Bernstein, AIA + ASLA, Architects & Landscape Architects



06-16-17	Construction
05-16-17	Planning Update
05-15-17	Planning Submittal
Date:	Revision or Issue

OWNER
 MR. GEORGE YORIAN
 MANAGING DIRECTOR
 THE DOME CENTER
 C/O PACIFIC WEST PROPERTY GROUP
 1702 DEVONSHIRE ST., SUITE 214
 NORTHRIDGE, CA 91325
 email: gyorian@pwpacific.com
 OFFICE: (888) 588-9115 X 101
 MOBILE: (818) 523-7890

PROJECT
 PROPOSED SHELL
 BUILDING FOR:
 COFFEE BEAN
 5865 E SPRING ST
 LONG BEACH, CA 90808

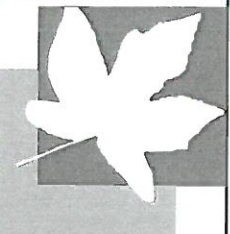
DRAWING
 AS-BUILT & DEMO
 SITE PLAN

Opus:	2	Dwg. No.	A1.0
Scale:	AS SHOWN	Date:	04.17.17

AS-BUILT & DEMO SITE PLAN

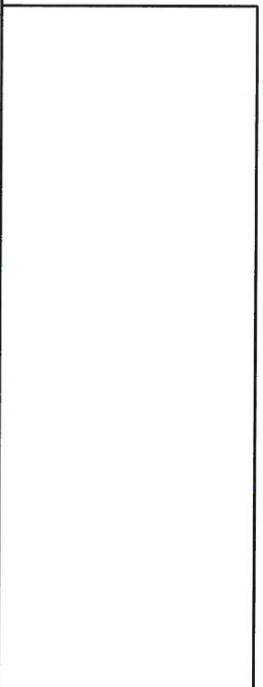
SCALE: 1/8" = 1'-0" 1





ALAN BERNSTEIN, AIA + ASLA
 ARCHITECTS + LANDSCAPE ARCHITECTS
 5708 CORSEA AVE. STE. 200-B
 WESTLAKE VILLAGE, CA 91362
 P. 818 707 9215
 F. 818 707 7266
 E. alan@abarchitects.com

These drawings, design concepts, specifications, and ideas are the property of Alan Bernstein, AIA + ASLA, Architects & Landscape Architects, and no part thereof shall be copied, disclosed to others or used in connection with any work or project except for the specific project indicated herein, and shall not be used unless personally endorsed on each drawing and all remunerations of agreement have been met.



06-20-17	Elevation Updates
06-16-17	Planning Updates
05-15-17	Planning Submittal
Date:	Revision or Issue

OWNER:
 MR. GEORGE YOUNAN
 MANAGING DIRECTOR
 THE DOME CENTER
 C/O PACIFIC WEST PROPERTY GROUP
 17042 DEVONSHIRE ST., SUITE 214
 NORTHRIIDGE, CA 91325
 EMAIL: gyoungan@pdwps.com
 OFFICE: (818) 588-9115 X.101
 MOBILE: (818) 523-7890

PROJECT:
 PROPOSED SHELL
 BUILDING FOR:
 COFFEE BEAN
 5865 E SPRING ST
 LONG BEACH, CA 90808

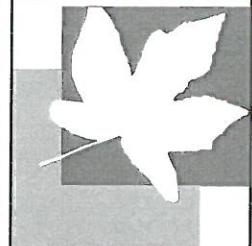
DRAWING:
 PROPOSED
 SITE PLAN

Opus:	2	Dwg. No.	A2.0
Scale:	AS SHOWN	Date:	04-17-17

PROPOSED SITE PLAN

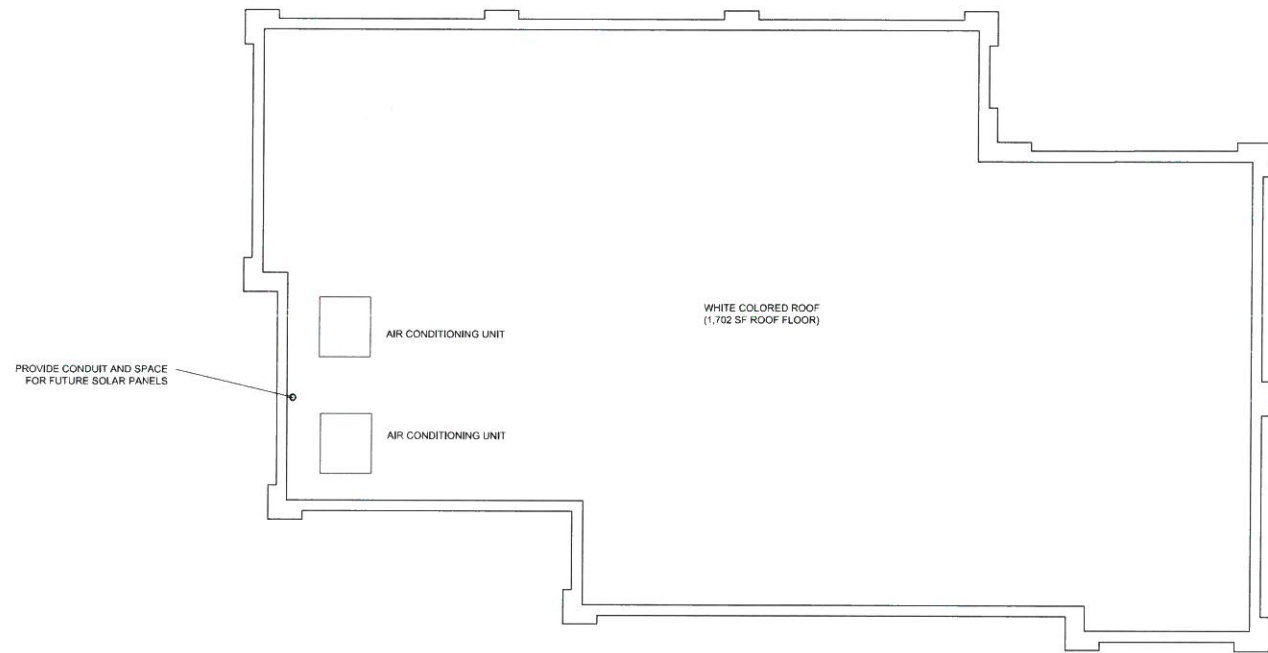
SCALE: 1/8" = 1'-0" 1





ALAN BERNSTEIN, AIA + ASLA
 ARCHITECTS + LANDSCAPE ARCHITECTS
 8706 CORBA AVE. STE. 200-B
 WESTLAKE VILLAGE, CA 91362
 P. 818 707 9215
 F. 818 707 7266
 E. alan@abarchitects.com

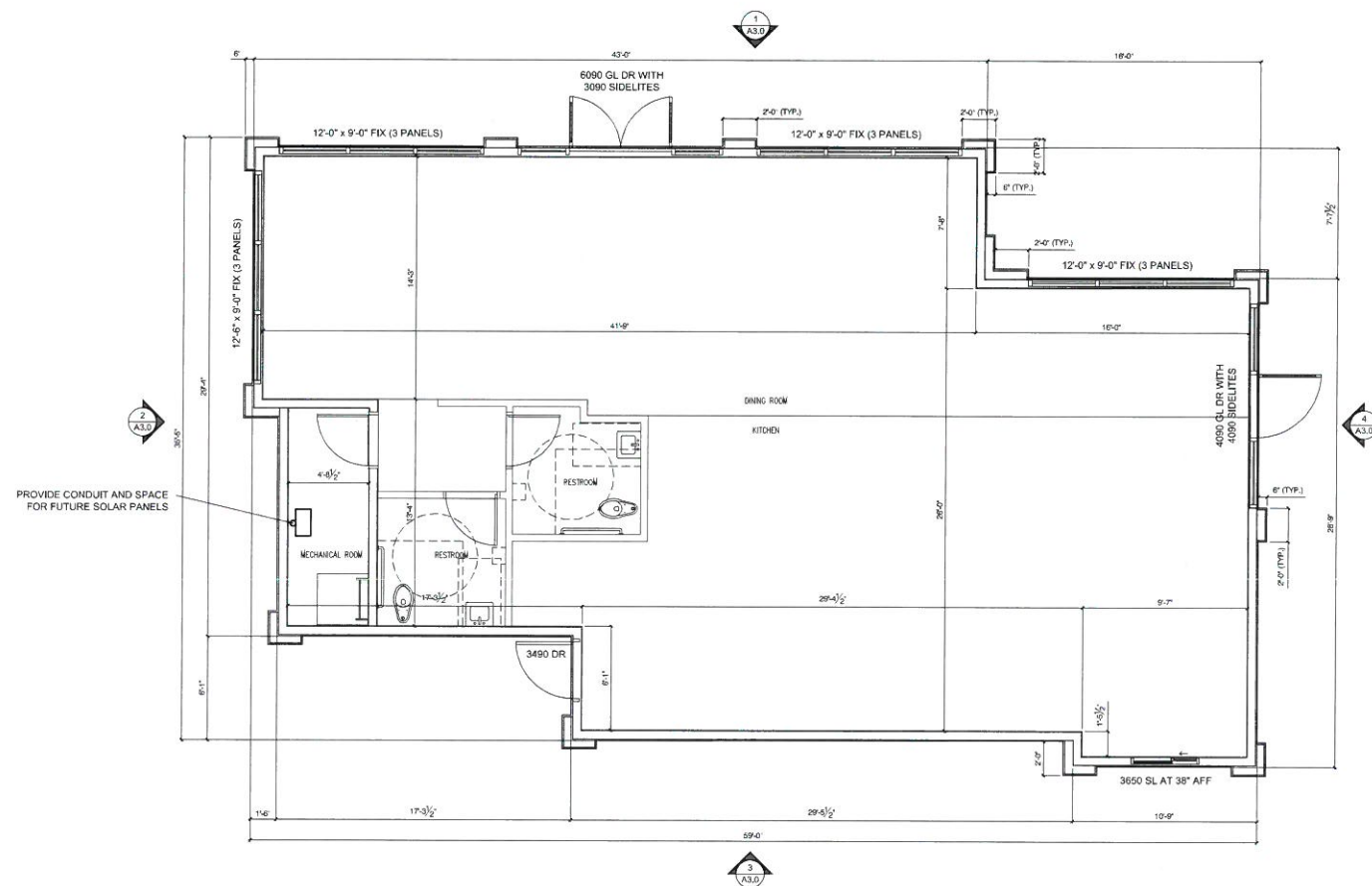
These drawings, design concepts, specifications, and ideas are the property of Alan Bernstein, AIA + ASLA, Architects & Landscape Architects, and no part thereof shall be copied, disclosed to others or used in connection with any work or project except for the specific project indicated herein, and shall not be used unless personally endorsed on each drawing and all remunerations of agreement have been met.
 © 2017 Alan Bernstein, AIA + ASLA, Architects & Landscape Architects.



PROPOSED ROOF PLAN

SCALE: 1/4" = 1'-0"

2



PROPOSED FLOOR PLAN

SCALE: 1/4" = 1'-0"

1

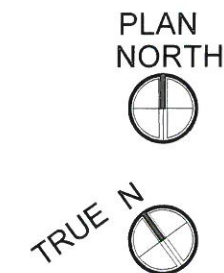
06-16-17	Planning Updates
05-15-17	Planning Submittal
Date:	Revision of Issue

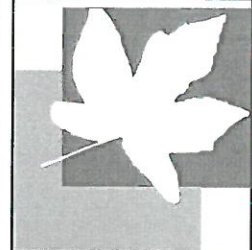
OWNER:
 MR. GEORGE YOUNAN
 MANAGING DIRECTOR
 THE DOME CENTER
 CO PACIFIC WEST PROPERTY GROUP
 17042 DEVONSHIRE ST., SUITE 214
 NORTHRIDGE, CA 91325
 email: younan@pwpacific.com
 OFFICE: (888) 688-9115 X 101
 MOBILE: (818) 523-7890

PROJECT:
 PROPOSED SHELL
 BUILDING FOR:
 COFFEE BEAN
 5865 E SPRING ST
 LONG BEACH, CA 90808

DRAWING:
 PROPOSED BUILDING
 FLOOR & ROOF PLANS

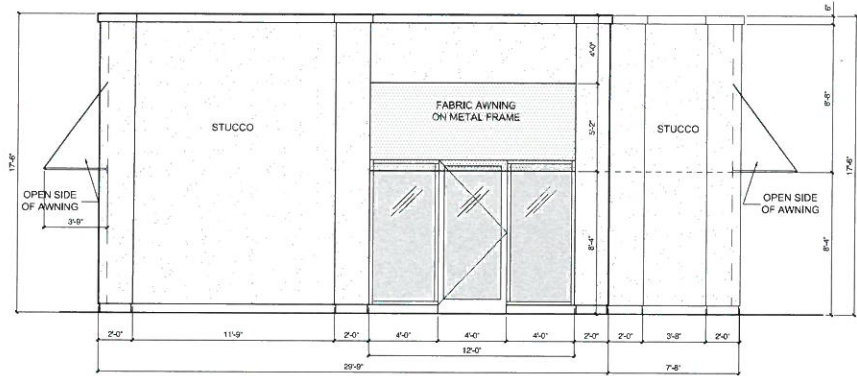
Opus: 2	Dwg. No. A2.1
Scale: AS SHOWN	Date: 04-17-17





ALAN BERNSTEIN, AIA + ASLA
 ARCHITECTS + LANDSCAPE ARCHITECTS
 5706 CORBA AVE, STE. 200-B
 WESTLAKE VILLAGE, CA 91362
 P. 818 707 9215
 F. 818 707 7266
 E. alan@abarchitects.com

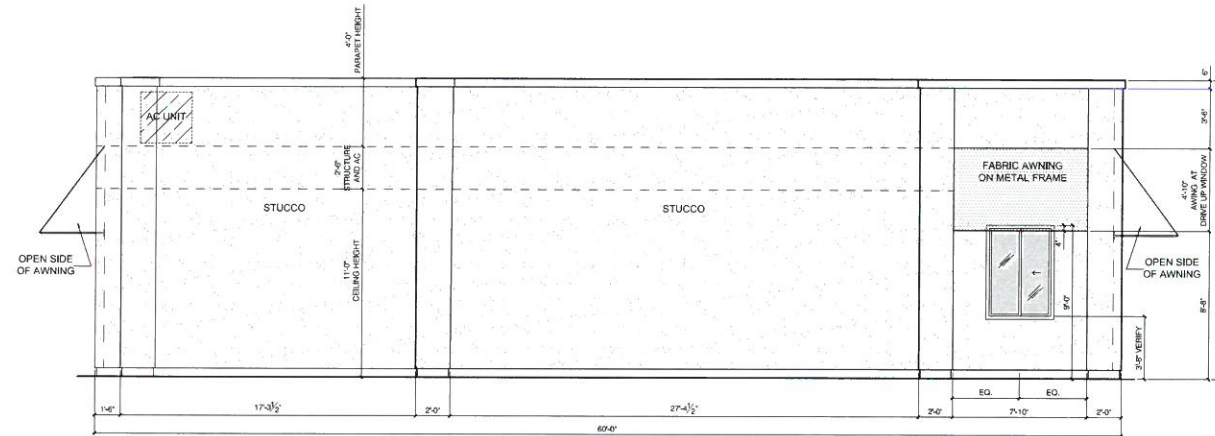
These drawings, design concepts, specifications, and ideas are the property of Alan Bernstein, AIA + ASLA, Architects & Landscape Architects, and no part thereof shall be copied, disclosed to others or used in connection with any work or project except for the specific project indicated herein, and shall not be used unless personally endorsed on each drawing and all remunerations of agreement have been met.
 © 2017 Alan Bernstein, AIA + ASLA, Architects & Landscape Architects



EAST ELEVATION

SCALE: 1/4" = 1'-0"

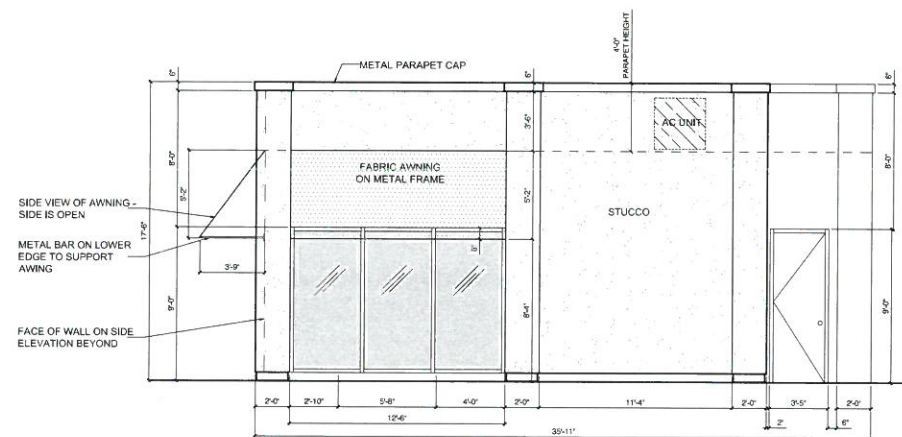
4



SOUTH ELEVATION

SCALE: 1/4" = 1'-0"

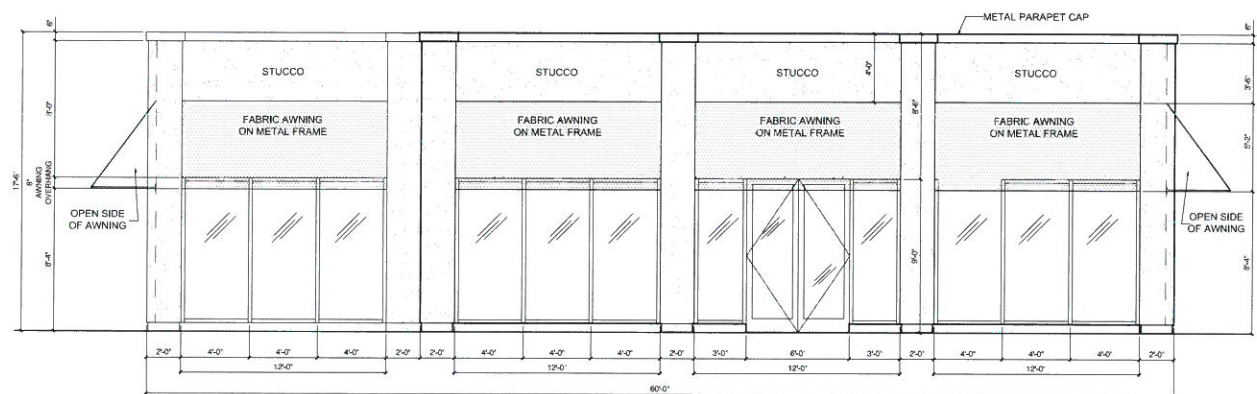
3



WEST ELEVATION

SCALE: 1/4" = 1'-0"

2



NORTH ELEVATION

SCALE: 1/4" = 1'-0"

1

05-15-17	Planning Update
05-15-17	Planning Submittal
Date:	Revision or Issue

OWNER:

MR. GEORGE YOUNAN
 MANAGING DIRECTOR
 THE DOME CENTER
 CO PACIFIC WEST PROPERTY GROUP
 1704 DEVONSHIRE ST., SUITE 214
 NORTHRIDGE, CA 91325
 email: younan@pacific.com
 OFFICE: (888) 588-9115 X 101
 MOBILE: (818) 523-7890

PROJECT:

PROPOSED SHELL
 BUILDING FOR:
 COFFEE BEAN
 5865 E SPRING ST
 LONG BEACH, CA 90808

DRAWING:

PROPOSED BUILDING
 ELEVATIONS

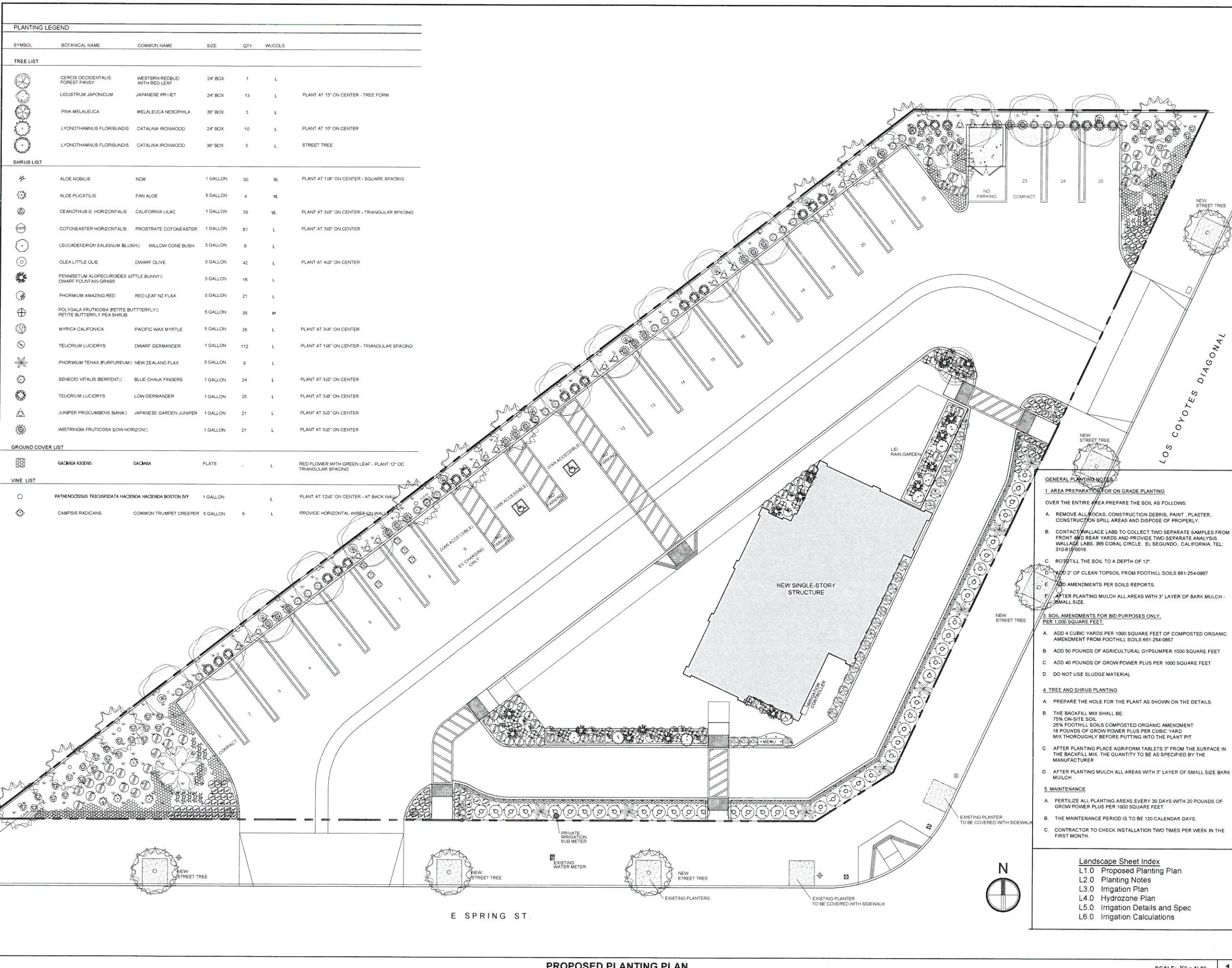
Opus: 2

Draw. No.

A2.2

Scale: AS SHOWN

Date: 04-17-17



PLANTING LEGEND					
SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	QTY	WUCOLS
TREE LIST					
	CERCIS OCCIDENTALIS	WESTERN REDBUD WITH RED LEAF	24" BOX	1	L
	LIGUSTRUM JAPONICUM	JAPANESE PRIVET	24" BOX	13	L
	PINK MELALEUCA	MELALEUCA NESOPHILA	36" BOX	3	L
	LYONOTHAMNUS FLORIBUNDUS	CATALINA IRONWOOD	24" BOX	10	L
	LYONOTHAMNUS FLORIBUNDUS	CATALINA IRONWOOD	36" BOX	5	L
SHRUB LIST					
	ALOE NOBILIS	NCM	1 GALLON	30	VL
	ALOE Plicatilis	FAN ALOE	5 GALLON	4	VL
	CEANOTHUS G. HORIZONTALIS	CALIFORNIA LILAC	1 GALLON	39	VL
	COTONEASTER HORIZONTALIS	PROSTRATE COTONEASTER	1 GALLON	81	L
	LEUCADENDRON SALIGNUM BLUSH	WILLOW CONE BUSH	5 GALLON	8	L
	OLEA LITTLE OLE	DWARF OLIVE	5 GALLON	42	L
	PENNISETUM ALOPECUROIDES LITTLE BUNNY	DWARF FOURTAIN GRASS	5 GALLON	16	L
	PHORMIUM AMAZING RED	RED LEAF NZ FLAX	5 GALLON	21	L
	POLYGALA FRUTICOSA PETITE BUTTERFLY	PETITE BUTTERFLY PEA SHRUB	5 GALLON	39	M
	MYRICA CALIFORNICA	PACIFIC WAX MYRTLE	5 GALLON	26	L
	TEUCRIUM LUCIDRYS	DWARF GERMANDER	1 GALLON	112	L
	PHORMIUM TENAX BURPUREUM	NEW ZEALAND FLAX	5 GALLON	9	L
	SENECIO VITALIS SERPENTI	BLUE CHALK FINGERS	1 GALLON	24	L
	TEUCRIUM LUCIDRYS	LOW GERMANDER	1 GALLON	25	L
	JUNIPER PROCUMBENS NANA	JAPANESE GARDEN JUNIPER	1 GALLON	21	L
	WISTRINGIA FRUTICOSA LOW HORIZON		1 GALLON	21	L
GROUND COVER LIST					
	GAOLMIA RIGENS	GAOLMIA	FLATS	-	L
VINE LIST					
	PATHENOCISSUS TRICUSPIDATA HACIENDA	HACIENDA BOSTON IVY	1 GALLON	-	L
	CAMPSIS RADICANS	COMMON TRUMPET CREEPER	5 GALLON	6	L

GENERAL PLANTING NOTES

1. AREA PREPARATION FOR ON GRADE PLANTING

OVER THE ENTIRE AREA PREPARE THE SOIL AS FOLLOWS:

A. REMOVE ALL ROCKS, CONSTRUCTION DEBRIS, PAINT, PLASTER, CONSTRUCTION SPILL AREAS AND DISPOSE OF PROPERLY.

B. CONTACT WALLACE LABS TO COLLECT TWO SEPARATE SAMPLES FROM FRONT AND REAR YARDS AND PROVIDE TWO SEPARATE ANALYSIS. WALLACE LABS, 385 CORAL CIRCLE, EL SEGUNDO, CALIFORNIA, TEL: 310-615-0016.

C. ROTOTILL THE SOIL TO A DEPTH OF 12".

D. ADD 2" OF CLEAN TOPSOIL FROM FOOTHILL SOILS 661-254-0867

E. ADD AMENDMENTS PER SOILS REPORTS.

F. AFTER PLANTING MULCH ALL AREAS WITH 3" LAYER OF BARK MULCH - SMALL SIZE.

3. SOIL AMENDMENTS FOR BID PURPOSES ONLY, PER 1,000 SQUARE FEET:

A. ADD 4 CUBIC YARDS PER 1000 SQUARE FEET OF COMPOSTED ORGANIC AMENDMENT FROM FOOTHILL SOILS 661-254-0867

B. ADD 50 POUNDS OF AGRICULTURAL GYPSUM PER 1000 SQUARE FEET

C. ADD 40 POUNDS OF GROW POWER PLUS PER 1000 SQUARE FEET

D. DO NOT USE SLUDGE MATERIAL.

4. TREE AND SHRUB PLANTING

A. PREPARE THE HOLE FOR THE PLANT AS SHOWN ON THE DETAILS

B. THE BACKFILL MIX SHALL BE:
75% ON-SITE SOIL
25% FOOTHILL SOILS COMPOSTED ORGANIC AMENDMENT
18 POUNDS OF GROW POWER PLUS PER CUBIC YARD
MIX THOROUGHLY BEFORE PUTTING INTO THE PLANT PIT

C. AFTER PLANTING PLACE AGRIFORM TABLETS 3" FROM THE SURFACE IN THE BACKFILL MIX. THE QUANTITY TO BE AS SPECIFIED BY THE MANUFACTURER

D. AFTER PLANTING MULCH ALL AREAS WITH 3" LAYER OF SMALL SIZE BARK MULCH.

5. MAINTENANCE

A. FERTILIZE ALL PLANTING AREAS EVERY 30 DAYS WITH 20 POUNDS OF GROW POWER PLUS PER 1000 SQUARE FEET

B. THE MAINTENANCE PERIOD IS TO BE 120 CALENDAR DAYS.

C. CONTRACTOR TO CHECK INSTALLATION TWO TIMES PER WEEK IN THE FIRST MONTH.

ALAN BERNSTEIN, AIA + ASLA
 ARCHITECTS + LANDSCAPE ARCHITECTS
 5706 CORBA AVE, STE. 200-B
 WESTLAKE VILLAGE, CA 91362
 P. 818 707 9215
 F. 818 707 7266
 E. alan@abarchitects.com

These drawings, design concepts, specifications, and ideas are the property of Alan Bernstein, AIA + ASLA, Architects & Landscape Architects, and no part thereof shall be copied, disclosed to others or used in connection with any work or project except for the specific project indicated herein, and shall not be used without personal endorsement on each drawing and all remunerations of agreement have been met.

© 2017 Alan Bernstein, AIA + ASLA, Architects & Landscape Architects

THE LANDSCAPE ARCHITECT HAS COMPLIED WITH THE CRITERIA OF THE ORDINANCE AND APPLIED THEM FOR THE EFFICIENT USE OF WATER IN THE LANDSCAPE DESIGN PLANS.

TOTAL PLANTING AREA = 4,324 SF
 LOT AREA = 24,164 SF
 PLANTING AREA OF SITE = 18.0 %

THE LANDSCAPE CONTRACTOR SHALL AGREE TO COMPLY WITH THE REQUIREMENTS OF THE WATER EFFICIENT LANDSCAPE ORDINANCE AND SUBMIT A COMPLETE LANDSCAPE DOCUMENTATION PACKAGE.

CITY OF LONG BEACH PLAN NOTES FOR INCLUSION

Recirculating water systems shall be used for water features.

A minimum 3-inch layer of mulch shall be applied on all exposed soil surfaces of planting areas except turf areas, creeping or rooting groundcovers, or direct seeding applications where mulch is contraindicated.

For soils less than 6% organic matter in the top 6 inches of soil, compost at a rate of a minimum of four cubic yards per 1,000 square feet of permeable area shall be incorporated to a depth of six inches into the soil.

Pressure regulating devices are required if water pressure is below or exceeds the recommended pressure of the specified irrigation devices.

Check valves or anti-drain valves are required on all sprinkler heads where low point drainage could occur.

A diagram of the irrigation plan showing hydro zones shall be kept with the irrigation controller for subsequent management purposes.

A Certificate of Completion (Attachment 2) shall be filled out and certified by either the designer or the landscape plans, irrigation plans, or the licensed landscape contractor for the project. An irrigation audit report shall be completed at the time of final inspection.

	Alan Bernstein
06-28-17	Elevation Updates
06-16-17	Planning Updates
05-15-17	Planning Submittal
Date:	Revision or Issue

OWNER

MR. GEORGE YOUNAN
 MANAGING DIRECTOR
 THE DOME CENTER
 CIO PACIFIC WEST PROPERTY GROUP
 17042 DEWBERRY ST., SUITE 214
 NORTH RIDGE, CA 91325
 email: ayounan@pacificwest.com
 OFFICE: (888) 688-9115 X 101
 MOBILE: (818) 523-7890

PROJECT:

PROPOSED SHELL BUILDING FOR COFFEE BEAN
 5865 E SPRING ST
 LONG BEACH, CA 90808

DRAWING

PROPOSED PLANTING PLAN

Opus:	2	Dwg. No.:	L1.0
Scale:	AS SHOWN	Date:	04-17-17

