



CITY OF LONG BEACH

CH-1

DEPARTMENT OF PLANNING & BUILDING

333 WEST OCEAN BOULEVARD • LONG BEACH, CALIFORNIA 90802 • (562) 570-6194 FAX (562) 570-6068

ZONING DIVISION

February 19, 2004

CHAIRMAN AND PLANNING COMMISSIONERS

City of Long Beach
California

SUBJECT: Request for a Local Coastal Development Permit, Vesting Tentative Parcel Map No. 060880, and Standards Variance to Construct a Two-Unit, Four-Story Condominium on a Vacant Lot with the Following Code Exceptions: a Garage Setback of 9'0" from the Front Property Line (Instead of 20'0"), a Front Yard Setback of 2'9" (Instead of 8'0"), and a 32'4" Wide Curb Cut (Instead of not more than 20'0") (District 2)

LOCATION: 1720 Bluff Place

APPLICANT: Paul Anile
c/o Bozena Jaworski of RPP Architects & Assoc. Inc.
3837 E 7th Street
Long Beach, CA 90804

RECOMMENDATION

Approve the Local Coastal Development Permit, Vesting Tentative Parcel Map No. 060880 and Standards Variance requests for a reduced garage setback, reduced front yard setback and oversized curb cut, subject to conditions.

REASONS FOR RECOMMENDATION

1. The subdivision, as conditioned is consistent with the requirements of the Subdivision Regulations and the intent of the Land Use Element of the General Plan;
2. The project is consistent with the Local Coastal Development Plan;
3. Positive findings can be made to grant the Standards Variance requests given the unique size, shape and topography of the lot; and
4. Approval of the subdivision will allow for increased home ownership opportunities in the Coastal Zone.

BACKGROUND

The subject site is a vacant 2,130 square foot lot located on the south side of Bluff Place, between 11th and 12th Place. Access is provided via Bluff Place, a 30'0" wide public street that dead-ends at the toe of the bluff. The lot is currently vacant and is one of four parcels on this block face.

The applicant is proposing construction of a two-unit, four story condominium and four-car garage on a vacant ocean front lot.

Adjacent land uses include multifamily residential to the north (across Bluff Place), a four story single family home to the east approved by the Planning Commission January 15, 2004 (Case No. 0309-12), the beach to the south, and a four story duplex to the west.

The following table provides a summary of the Zoning, General Plan, and land uses surrounding the subject site:

	ZONING	GENERAL PLAN	LAND USE
SITE	PD-5	LUD #4 High Density Res.	Vacant
NORTH	PD-5	LUD #4 High Density Res.	Multifamily Residential
SOUTH	P	LUD # 11 Open Space/Park	Beach
EAST	PD-5	LUD #4 High Density Res.	Single Family Residential (Proposed)
WEST	PD-5	LUD #4 High Density Res.	Duplex Residential

A parking analysis for the project is as follows:

Parking Required	Parking Provided
4	4

PROJECT DESCRIPTION

This project involves the construction of a two-unit four-story condominium and four-car garage. The first floor consists of living area and open deck for unit A, with a bedroom and bathroom on the second floor. The second floor (located at the grade of Bluff Place) also contains a four-car garage and foyer for unit B. The third floor contains the dining room, kitchen, living room and open deck for unit B with the bedrooms and bathrooms for unit B located on the fourth floor. Unit A is approximately 1,500 square feet and Unit B 2,300 square feet. Each unit will be assigned two garage parking spaces.

The property is located in the Ocean Boulevard Planned Development District (PD-5), Subarea 2. This multifamily residential district permits building to be constructed at a height of four stories and 45' above Ocean Boulevard grade. The proposed duplex is approximately 15.5' above the grade of the top of the bluff (12th Place). Another special standard is that any portion of the building south of the shoulder of the bluff shall be terraced to reflect the sloping nature of the bluff. This involves setting back the upper stories of the building. The proposed development complies with the density, height and number of parking spaces; however, variances are required for the following development standards:

- A garage setback of 9'0" (instead of 20'0");
- A front yard setback of 2'9" (instead of 8'0"); and
- A curb cut of 32'4" (instead of not more than 20'0).

All three of the other residential buildings on Bluff Place have been granted standards variance requests for the garage setback due to the shallow lot depths and oversized curb cuts to allow access to more than two side by side parking spaces. Additionally, variances have been granted for reduced front yard setbacks for two of the other residential buildings on this street.

CURRENT ACTION REQUESTED

The current action requested is the approval of a Local Coastal Development Permit, Vesting Tentative Parcel Map No. 060880, and three Standards Variance requests.

Such requests may be granted only when favorable findings, as specified in Section 21.12.100 (Subdivision Regulations) and Chapter 21.25. (Zoning Regulations) are made. These findings and staff analysis are presented for consideration, adoption and incorporation into the record of proceedings:

LOCAL COASTAL DEVELOPMENT PERMIT FINDINGS

Pursuant to Chapter 21.25, Division IX of the Long Beach Municipal Code, the City shall not approve a Local Coastal Development Permit unless positive findings are made consistent with the criteria set forth in the Local Coastal Development Permit regulations.

- 1. THE PROPOSED DEVELOPMENT CONFORMS TO THE CERTIFIED LOCAL COASTAL PROGRAM INCLUDING BUT NOT LIMITED TO ALL REQUIREMENTS FOR REPLACEMENT OF LOW AND MODERATE-INCOME HOUSING; AND**

A positive finding can be made for this item.

The site is located in Area A (The Bluffs) of the Local Coastal Plan. The zoning designation for this site is the Ocean Boulevard Planned Development District (PD-5), subarea 2. This subarea is designated for multifamily residential development with a density of up to 54 dwelling units per acre. The subject site,

a 2,130 square foot lot, would allow two dwelling units. The applicant is proposing a four-level duplex and a four-car garage. The home is three stories high measured from Bluff Place and four stories from the beach.

The proposed home is consistent with the density, parking and height requirements of the zone. Standards Variance requests have been submitted for a reduced front yard setback, oversized curb cut, and reduced garage setback.

2. THE PROPOSED CONFORMS TO THE PUBLIC ACCESS AND RECREATION POLICIES OF CHAPTER 3 OF THE COASTAL ACT. THE SECOND FINDING APPLIES ONLY TO DEVELOPMENT LOCATED SEAWARD OF THE NEAREST PUBLIC HIGHWAY TO THE SHORELINE.

A positive finding can be made for this item.

Chapter 3 of the Coastal Act deals with the public's right to use of beach and water resources for recreational purposes. The chapter provides the basis for state and local governments to require beach access dedication and to prohibit development which restricts public access to the beach and/or water resources. A stairway is provided at the end of 11th Place for public access to the beach. The variance requests as currently proposed will not reduce access or views to the beach.

The site is located south of Bluff Place with frontage on the beach. The proposed duplex will not block public access to the beach or recreational resources. The home has been approved with a reduced front yard and garage setback, and to exceed the permitted curb cut width. PD-5 allows a height of four stories and 45' above Ocean Boulevard grade, but also requires any building south of the toe of the bluff to be terraced to reflect the sloping nature of the bluff. The building height complies with this standard.

Additionally, as required by the Planned Development Regulations, the developer will be contributing funds (1/2 of 1% of the value of the development) for bluff improvements for general access along the bluff area.

STANDARDS VARIANCE FINDINGS

Pursuant to Chapter 21.25, Division III of the Long Beach Municipal Code, the variance procedure is established to allow for flexibility in the Zoning Regulations. This flexibility is necessary to because not all circumstances relative to all lots can be foreseen and evaluated in the writing of such regulations. In order to prevent abuse of this flexibility, certain findings of fact must be made before any variance can be granted. These findings have been incorporated in the Long Beach Municipal Code.

A. The site or the improvements on the site are physically unique when compared to other sites in the same zone.

The site is physically unique due to its shape, size and slope when compared to other sites in PD-5. The site is approximately 2,130 square feet in area with a depth of 36.5' to 41' and a slope of up to seventeen feet from front to back and of up to five feet from side to side. It is the third lot located on Bluff Place with the beach to the south, a vacant lot to the east, and an existing duplex to the west. This site is also the second smallest of the four lots located on the south side of Bluff Place. These four lots are all unique when compared to other site in PD-5, which are predominately large sites from 10,000 square feet to over to an acre, with frontage on Ocean Boulevard and the beach. Many of these sites have been developed with multifamily high-rise or mid-rise developments. Although the site is similar to three other lots on Bluff Place, it is very unique when compared to other site in the Ocean Boulevard Planned Development District.

- B. The unique situation causes the applicant to experience hardship that deprives the applicant of a substantial right to use of the property as other properties in the same zone are used and will not constitute a grant of special privilege inconsistent with limitations imposed on similarly zoned properties or inconsistent with the purpose of the zoning regulations.**

The unique lot size, shape and topography create a hardship in developing this site in strict compliance with the zoning regulations. Similar findings of hardship have been found for adjacent lots on Bluff Place including:

- In 1989 1710 & 1718 Bluff Place, was developed with a four story, two-unit residence (Case 486-86) with two floors above Bluff Place and two below the grade of Bluff Place.
- The first lot at the top of Bluff Place (1700 Bluff Place) was approved by the City Planning Commission for construction of a five-story, two-unit condominium (Case No 0308-06) with three floors above Bluff Place and two below grade. This approval included a request for a Subdivision Map, Local Coastal Development Permit, and Standards Variances. The variance requests were for a reduced street side yard setback from 11th Place, a reduced front yard setback, oversized curb cut, reduced garage setback, projections into the side yard setback and a request to not terraced the first three floors of the building. The applicant's requests for a reduced garage setback and oversized curb cut width are similar to those approved for the other three lots on Bluff Place.
- Lastly, the Planning Commission approved a local coastal permit and standards variance for the last lot on Bluff Place (1724 Bluff Place) on January 15, 2004 (Case No. 0309-12) for a four story single family home with a reduced garage setback, reduced front yard setback, oversized curb cut, reduced street side yard setback and to exceed the lot coverage.

The lot depth prohibits compliance with the garage setback. Therefore, if this variance was not granted the property development may be impractical. Additionally, the other three sites have also been granted reduced garage setbacks and oversized curb cut widths.

The request for the reduced front yard setback is for a small portion of the home. The first floor or basement is not visible and located below the garage. Additionally, 3'3" of the first is not living area but an enclosed drainage service area for the home. The second floor complies with the required 8'0" front yard setback and the third and fourth floors have varying setbacks from 10'2" to 5'10" with a small portion of the building at the northeast corner encroaching into the front.

The unique size and shape of the lot creates a need for slight deviations from the Zoning Requirements. The intent of a Standards Variance is to allow a substantial right to use of the property as other properties in the same zone are used and will not constitute a grant of special privilege. Approval of an oversized curb cut, reduced front and garage setback, are similar to other exceptions granted to the adjacent property. The intent of this recommendation is to grant this property owner the same rights enjoyed by the neighboring property owner on a similar size lot with similar characteristics. The following discussion presents the Standards Variances requested and staff response:

- Building front yard setback of 2'9" (instead of not less than 8');

Staff recommends this request be approved. The 2'9" front setback is for the first floor only for a drainage service wall. The building wall has a 6'0" setback. The second floor at Bluff Place grade complies with the 8'0" front setback and the third and fourth floor have an average setback of 8'0" however, the northeast corner of the building projects into the front setback 2'2". This is a minor encroachment and the majority of the building complies with the required setback.

- Curb cut width of 32'4" (instead of not more than 20');

Staff recommends approval of the wider curb cut to provide access to four independently accessible side-by-side parking spaces.

- Reduced garage setback from the front property line (instead of 20');

Due to the shallow lot depth of approximately 36.5 to 41' a reduced garage setback enjoyed by the neighboring property owner, approval is recommended for this request. The Public Works Department does have concerns regarding the parking of vehicles over the sidewalk due to the garage setback therefore a condition has been added to address this concern

C. The variance will not cause substantial adverse effects upon the community; and

The variance request for the garage setback, reduced front setback and curb cut width are not expected to cause any adverse effects upon the community. These

rights are currently enjoyed by the other three sites on Bluff Place and are similar to previous approvals granted for similar sized lots.

- D. In the Coastal Zone, the variance will carry out the local coastal program and will not interfere with physical, visual and psychological aspects to or along the coast.**

The project is located in the Coastal Zone. These findings are attached.

TENTATIVE TRACT MAP FINDINGS

Pursuant to Section 20.12.100 of the Long Beach Municipal Code, the Planning Commission shall approve a tentative map if it complies with State and Local regulations. The tentative map can be granted only when positive findings are made consistent with the following criteria set forth in the Subdivision regulations.

- A. That the proposed map is consistent with applicable general and specific plans;**

The subject site is currently located in an area of a General Plan designated as LUD #4 – High Density Residential District which encourages dense residential development. This development is consistent with the Land Use Element.

The specific plan is the Ocean Boulevard Planned Development District (PD-5). This development, with the exception of the variance request, is consistent with the zoning regulations and development standards outlined therein.

- B. That the design or improvement of the proposed subdivision is consistent with applicable general and specific plans;**

The design and improvement of the proposed subdivision has been determined to be consistent with the Land Use Element and General Plan as multifamily development and the zoning regulations (PD-5), with the exception of the Standard Variance requests.

- C. That the site is physically suitable for the type of development;**

The site is physically suitable for this type of development. Due to the extreme slope of the property there may be difficulty in complying with all the development standards of PD-5.

- D. That the site is physically suitable for the proposed density of development;**

The permitted density in this subarea of the Planned Development District is 806.6 square feet per unit. This 2,130 square feet lot allows two dwelling units.

- E. The design of the subdivision or the proposed improvements are not likely to cause substantial environmental damage or substantial and avoidable injury to fish and wildlife or their habitat;**

No adverse impacts are anticipated if the project is redesigned to comply with the development standards of PD-5, with the exception of the Standards Variance request.

- F. That the design of the subdivision or the type of improvement is not to cause serious public health or safety problems; and**

The proposed subdivision for the purpose of creating three residential condominiums on an exiting ocean front lot is not likely to cause serious public health or safety problems.

- G. The design of the subdivision or the type of improvements will not conflict with easements acquired by the public at large for access through or use of property within the proposed subdivision.**

The tentative tract map has been reviewed by all concerned City departments and it has been found that the design and improvements of the site will not conflict with public access easements. All required easements and utility locations will be provided for prior to the recordation of the final map. There are no easements required by the public at large for access through, or for the use of the property.

PUBLIC HEARING NOTICE

392 Notices of Public Hearing were mailed on February 3, 2004, to those property owners within the three hundred (300) foot mailing radius, tenants within a one hundred (100) radius, the Alamitos Beach Neighborhood Association, and the elected representative of the Second District.

REDEVELOPMENT REVIEW

The project is not located in a Redevelopment Project Area.

ENVIRONMENTAL REVIEW

The proposed action has been determined to be categorically exempt from the requirements of the California Environmental Quality Act and the CEQA Guidelines. A Categorical Exemption (CE 03-247) was issued December 29, 2003 under a Class 3 exemption (CEQA Guidelines Section 15303) for minor land divisions.

CHAIRMAN AND PLANNING COMMISSIONERS

CASE NO. 0312-22

February 19, 2004

Page 9


IT IS RECOMMENDED THAT THE PLANNING COMMISSION

Approve the Local Coastal Development Permit, Vesting Tentative Parcel Map No. 060880 and Standards Variance requests for a reduced garage setback, reduced front yard setback and oversized curb cut, subject to conditions

Respectfully submitted,

FADY MATTAR,
ACTING DIRECTOR OF PLANNING AND BUILDING

By: 
LYNETTE FERENCZY
PLANNER IV

Approved: 
GREG CARPENTER
ZONING ADMINISTRATOR

Attachments:

1. Conditions of Approval;
2. Location Maps
3. Vesting Tentative Tract Map No. 060880, Project plans and site photographs.

**LOCAL COASTAL DEVELOPMENT PLAN, SITE PLAN REVIEW
STANDARDS VARIANCES, VESTING TENTATIVE PARCEL MAP No. 060880
CONDITIONS OF APPROVAL
CASE 0312-22**

Date: February 19, 2004

1. This permit and all development rights hereunder shall **terminate one year** from the effective date (final action date or, if in the appealable area of the Coastal Zone, 21 days after the local final action date) of this permit unless construction is commenced or a time extension is granted, based on a written and approved request submitted prior to the expiration of the one year period as provided in Section 21.21.406 of the Long Beach Municipal Code.
2. The **code exception(s) approved** for this project is (are) as follows:
 - a. A front yard setback of 2'9" (instead of 8'0");
 - b. Curb cut width of 32'4" (instead of not more than 20 feet); and
 - c. A garage setback of 9'0" (instead of 20').
3. This permit shall be invalid if the owner(s) and/or applicant(s) have failed to return **written acknowledgment** of their acceptance of the conditions of approval on the *Conditions of Approval Acknowledgment Form* supplied by the Planning Bureau. This acknowledgment must be submitted within 30 days from the effective date of approval (final action date or, if in the appealable area of the Coastal Zone, 21 days after the local final action date). Prior to the issuance of a building permit, the applicant shall submit a revised set of plans reflecting all of the design changes set forth in the conditions of approval to the satisfaction of the Zoning Administrator.
4. If, for any reason, there is a **violation of any of the conditions** of this permit or if the use/operation is found to be detrimental to the surrounding community, including public health, safety or general welfare, environmental quality or quality of life, such shall cause the City to initiate revocation and termination procedures of all rights granted herewith.
5. In the event of **transfer of ownership** of the property involved in this application, the new owner shall be fully informed of the permitted use and development of said property as set forth by this permit together with all conditions which are a part thereof. These specific requirements must be recorded with all title conveyance documents at time of closing escrow.
6. All conditions of approval **must be printed** verbatim on all plans submitted for plan review to the Planning and Building Department. These conditions must be printed on the site plan or a subsequent reference page.

7. The Director of Planning and Building is authorized to make **minor modifications** to the approved design plans or to any of the conditions of approval if such modifications shall not significantly change/alter the approved design/project. Any major modifications shall be reviewed by the Site Plan Review Committee or Planning Commission, respectively.
8. Site development, including landscaping, shall conform to the approved plans on file in the Department of Planning and Building. At least **one set of approved plans** containing Planning, Building, Fire, and, if applicable, Redevelopment and Health Department stamps **shall be maintained at the job site**, at all times for reference purposes during construction and final inspection.
9. Prior to the issuance of a building permit, the applicant must depict all **utility apparatus** such as, but not limited to, backflow devices and Edison transformers, on both the site plan and the landscape plan. These devices shall not be located in any front, side, or rear yard area that is adjacent to a public street. Furthermore, this equipment shall be properly screened by landscaping or any other screening method approved by the Director of Planning and Building.
10. Prior to the issuance of a building permit, the applicant must submit **complete landscape and irrigation plans** for the discretionary approval of the Director of Planning and Building. The landscaping plan shall include drought tolerant street trees to be installed consistent with the specifications of the Street Tree Division of the Department of Public Works. Approved root guards shall be provided for all street trees.
11. Where feasible, all landscaped areas shall be planted with **drought tolerant plant materials**. All landscaped areas shall be provided with water conserving automatic irrigation systems designed to provide complete and adequate coverage to sustain and promote healthy plant life. The irrigation system shall not cause water to spray or flow across a public sidewalk.
12. All landscaped areas must be maintained in a neat and healthy condition, including public parkways and street trees. Any dying or dead plant materials must be replaced with the minimum size and height plant(s) required by Chapter 21.42 (Landscaping) of the Zoning Regulations. At the discretion of city officials, a yearly inspection shall be conducted to verify that all irrigation systems are working properly and that the landscaping is in good healthy condition. The property owner shall reimburse the City for the inspection cost as per the special building inspection specifications established by City Council.
13. The property shall be developed and maintained in a neat, quiet, and orderly condition and operated in a manner so as not to be detrimental to adjacent properties and occupants. This shall encompass the maintenance of exterior facades of the building, designated parking areas serving the use, fences and the perimeter of the site (including all public parkways).

14. Exterior security bars and roll-up doors applied to windows and pedestrian building entrances shall be prohibited.
15. Any graffiti found on site must be removed within 24 hours of its appearance.
16. **Energy conserving equipment**, lighting and construction features shall be utilized on the building.
17. All **rooftop mechanical equipment** shall be fully screened from public view. Said screening must be architecturally compatible with the building in terms of theme, materials, colors and textures. If the screening is not specifically designed into the building, a rooftop mechanical equipment plan must be submitted showing screening and must be approved by the Director of Planning and Building prior to the issuance of a building permit.
18. Adequately sized **trash enclosure(s)** shall be designed and provided for this project as per Section 21.46.080 of the Long Beach Municipal Code. The designated trash area shall not abut a street or public walkway and shall be placed at an inconspicuous location on the lot.
19. All structures shall conform to the Long Beach Building Code requirements. Notwithstanding this subject permit, all other required permits from the Building Bureau must be secured.
20. Separate building permits are required for signs, fences, retaining walls, trash enclosures, flagpoles, pole mounted yard lighting foundations and planters.
21. Approval of this development project is expressly conditioned upon payment (prior to building permit issuance or prior to Certificate of Occupancy, as specified in the applicable Ordinance or Resolution for the specific fee) of impact fees, connection fees and other similar fees based upon additional facilities needed to accommodate new development at established City service level standards, including, but not limited to, sewer capacity charges, Park Fees and Transportation Impact Fees.
22. The applicant shall file a separate plan check submittal to the Long Beach Fire Department for their review and approval prior to the issuance of a building permit.
23. All required utility easements shall be provided to the satisfaction of the concerned department or agency.
24. A grading plan with hydrology and hydraulic calculations showing building elevations and drainage patterns and slopes shall be submitted for the review and approval to the Director of Planning and Building and the Director of Public Works prior to the issuance of a building permit.

25. Grading and construction activities shall conform to Rule 403 of the South Coast Air Quality Management District and shall include the following:
 - a. Use water trucks and hoses to wet exposed and graded areas at least twice daily with complete coverage on all active areas and periodic wash-downs of public streets in the vicinity of all entrances and exits to the project site. Increase frequency of watering to three or more times per day whenever winds exceed 15 miles per hour, and cease grading activities during period of winds greater than 30 miles per hour.
 - b. Water material being excavated and stock-piled.
 - c. Water grading and cover materials being transported.
 - d. Maintain grading and construction equipment in proper tune.
 - e. Schedule truck trips to avoid peak hours (7-9 a.m. and 4-6 p.m., weekdays).
 - f. Discontinue construction during stage II smog alerts (ozone more than or equal to 0.35 ppm.)
 26. Demolition, site preparation, and construction activities are limited to the following (except for the pouring of concrete which may occur as needed):
 - a. **Weekdays and federal holidays: 7:00 a.m. to 7:00 p.m.;**
 - b. **Saturday: 9:00 a.m. - 6:00 p.m.; and**
 - c. **Sundays: not allowed**
 27. Any off-site improvements found to be damaged shall be replaced to the satisfaction of the Director of Public Works.
 28. All **unused curb cuts** must be replaced with full height curb, gutter, and sidewalk, and any proposed curb cuts shall be reviewed, approved and constructed to the specifications of the Director of Public Works.
 29. The applicant shall obtain approval from the Police Department prior to issuance of a building permit. Please contact Susanne Steiner at (562) 570-5805.
 30. The applicant shall provide sufficient area for the storage of trash receptacles on-site.
 31. The developer shall contribute at least one-half of one percent of the value of the development for pedestrian access to the beach. Please contact the Parks, Recreation and Marine Bureau a (562) 570-3130 for details.
 32. A sectional roll up door with an automatic garage door opener shall be provided and exterior garage lighting.
 33. The following requirements shall be completed to the satisfaction of the Director of Public Works:
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CHAIRMAN AND PLANNING COMMISSIONERS

CASE NO. 0312-22

February 19, 2004

Page 14

- a. Any off-site improvements found damaged as a result of construction activities shall be reconstructed by the developer;
 - b. The developer shall dedicate additional right-of-way adjacent to the project site along Bluff Place for sidewalk purposes in accordance with ADA standards. Dedication of additional sidewalk area, to the satisfaction of the Director of Public Works, will be required as necessary to maintain ADA clearance standards around potential sign post installations;
 - c. The developer shall reconstruct full width of street pavement in Bluff Place adjacent to the site;
 - d. The developer shall submit the necessary engineering street improvement plans for review and approval;
 - e. The developer shall remove unused driveways and replace with full height curb;
 - f. The location of any proposed driveways shall be approved;
 - g. The Department of Public Works is not supportive of a driveway variance resulting in a driveway greater than 5'0" feet and less than 20 feet without project design features or programs that would minimize the potential of vehicles parking in such a manner to block the sidewalk. Such design features or programs could include a reduced driveway apron, landscape treatments, legally binding agreements, or other measures. The design shall also be acceptable to the Director of Planning and Building;
 - h. The subdivider shall relocate existing facilities, as necessary to accommodate the construction of the new sidewalk; and
 - i. The subdivider shall submit the necessary engineering street improvement plans to the Department of Public Works for review and approval prior to approval of the map.
34. The developer make arrangements with the adjacent property owner to use the existing private sewer, or an additional private sewer line will be required from the existing LBWD sewer main in Ocean Blvd to serve the development. Please call LBWD for details.
35. Cars shall not be parked in the driveway or parked in a manner that allows them to project over the public right-of-way.
36. Prior to release of the foundation permit, the applicant shall submit a soils analysis and shoring plan, if applicable, for the discretionary review of the Superintendent of Building and Safety.
37. The developer shall be required to keep the beach area from the toe of the bluff seaward maintained in a clean condition and open to the public. Storage of construction materials and equipment on the beach is expressly prohibited.
38. Upon completion of construction, the applicant shall restore any damage to the beach to the satisfaction of the Director of Public Works.

39. The final tract map is to be prepared in accordance with the approved tentative map and shall be recorded with the Los Angeles County Recorder's Office within thirty-six (36) months from the final action date (in the appealable area of the Coastal Zone, 21 days after the local final action date) of the tentative map. If the final map cannot be recorded within the thirty-six (36) month period, the subdivider can request a time extension. The time extension request shall be submitted to the Zoning Administrator for review and approval as per Section 21.21.406 of the Long Beach Municipal Code
40. Unless specifically excepted by the Planning Commission, the proposed subdivision shall conform to all conditions and to all other requirements of the Subdivision Ordinance of the City of Long Beach.
41. The final plot plan shall be based upon criteria established by the Director of Public Works. Such plot plan shall be submitted to the satisfaction of the Director of Public Works prior to issuance of Certificate of Compliance.
42. Prior to issuance of the final Tract Map, all requirements as specified shall be complied with in full.
43. Prior to approval of the final tract map by the Director of Public Works, the subdivider shall deposit sufficient funds with the City to cover the cost of processing the map through the Department of Public Works.
44. The subdivider shall be responsible for the maintenance of off-site improvements during construction of the on-site improvements. Any off-site improvements found damaged shall be reconstructed or provided for by the subdivider to the satisfaction of the Director of Public Works.
45. All required utility easements shall be provided for to the satisfaction of the concerned department or agency and shown on the final plot plan.
46. Should any public entity or public utility hold an interest in the subdivision, the subdivider shall obtain utility clearance letters from such agency as required by Section 66436 © (1) of the Subdivision Map Act prior to approval of the final map.
47. All outstanding special assessments shall be paid in full prior to approval of the final plot plan.
48. County property taxes shall be paid prior to approval of the final plot plan.
49. All required off-site and on-site street improvements shall be provided for to the satisfaction of the Director of Public Works prior to approval of the final Tract Map or issuance of a building permit, whichever occurs first.

CHAIRMAN AND PLANNING COMMISSIONERS

CASE NO. 0312-22

February 19, 2004

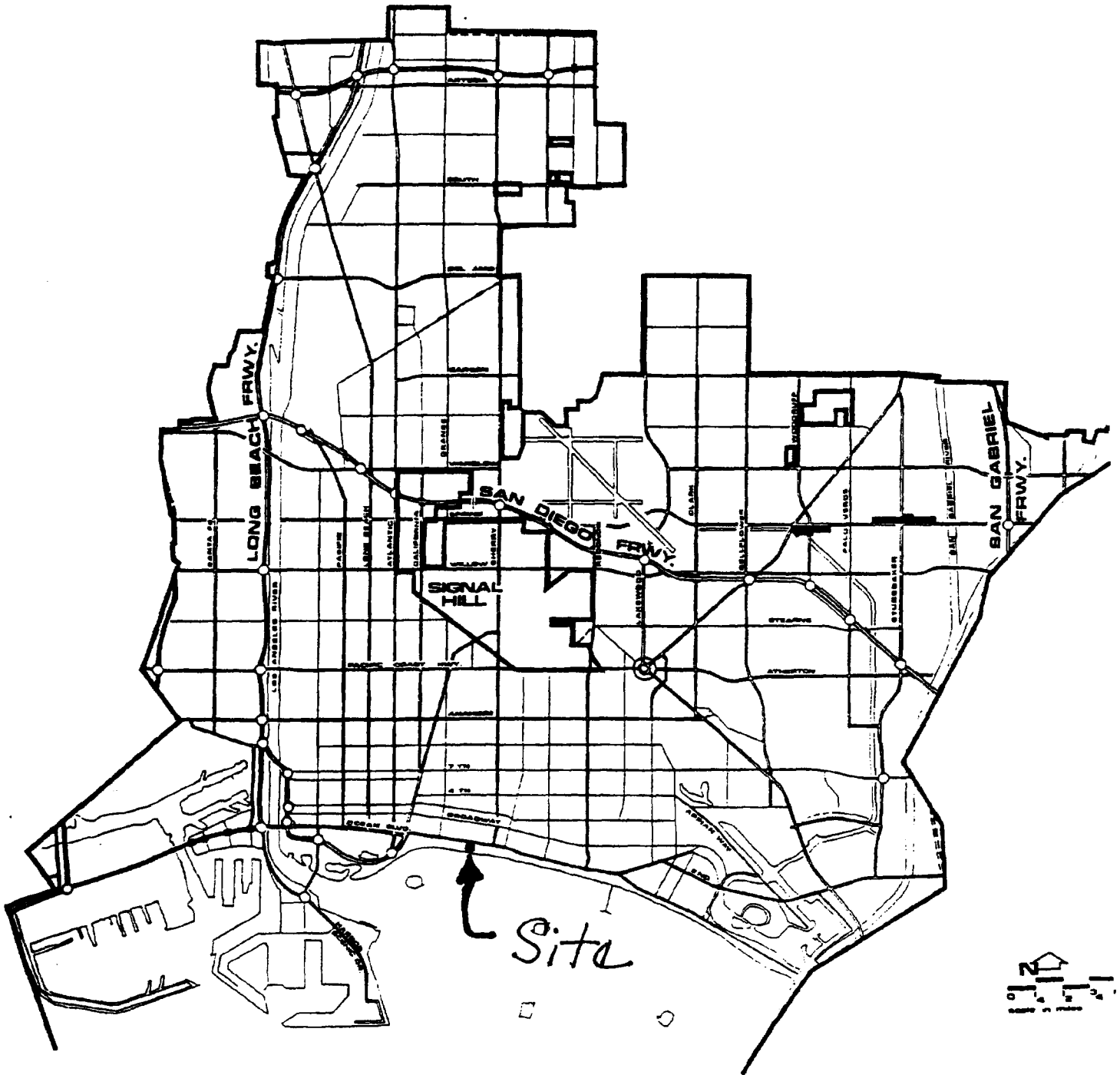
Page 16

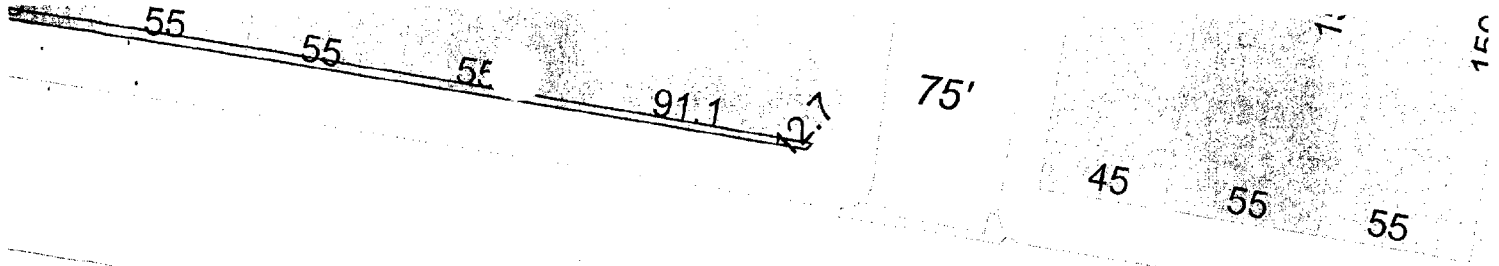
50. The applicant shall provide underground wiring for utility service to the project from the applicable pole and shall provide a vacant duct to the appropriate feed point for connection to future underground service to the satisfaction of the Director of Planning and Building.
51. The subdivider shall provide fire hydrants and necessary fire protection facilities to the satisfaction of the Fire Chief.
52. The site development shall conform to plans approved and on file in the Department of Planning and Building.
53. Prior to the release of any building permit, the applicant shall submit for review and approval of the Director of Planning and Building a landscape and irrigation plan in full compliance with Chapter 21.42 of the Long Beach Zoning Code and any landscape standards outlined in the Ocean Boulevard Planned Development Plan (PD-5). One cluster of three palm trees for each twenty feet of beach frontage. Any exposed bluff area shall be landscaped to the satisfaction of the Department of Public Works, including bluff areas on public property and adjacent public street rights-of-way.
54. The applicant shall provide sewer connection plans and garage drainage plans to the satisfaction of the Director of Public Works and the Superintendent of Building and Safety prior to issuance of a building permit.
55. All required grading shall be provided for prior to approval of the map.
56. The applicant shall execute and record covenants, conditions and restrictions (C. C. & R's) against the title of the parcel, which contain the following provisions. Prior to approval of the final map, a copy of the C. C. & R's shall be submitted to the satisfaction of the Director of Planning and Building. These provisions shall also be noted on the final map.
 - a. The subject condominium consists of two (2) dwelling units.
 - b. A minimum of four (4) parking spaces shall be permanently maintained as parking facilities. Parking spaces must be used solely for the parking of personal vehicles. Parking spaces may not be leased, subleased, sold or given to others not a resident(s) of the condominium unit within the development.
 - c. Two parking spaces shall be assigned to each of the units.
 - d. The common areas and facilities for the condominium shall be clearly described.
 - e. The Homeowner's Association shall be responsible for the operation and maintenance of the private sewer system connected to the public sewer and site drainage system.

- f. The Homeowners Association shall be responsible for the maintenance of the common areas and facilities and the abutting street trees and parkways.
 - g. Graffiti removal shall be the responsibility of the Homeowners' association and shall be removed within 24 hours.
57. The applicant shall provide for reconstruction and stabilization, if necessary, of Bluff Place to the satisfaction of the Director of Public Works.
58. Compliance is required with these Conditions of Approval as long as this use is on site. As such, the site shall be available for periodic reinspection conducted at the discretion of city officials, to verify that all conditions of approval are being met. The property owner shall reimburse the City for the inspection cost as per the special building inspection specifications established by City Council.
59. The applicant shall defend, indemnify, and hold harmless the City of Long Beach, its agents, officers, and employees from any claim, action, or proceeding against the City of Long Beach or its agents, officers, or employees brought to attack, set aside, void, or annul an approval of the City of Long Beach, its advisory agencies, commissions, or legislative body concerning this project. The City of Long Beach will promptly notify the applicant of any such claim, action, or proceeding against the City of Long Beach and will cooperate fully in the defense. If the City of Long Beach fails to promptly notify the applicant of any such claim, action or proceeding or fails to cooperate fully in the defense, the applicant shall not, thereafter, be responsible to defend, indemnify, or hold harmless the City of Long Beach.

NOTE: Unless this project obtained vested rights, it is subject to changes relative to Zoning or General Plan amendments that occur after the attainment of Site Plan Review approval. Thus, it is strongly recommended that the project manager closely monitor the activities of the Planning Commission and City Council. It is not the responsibility of the Department of Planning and Building to provide constant updates on possible changes.

LOCATION MAP





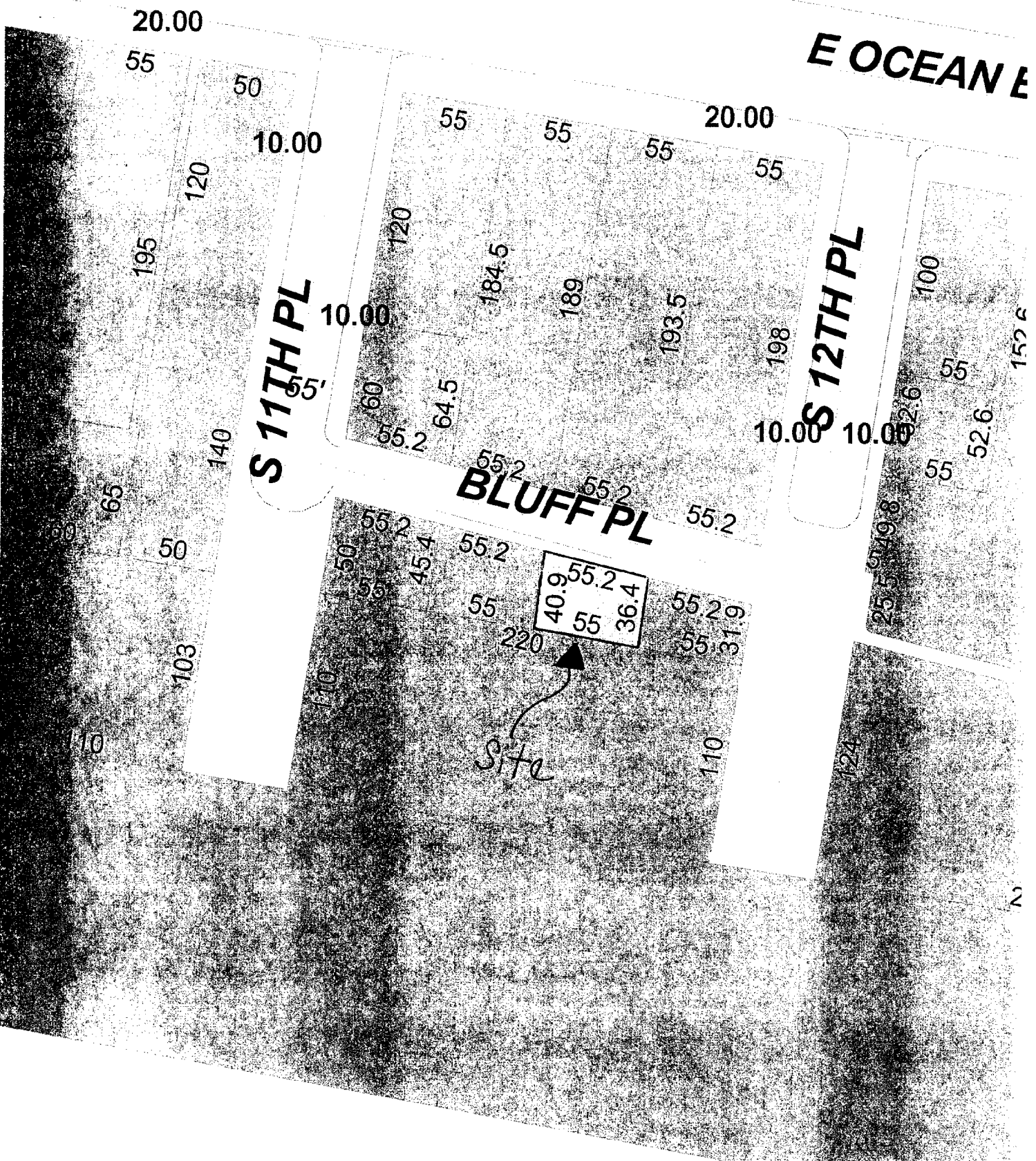
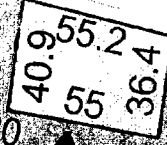
E OCEAN E

S 11TH PL

S 12TH PL

BLUFF PL

Site



February 17, 2004

Department of Planning & Building
City of Long Beach
333 West Ocean Boulevard
Long Beach, CA 90802

RE: Case No. 0312-22

Dear Department of Planning & Building,

As an active participant in a previous Bluff Place residential issue, I have stated on numerous occasions that I welcome new neighbors and the development of private residences into our neighborhood. While my support and enthusiasm still remains the same, I do indeed have serious concerns regarding the impact of the proposed four-story condominium at 1720 Bluff Place. Let me clarify by saying that my concerns in no way pertain to the condominiums themselves, but simply to the height of its four-stories.

As the City well knows, the neighbors around Bluff Place, particularly those on 12th Place, are very concerned with the negative impact on the public vista by the development(s) on Bluff Place. And having navigated the previous residential development issue of 1724 Bluff Place, the City should be well aware that the primary concern for my neighbors and myself is the preservation of the public vista. Having said that, I ask the Department of Planning & Building to consider the overall impact and structural scope of 1720 Bluff Place when considering the variance requests. I urge the Department of Planning & Building to ensure that the proposed structure of 1720 Bluff Place does not exceed the height of its immediate neighbors on both sides. And as this relates to the variances requested, I ask the Department of Planning & Building to deny any variances that would support a structure that is taller than its neighbors.

It probably will not come as any surprise to the City to know that the neighbors of Bluff Place are fully prepared to appeal all grievances should the proposed four-stories of 1720 Bluff Place exceed its neighbors' height or negatively impact the public vista. With that said, I will leave this matter in the capable hands of the Department of Planning & Building, as I am sure the Department is well aware of the neighborhood's desires and requests. I look forward to a favorable result for all parties and neighbors. Thank you for your time and serious consideration.

Regards,



Ernst Kuo
562 331 0317

February 17, 2004

Department of Planning & Building
City of Long Beach
333 West Ocean Boulevard
Long Beach, CA 90802

RE: Case No. 0312-22

Dear Department of Planning & Building,

As a citizen of Long Beach and an immediate neighbor of the proposed construction site (1720 Bluff Place), I am seriously concerned. Concerned that the beach and local coastline is being developed with complete disregard to its impact on the neighborhood and concerned that the existing codes and regulations are being overlooked simply to encourage real estate development. While I am in absolute favor of improving the residential landscape of Long Beach, I am disappointed and aggrieved at the rate the City is granting variances for developers and homeowners to build whatever it is in their heart's content. Codes have been written and made into law in order to preserve boundaries and uphold guidelines; if these codes are exempted simply because a desired construction or architectural design does not conform with the given property line, there is something seriously wrong.

Judging from the fact that the applicant for this variance request is the same architect as the previously submitted plans for 1724 Bluff Place and 1700 Bluff Place, I would presume that the "reason" why the variances are needed is because the plot is too small. In response, I stress that a small size lot does not qualify as hardship and does not warrant variances. What's more, should the variance request be granted, it will result in a street in which the homes (be it single-family or condos) will butt directly onto the street and sidewalk, leaving no buffer room for pedestrians and neighbors. In short, all new developments on Bluff Place will have variances that totally disregard the natural property boundaries and Bluff Place will become a street with homes and buildings that overpower and overwhelm its small street size.

Therefore, I ask the Department of Planning & Building to please use wise judgement and deny the variances that are being requested. Furthermore, while the City cannot "officially" take public vista into account when considering variance requests, I implore you to indeed consider the public view impact of the four-story height of this proposed project. Any negative impact on the neighborhood view could result in further grievances.

Thank you for your time and attention.

Best,



Jenny Choi
562 331 1377

February 16, 2004

Department of Planning and Building
City of Long Beach
333 West Ocean Boulevard
Long Beach, California 90802

To Whom It May Concern:

As a resident and property owner in Long Beach, I respectfully request The Department of Planning and Building to require the builder of the projected structure, located at 1720 Bluff Place, to restrict its size and height to such a degree that would preserve the present public coastal view from the bluff at the south end of 12th Place.

We also request that any variances granted do not restrict the public shoreline views from 12th Place.

Sincerely,



Beverly B. Milner
5131 El Cedral Street
Long Beach, California 90815

1635 Ocean Blvd
Long Beach, CA 90802
February

Dear Planning Dept,

We are writing in response to the request for a variance at 1720 Bluff Place. We have the following objections:

1. A 2-unit 4-story Condo would add to the luxury market on or near Ocean Boulevard. We already have 1500, 1000, and a number of others including 1310 (The Ocean Club) in our neighborhood. Yet another luxury condo will not create housing for middle income owners. If a time-share is what the builder wants - research shows that time-shares are unsatisfactory investments for share-holders and benefit only those who build them. Also, the access road to the proposed buildings is a one-way approach that leads from Ocean Blvd. towards the beach. Even with parking of its own, this project will have a negative effect on neighbors on both sides of this small street. It will increase pollution, noise beach access and quiet enjoyment of the neighborhood.

2. This development will bring further congestion, have a negative coastal impact, and impede safety. Families and those who use the bike and pedestrian path will lose beach access. The buildings will be wedged into a small area unsuitable for development. The builder/owner will profit, and the public and surrounding neighbors will suffer a loss of quality of life if this proposal goes through.

In closing, we would like to point out that we have a diverse housing stock in our area, and that's what makes it affordable to middle and lower income residents; not just wealthy luxury condo owners and builders. Another luxury condo will only add to the overcrowding and high prices that prevent working, middle class buyers from becoming homeowners in our area. If Long Beach is serious about safeguarding our coastal area, preserving family values, and reducing congestion, then the planning department should veto this project.

Sincerely,
Neighbors at 1635 E. Ocean



FITTER RESIDENCE

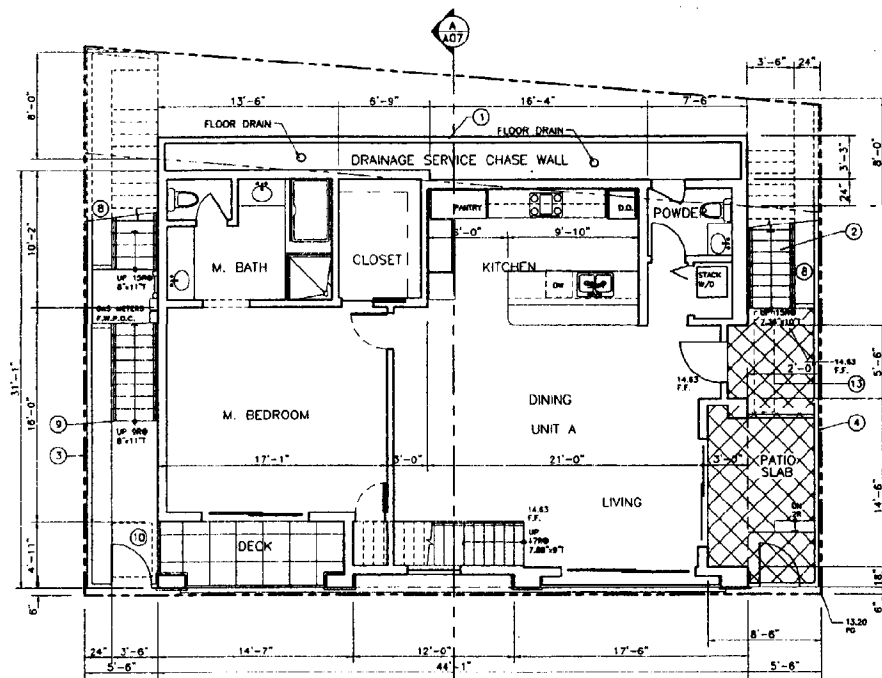
ADDRESS: 1720 BLUFF PLACE, LONG BEACH, CA

DESIGN BY: BOZENA JAWORSKI

RPP ARCHITECTS

& ASSOCIATES, INC.
PORTER, ESIEVEZ & JAWORSKI
ARCHITECTS / PLANNERS

5937 E. 7th Street
Long Beach, CA 90804
562.434.8614, Fax 562.459.3403
EMAIL: rpp@pphal.com



FIRST FLOOR PLAN, UNIT A SCALE: 1/4"=1'-0"

LEGEND

- ① RETAINING WALL
- ② CONCRETE STEPS ON GRADE
- ③ 5'H METAL FENCE AND GATES
- ④ 5'H STUCCO CHAU WALL
- ⑤ 3'H STUCCO BLOCK WALL & GATES
- ⑥ 34" WIDE DRIVEWAY - INTEGRAL COLOR SCORRING
- ⑦ OVERHEAD SECTIONAL DOOR
- ⑧ LANDSCAPING AREA
- ⑨ 3'-4" METAL GUARDRAIL & HANDRAIL
- ⑩ 3'-4" SEWER PUMP STATION
- ⑪ 36" WIDE CURB CUT
- ⑫ 5' WIDE SIDEWALK
- ⑬ CANOPY OVERHANG

RPP
ARCHITECTS
& ASSOCIATES, INC.

3837 E. 7th Street
Long Beach, CA 90804
562.431.6114, Fax 562.439.3481

PORTER, ESTEVEZ & JAWORSKI
ARCHITECTS / PLUMBERS

THIS DOCUMENT IS A CONTRACT DOCUMENT. It is intended to be used in conjunction with the contract documents and specifications. It is not to be reproduced, altered, or copied in any form or manner without the written permission and consent of RPP Architects & Associates, Inc.

JOB NO.:	4507
DRAWN BY:	S.E.
CHECKED BY:	S. ESTEVEZ
SCALE:	AS SHOWN
PRELIMINARY SITE PLAN DATE:	12/11/03
FINAL SITE PLAN DATE:	
J. & E. DRAWINGS DATE:	
ISSUE FOR CONSTRUCTION DATE:	

Issue Date:

Revisions:

▲	11-21-03 8:00 AM	PLUMBING SYMBOLS
▲	11-23-03 10:00 AM	REVISIONS
△		
△		
△		

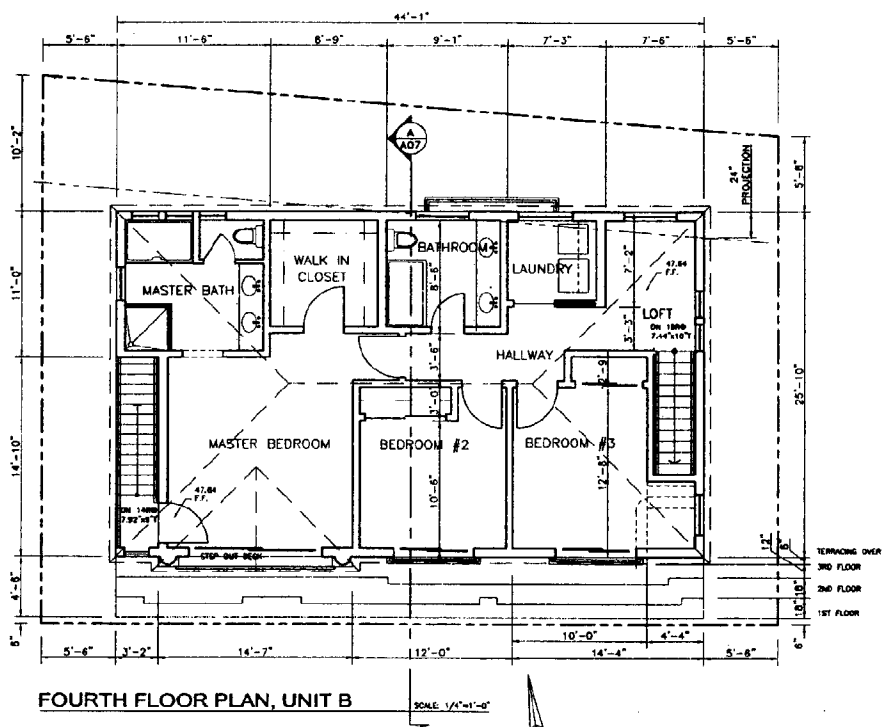
TWO
CONDOMINIUM
UNITS
SUBDIVISION

FOR MINOR FITTER
1718 AND 1720
BLUFF PL.
LONG BEACH CA.

FIRST FLOOR PLAN

SHEET TITLE

A02



RPP
ARCHITECTS
& ASSOCIATES, INC.

2827 E. 7th Street
 Long Beach, CA 90804
 562-438-6114, Fax 562-438-8987

PORTER, ESTEVEZ & JARAMILLO
 ARCHITECTS / PLANNERS

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JOB NO.:	4507
DRAWN BY:	S.E.
CHECKED BY:	S. ESTEVEZ
SCALE:	AS SHOWN
PRELIMINARY SITE PLAN:	
DATE:	12/11/03
FINAL SITE PLAN:	
DATE:	
A. D. E. DRAWINGS:	
DATE FOR CONSTRUCTION:	

Issue Date:

Revisions:

- △ 12-11-03 10:00 AM
- △ 12-11-03 10:00 AM
- △ 12-11-03 10:00 AM
- △ 12-11-03 10:00 AM
- △ 12-11-03 10:00 AM
- △ 12-11-03 10:00 AM

TWO
CONDOMINIUM
UNITS
SUBDIVISION

FOR WINDOW FITTER
 1718 AND 1720
 BLUFF PL.
 LONG BEACH CA.

FOURTH
 FLOOR PLAN

SHEET TITLE

A04



SOUTH ELEVATION SCALE: 1/8"=1'-0"

EAST ELEVATION SCALE: 1/8"=1'-0"

COLOR SCHEDULE

- ① STUCCO #1
MANUFAC: LA HABRA
COLOR: SBMF 55 (BASE FRENCH VANILLA)
TEXTURE: SMOOTH HAND FINISH
- ② STUCCO #2
MANUFAC: LA HABRA
COLOR: SBMF 592 (BASE 100) TUCSON
TEXTURE: SMOOTH HAND FINISH
- ③ STUCCO #3, COLLINGS MURAL
MANUFAC: LA HABRA
COLOR: SBMF 90 (BASE 100) WHITE
TEXTURE: SMOOTH HAND FINISH
- ④ ROOF
MANUF: US TILE
TYPE: TWO PIECE MISSION TILE
COLOR: RUSTIC STANDARD RED
- ⑤ STUCCO #4, MOLDINGS, TRIMS
TYPE: LA HABRA
COLOR: SBMF 86 (BASE 200) SAND STONE
TEXTURE: SMOOTH HAND FINISH
- ⑥ STUCCO #5, ACCENT
COLOR: IC1, 215 ANCIENT COPPER
TEXTURE: SMOOTH HAND FINISH
- ⑦ DECK RAILING, GATE
TYPE: METAL WORK
COLOR: IC1, 1178 TAVERN GREEN
- ⑧ WINDOWS
MANUF: MILGARD
COLOR: HUNTER GREEN
- ⑨ STONE
MANUF: CULTURED STONE
COLOR: CHAROONWAY LIMESTONE
- ⑩ ENTRY DOOR
COLOR: IC1, 221 LIGHT INCENSE
- ⑪ GARAGE DOOR
COLOR: IC1, 469 ENGLISH COTTAGE
- ⑫ TILE
MANUFAC: LUBATUSA 413
COLOR: GREEN

RPP ARCHITECTS & ASSOCIATES, INC.
 4827 E. 7th Street
 Long Beach, CA 90804
 562.434.8411, Fax 562.438.8483

PORTER, ESTEVEZ & JAWORSKI ARCHITECTS / PLANNERS

1999 RPP Architects & Associates, Inc. respectfully requests the acceptance and recording of this preliminary site plan. This drawing and any other drawings, forms or specifications are not to be construed as a contract. The client understands and agrees that the client shall be responsible for obtaining all necessary permits and approvals from the appropriate governmental agencies. The RPP Architects & Associates, Inc. shall not be held liable for any errors or omissions on this drawing.

JOB NO.: 4507
 DRAWN BY: S.E.
 CHECKED BY: S. ESTEVEZ
 SCALE: AS SHOWN
 PRELIMINARY SITE PLAN
 DATE: 12/17/03
 FINAL SITE PLAN
 DATE: _____
 S. & C. DRAWINGS
 DATE: _____
 ISSUE FOR CONSTRUCTION
 DATE: _____



Issue Date: _____

Revisions:

▲	12-22-03 REVISION 1
▲	12-22-03 REVISION 2
▲	
▲	
▲	

TWO CONDOMINIUM UNITS SUBDIVISION

FOR WINDOW FITTER

1718 AND 1720
 BLUFF PL.
 LONG BEACH, CA.

ELEVATIONS

SHEET TITLE
A05

RPP ARCHITECTS & ASSOCIATES, INC.

3637 E. 7th Street
 Long Beach, CA 90804
 (562) 434-8114 Fax (562) 434-8115
FORNER, ESTEVEZ & JANKOWSKI ARCHITECTS / PLANNERS

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 and consent of RPP Architects & Associates, Inc.

JOB NO.: 4507

DRAWN BY: S.E.

CHECKED BY: S. ESTEVEZ

SCALE: AS SHOWN

PRELIMINARY CITY PLAN

DATE: 12/11/03

DATE: 12/11/03

D. E. E. DRAWINGS

ISSUE FOR CONSTRUCTION

DATE:

Issue Date:

Revisions:

- ▲ 12-21-03 ISSUE FOR PERMITS
- ▲ 01-12-04 ISSUE FOR PERMITS
- ▲
- ▲
- ▲

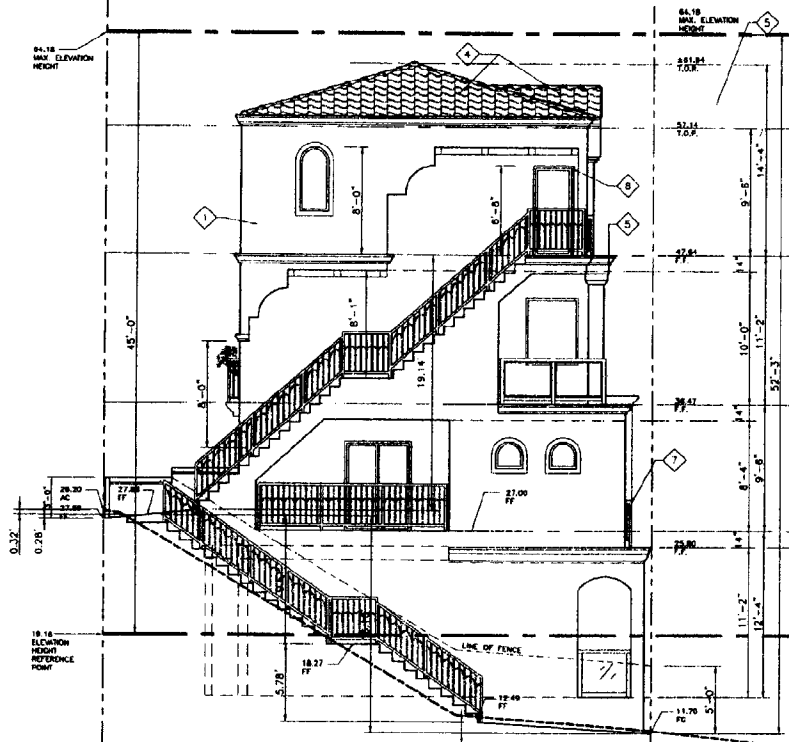
TWO CONDOMINIUM UNITS SUBDIVISION

FOR MIMCO FITTER
 1718 AND 1720
 BLUFF PL.
 LONG BEACH CA.

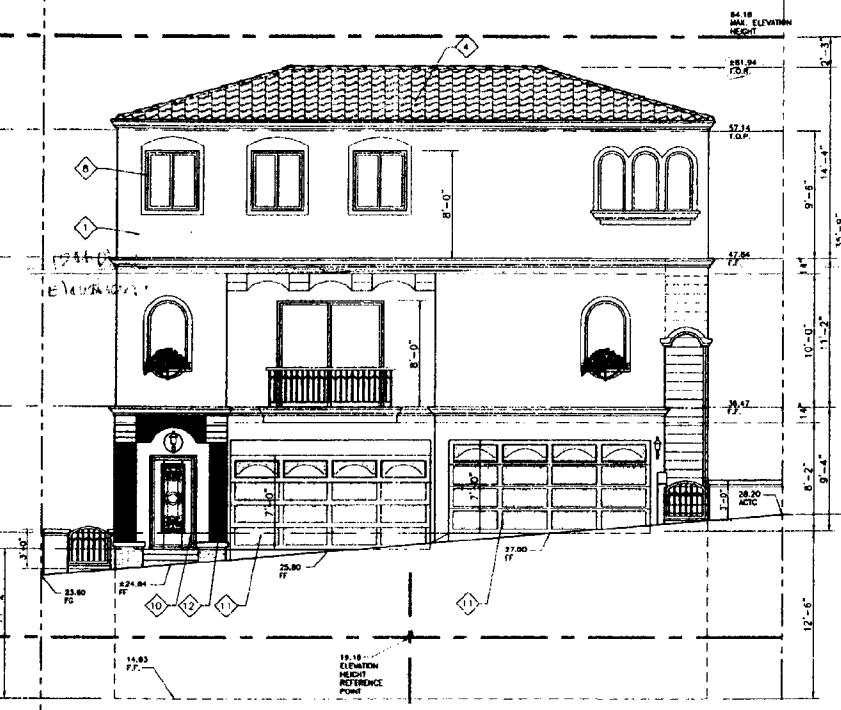
ELEVATIONS

SHEET TITLE

A06



WEST ELEVATION SCALE: 1/4"=1'-0"



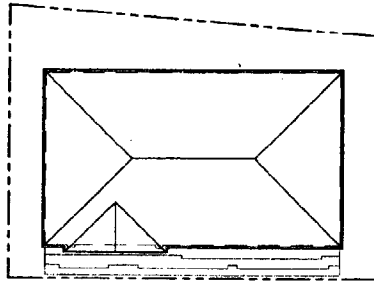
NORTH ELEVATION SCALE: 1/4"=1'-0"

PROGRESS LIGHTING P5411-31

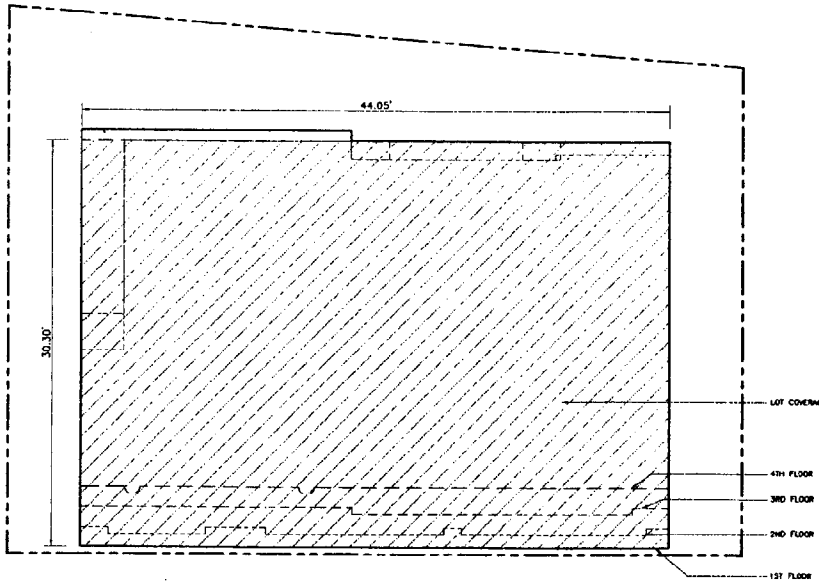
POST LANTERN WITH
 INSIGHT IRON FINISH AND
 CLEAR, SEEDED GLASS
 SHADE.
 CATEGORY: OUTDOOR
 FINISH: BLACK
 GLASS: CLEAR SEEDED
 TYPE: SOLID BRASS
 TOTAL (8) EIGHT



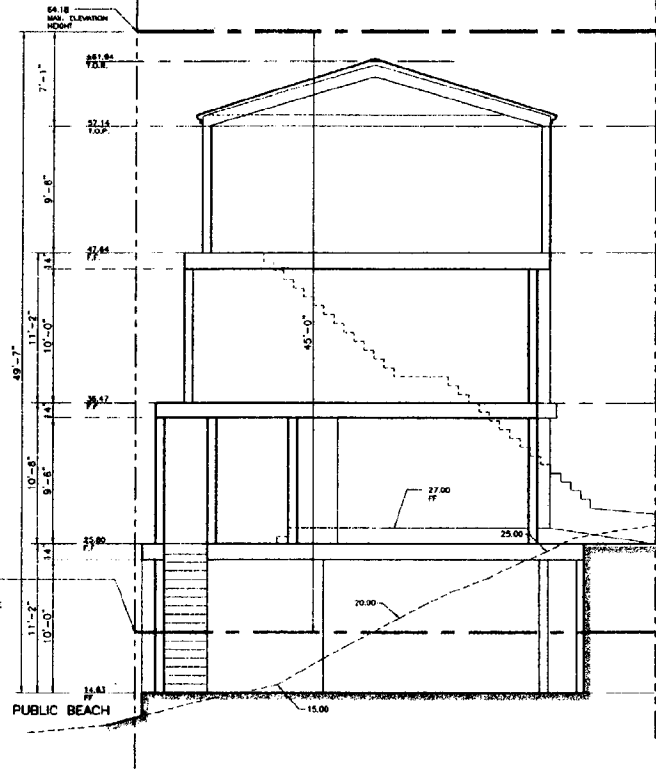
46.50'
 elevation not
 to replace



ROOF PLAN SCALE: 1/4"=1'-0"



LOT COVERAGE AREA CALCULATION SCALE: 1/4"=1'-0"



SECTION "A" SCALE: 1/4"=1'-0"

RPP ARCHITECTS & ASSOCIATES, INC.

5837 E. 7th Street
Long Beach, CA 90804
862.424.2614, Fax 862.424.9881

PARTNER, ESTEVEZ & JAWORSKI ARCHITECTS / PLANNERS

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JOB NO:	4507
DRAWN BY:	S.E.
CHECKED BY:	S. ESTEVEZ
SCALE:	AS SHOWN
PRELIMINARY SITE PLAN DATE:	12/11/03
FINAL SITE PLAN DATE:	
A & E DRAWING DATE:	
SCALE FOR CONSTRUCTION DATE:	

Issue Date:

Revisions:

▲	12-20-03 REVISION FOR PLANNING REVIEW
▲	4-13-04 PLANNING REVIEW
▲	
▲	
▲	

TWO CONDOMINIUM UNITS SUBDIVISION

FOR MIMCO FITTER
1718 AND 1720 BLUFF PL.
LONG BEACH CA.

ROOF PLAN AND SECTION

SHEET TITLE
A07

VESTING TENTATIVE PARCEL MAP 0-0880

IN THE CITY OF LONG BEACH, COUNTY OF LOS ANGELES,
STATE OF CALIFORNIA.

FOR CONDOMINIUM PURPOSES

BEING A SUBDIVISION OF LOT C OF THE RESUBDIVISION OF BLOCKS 13 AND 14 OF ALAMITOS BEACH TOWNSITE, AS PER MAP RECORDED IN BOOK 84, PAGE 2 OF MISCELLANEOUS RECORDS, TOGETHER WITH A PORTION OF THE LAND LYING SOUTHERLY.

MICHAEL PETYO L.S. 4316 DATE OF SURVEY: DECEMBER, 2003

PROPERTY ADDRESS

1720 BLUFF PLACE
LONG BEACH, CA

ASSessor'S IDENTIFICATION

LOS ANGELES COUNTY A.P.N. 7265-016-006

RECORD OWNER

PAUL ANILE, TRUSTEE
PAUL ANILE 2002 TRUST
DATED MARCH 8, 2002

SUBDIVIDER

MIND FITTER
3204 CHERRY AVENUE
LONG BEACH, CA 90807
PHONE: (562) 989-2375
FAX: (714) 296-5578

SURVEYOR

MICHAEL PETYO, L.S. 4316
M. PETYO & ASSOCIATES, INC.
17882 SKY PARK CIRCLE,
SUITE B
IRVINE, CALIFORNIA 92614
PHONE: (949) 250-0272
FAX: (949) 250-0275
EMAIL: petyo@petyo.net

TITLE REPORT IDENTIFICATION:

DIVERSIFIED TITLE COMPANY PRELIMINARY
REPORT No. 234018982-12
DATED: NOVEMBER 17, 2003.

EASEMENT NOTES:

THERE ARE NO PLOTTABLE EASEMENTS PER
DIVERSIFIED TITLE COMPANY PRELIMINARY REPORT
No. 234018982-12, DATED NOVEMBER 17, 2003.

LEGAL DESCRIPTION

THE LAND SHOWN HEREON IS, SITUATED IN THE CITY OF LONG BEACH,
COUNTY OF LOS ANGELES, STATE OF CALIFORNIA AND IS DESCRIBED
AS FOLLOWS:

LOT "C" OF THE RESUBDIVISION OF BLOCKS 13 AND 14 OF ALAMITOS
BEACH TOWNSITE AS PER MAP RECORDED IN BOOK 84, PAGE 2 OF
MISCELLANEOUS RECORDS OF THE COUNTY OF LOS ANGELES.

TOGETHER WITH THAT PORTION OF THE LAND LYING BETWEEN THE
EASTERLY AND WESTERLY LINE OF SAID LOT "C" PROLONGED
SOUTHERLY, DESCRIBED AS A WHOLE AS FOLLOWS:
BEGINNING AT THE NORTHEASTERLY CORNER OF SAID LOT C; THENCE
SOUTHERLY ALONG THE EASTERLY LINE OF LOT C AND THE
PROLONGATION THEREOF 36.43 FEET; THENCE WESTERLY IN A DIRECT
LINE 55.04 FEET, MORE OR LESS, TO A POINT IN THE SOUTHERLY
PROLONGATION OF THE WESTERLY LINE OF SAID LOT C, DISTANT 40.92
FEET THEREON FROM THE NORTHWESTERLY CORNER OF SAID LOT C;
THENCE NORTHERLY ALONG SAID SOUTHERLY PROLONGATION AND SAID
WESTERLY LINE OF LOT C 40.92 FEET TO THE NORTHWESTERLY
CORNER OF LOT C; AND THENCE EASTERLY ALONG THE NORTHERLY
LINE OF LOT D 55.22 FEET, MORE OR LESS, TO THE POINT OF
BEGINNING.

PROJECT DESCRIPTION

SUBDIVISION OF THE PROPERTY AS DESCRIBED INTO
TWO CONDOMINIUM UNITS.

PARCEL AREAS

PROJECT AREA = 2,129 SQ. FT. = 0.049 ACRES

HEIGHT (EXISTING)

VACANT LOT

HEIGHT (PROPOSED)

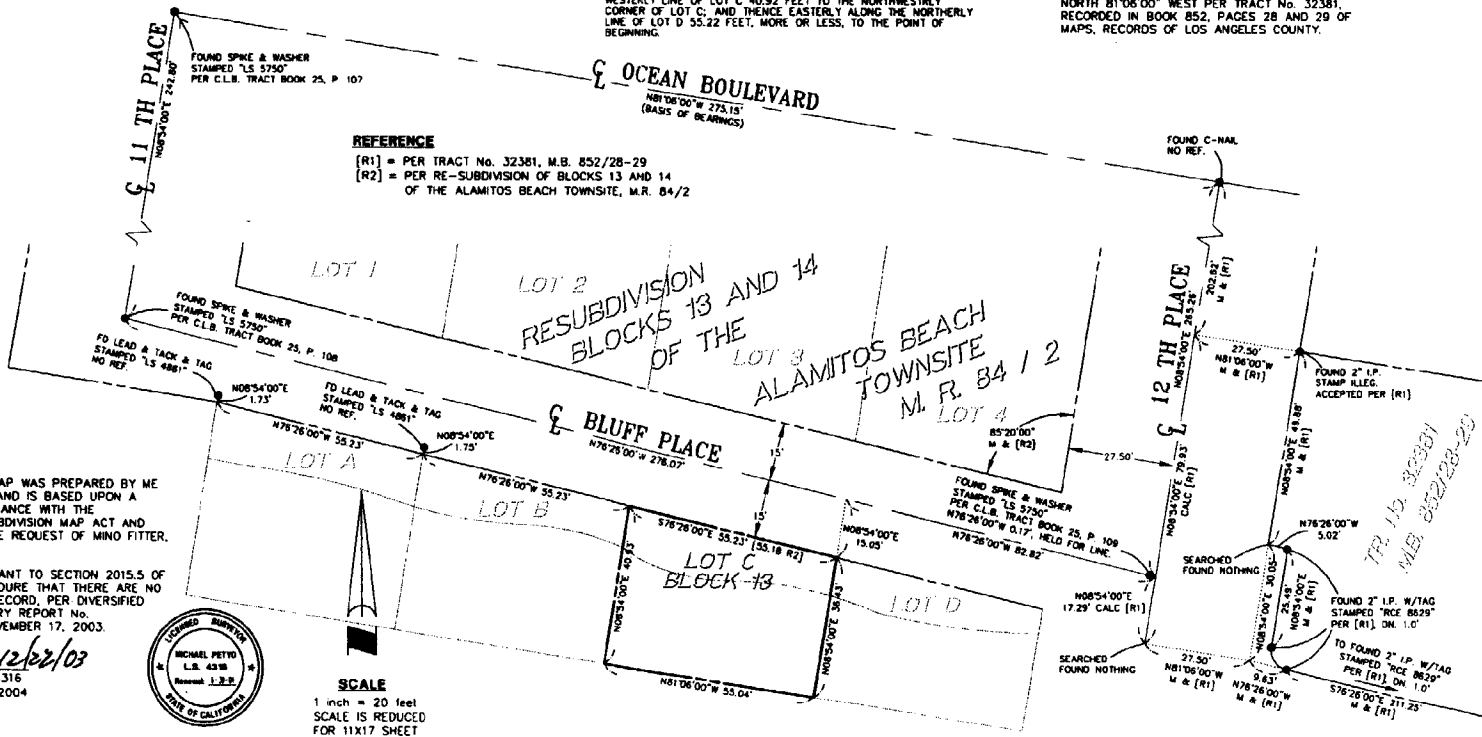
TOTAL = 4 STORIES, 3 STORIES ABOVE STREET LEVEL

SETBACKS (PROPOSED)

FRONT VARIES 6' TO 8'
EAST SIDE 5'6"
WEST SIDE 5'6"
REAR 0'

BASIS OF BEARINGS

THE CENTERLINE OF OCEAN BOULEVARD, BEING
NORTH 81°06'00" WEST PER TRACT No. 32381,
RECORDED IN BOOK 852, PAGES 28 AND 29 OF
MAPS, RECORDS OF LOS ANGELES COUNTY.



REFERENCE

- [R1] = PER TRACT No. 32381, M.B. 852/28-29
- [R2] = PER RE-SUBDIVISION OF BLOCKS 13 AND 14
OF THE ALAMITOS BEACH TOWNSITE, M.R. 84/2

THIS TENTATIVE PARCEL MAP WAS PREPARED BY ME
OR UNDER MY DIRECTION AND IS BASED UPON A
FIELD SURVEY IN CONFORMANCE WITH THE
REQUIREMENTS OF THE SUBDIVISION MAP ACT AND
LOCAL ORDINANCES AT THE REQUEST OF MIND FITTER,
IN DECEMBER, 2003.

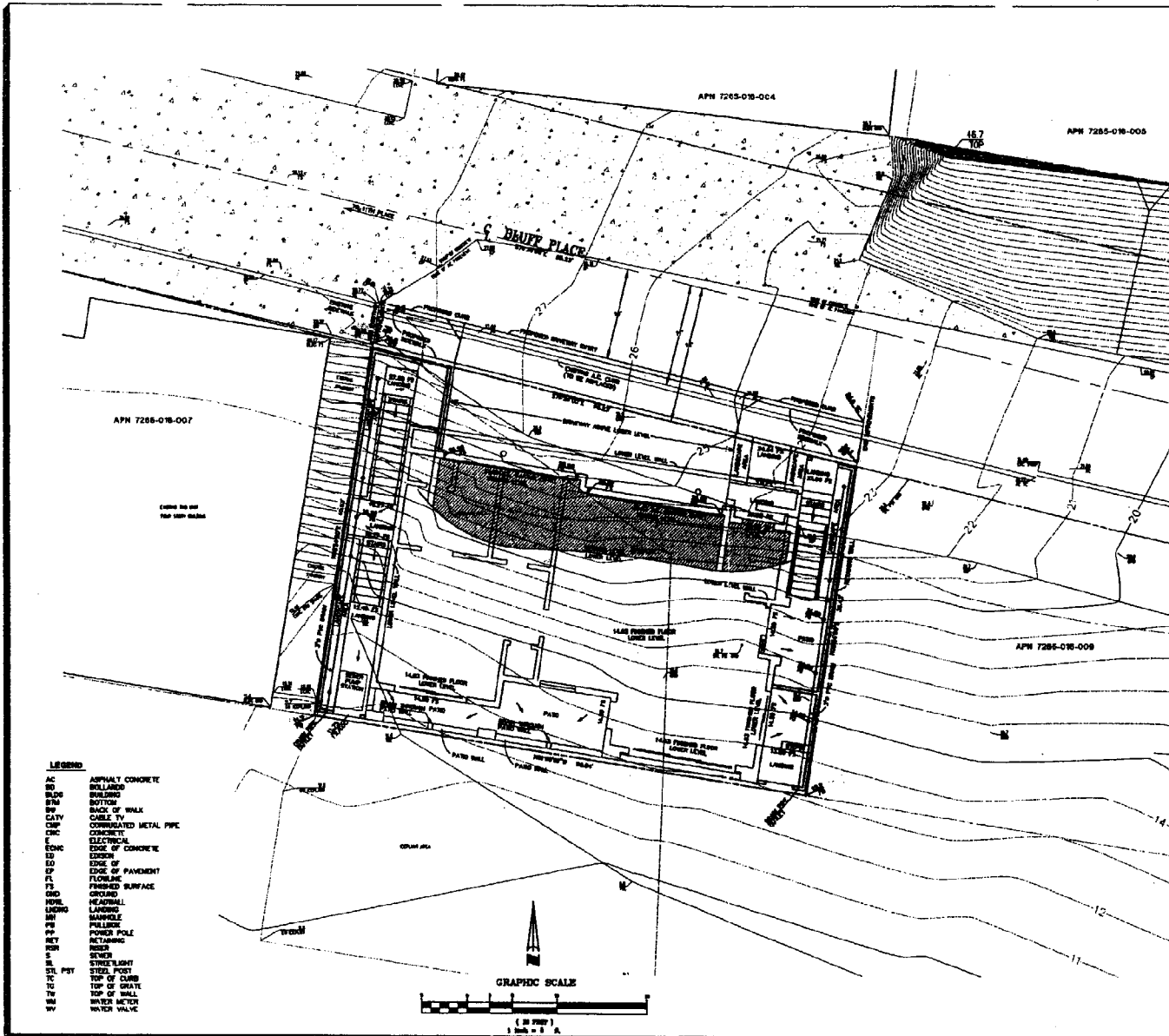
I FURTHER CERTIFY PURSUANT TO SECTION 2015.5 OF
THE CODE OF CIVIL PROCEDURE THAT THERE ARE NO
EXISTING EASEMENTS OF RECORD, PER DIVERSIFIED
TITLE COMPANY PRELIMINARY REPORT No.
234018982-12, DATED NOVEMBER 17, 2003.

Michael Petyo 12/22/03
MICHAEL PETYO, L.S. No. 4316
EXPIRATION DATE: 06/30/2004

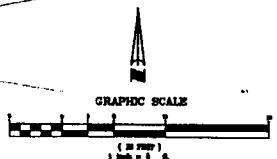


SCALE

1 inch = 20 feet
SCALE IS REDUCED
FOR 11X17 SHEET



- LEGEND**
- AC ASPHALT CONCRETE
 - BLD BUILDING
 - BDG BOLLARD
 - BTM BOTTOM
 - BW BACK OF WALK
 - CAV CABLE TV
 - CMF CORRUGATED METAL PIPE
 - CON CONCRETE
 - E ELECTRICAL
 - EDG EDGE OF CONCRETE
 - EDG EDGE OF
 - EP EDGE OF PAVEMENT
 - FL FLOWLINE
 - FS FINISHED SURFACE
 - GRD GROUND
 - HPV HEAVY WALL
 - LSNG LINDING
 - MAN MANHOLE
 - FLSK FELLISK
 - PP POWER POLE
 - RET RETAINING
 - ROCK ROCK
 - SWN SWIRL
 - TLT TALLEST
 - STL STL STEEL POST
 - TOG TOP OF CURB
 - TOG TOP OF GRADE
 - TM WATER METER
 - WV WATER VALVE



APN 7265-018-004

APN 7265-018-005

APN 7265-018-007

APN 7265-018-008

RPP ARCHITECT & ASSOCIATES, I

3001 E. 7th Street
Long Beach, CA 90805
SILVERDALE, FOR DELIVERY
PORTER, ESSENEY & JARR
ARCHITECTS / PLANNERS

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JOB NO.: 03-141
DRAWN BY: B.A.
CHECKED BY: B.A.
SCALE: 1" = 10'
PRELIMINARY GRADING PLAN
DATE: 12/29/02
FINAL SITE PLAN
DATE:
A. S. C. ENGINEERS
DATE:
DATE FOR CONSTRUCTION
DATE:

Issue Date:


- Revisions:
- ▲ 0-20-03 REVISED
LAND PERMIT
 - △
 - △
 - △
 - △
 - △

DATE OF REVIEW
DECEMBER 14, 2002

NAME OF BEARING
THE CENTERLINE OF OCEAN BOULEVARD,
BEING NORTH 87°00'00" WEST PER TRACT
184, 185, 186, 187, 188, 189, 190, 191, 192,
20 AND 21 OF MAPS, RECORDS OF LOS
ANGELES COUNTY, (NOT SHOWN HEREON)

BEARING MARK
B.M. NO. BP-3
FOUND DCK
ELEVATION = 10.20 FEET (MWD050)

CONTOUR INTERVAL = 1 FOOT

PREPARED BY:
 **S.V.C. ENGINEERING**
17701 8th Park Circle, Suite 1
Irvine, CA 92614
Telephone (949) 261-7440



TWO CONDOMINIUM UNITS SUBDIVISION

FOR MWD0 FIFTEEN
1730 BLUFF PL.
LONG BEACH, CA.

PRELIMINARY GRADING PLAN

SHEET TITLE

GO!

BRIAN J. GLEASON P.E. 45738 EXP. 12/06 DATE

Description: Finding of Conformity with the General Plan for an alley vacation.

Found the proposed alley vacation in conformance with the General Plan.

C O N T I N U E D I T E M S

2. Case No. 0308-17, Conditional Use Permit

Applicant: Frank Medina for Missionaries of the Holy Spirit
Subject Site: 6450 Parkcrest (Council Dist. 6)
Description: Request to expand an existing seminary by adding 3,616 square feet on two levels in the Institutional (I) Zone District.

Jamie Mekis presented the staff report recommending approval of the request as presented.

Frank Medina, Missionaries of the Holy Spirit, 6450 Parkcrest, applicant, stated he was available for questions.

Commissioner Moyer moved to approve the Conditional Use Permit, subject to conditions. Commissioner Winn seconded the motion, which passed 4-0. Commissioners Sramek and Jenkins were absent.

R E G U L A R A G E N D A

3. Case No. 0312-22, Local Coastal Development Permit, Standards Variance, Vesting Tentative Subdivision Map CE 03-247

Applicant: Paul Anile c/o Bozena Jaworski
RPP Architects & Associates Inc.
Subject Site: 1720 Bluff Place (Council Dist. 2)
Description: Request for a Local Coastal Development Permit, Vesting Tentative Parcel Map No. 060880, and Standards Variance to construct a two-unit, four-story condominium on a vacant lot with the following code exceptions: A garage setback of 9'0'' from the front property line (instead of 20'0''); a front yard setback of 2'9'' (instead of 8'0''), and a 32'4'' wide curb cut (instead of not more than 20'0'').

Lynette Ferenczy presented the staff report recommending approval of the requests, since the subdivision was consistent

with the Land Use Element of the General Plan; because the project was consistent with the Local Coastal Development Plan; because positive findings could be made to grant the Standards Variance given the unique shape, size and topography of the lot; and since approval of the subdivision would provide increased home ownership opportunities in the Coastal Zone.

Commissioner Stuhlberg cited a conflict of interest due to his residence location, and Assistant City Attorney Mike Mais noted that Mr. Stuhlberg would remain at the hearing to maintain a quorum, but that he would not participate or vote.

In response to a query from Commissioner Winn regarding the project's building height, Ms. Ferenczy stated that it was in compliance with the code, and that building height variances had not been granted on an adjacent lot.

Bozena Jaworski, RPP Architects, 3837 East 7th Street, project architect, noted that the project had been designed to be more than two feet under code-allowed height, and that there would be no view preservation even if it was reduced further, because of the configuration of the lot and adjacent buildings. Ms. Jaworski also said that the beach access around the project would not be affected.

Mr. Carpenter added that the project did not impact any protected views, just the lateral views down the coast towards the Queen Mary.

Jim Soboleski, 1750 East Ocean #6, spoke against the project, saying he felt longtime public views would be blocked, including those of the fireworks from Ocean Blvd., and that parking problems would also be created.

James J. Milner, 5131 El Cedral Street, also spoke against the staff recommendation, saying he felt the building would deny public views of the shoreline from 12th Place.

Ernsten Kuo, 16-12th Place, said he thought the building height should be further reduced, and that with the natural slope of the property, it would not be a problem to match heights with 1710 and 1724 to maintain skyline consistency.

Jenny Choi, 16-12th Place, agreed with Mr. Kuo, adding that she thought the roof lines of the homes along Bluff Place should naturally mimic the terraces and slope of the street to help

maintain the integrity of the neighborhood, and that as designed, this would stick out.

Dr. Paul Anile, 1720 Bluff Place, applicant and current lot owner, said that they had carefully designed the home to fit into the staggered skylines along the street.

Mino Fitter, 1720 Bluff Place, future lot owner and developer of the project, noted that he would be occupying one of the two planned condominiums as his primary residence.

Ms. Jaworski expressed sensitivity to view issues, but added that they had already reduced the building height and to do so any more would cost them two stories.

Commissioner Winn said he did understand neighbors' view concerns, and that it was an unfortunate impact, but he pointed out that the architect had worked hard to accommodate all needs.

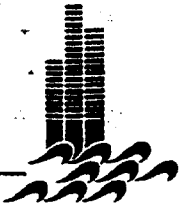
Commissioner Winn then moved to approve the Local Coastal Development Permit, Vesting Tentative Parcel Map No. 060880 and Standards Variance requests for a reduced garage setback, reduced front yard setback, and oversized curb cut, subject to conditions and with two new Department of Public Works conditions.

Commissioner Moyer concurred with her colleague, adding that even though she was an open space advocate, she recognized the property owner's right to build up to the limit, which they were actually below.

Commissioner Moyer then seconded the motion.

Chairman Greenberg noted that the Local Coastal Program did not deal with the question of public views at this location, and that even if the public view at the end of 12th Place was affected occasionally or an extreme view to the right was affected, he didn't see this as substantial; furthermore, he said he felt already-approved homes on the same street were in the same situation. Mr. Greenberg said he was concerned about the neighbors, but he felt that in this case, the owner and architect had worked diligently to take neighborhood views into account.

The question was called, and the motion passed 3-0. Commissioner Stuhlbarg abstained, and Commissioners Sramek and Jenkins were absent.



CITY OF LONG BEACH

DEPARTMENT OF PLANNING AND BUILDING

333 West Ocean Boulevard - 5th Floor

Long Beach, CA 90802

(562) 570-6194

FAX (562) 570-6068

APPLICATION FOR APPEAL

An appeal is hereby made to Your Honorable Body from the decision of the

Zoning Administrator on the _____ day of _____ 19____.

Planning Commission

APPELLANT: Jenny Choi & Emire Kuo

APPLICANT: Paul Anite c/o Bozena Janowski

Project address: 1720 Bluff Place

Permits requested: Local Coastal Devel. Permit; Standards Variance; Vesting Tentative Subdivision Map.

Project description: _____

2-unit, four-story condominium w/ code exemptions
(see attached)

Reason for appeal: PLEASE SEE ATTACHED.

Your appellant herein respectfully requests that Your Honorable Body reject the decision of the () Zoning Administrator or () Planning Commission and () approve or () deny this application.

Signature of Appellant: Jenny Choi Emire Kuo

Print name of Appellant: Jenny Choi Emire E. Kuo

Mailing Address: 116 12th Place

Phone No. 562 435 0257

Note: Please be sure to review the filing instructions on the reverse side of this form. A filing fee may be required.

=====STAFF USE ONLY=====

Counter Staff: LF

Case No. 0312-22

Date: 3/1/04

Filing Fee Required: () Yes () No

Application complete: () Yes () No

**APPLICATION FOR APPEAL
- ADENDUM -**

APPELANT: Jenny Choi and Ernie Kuo
APPLICANT: Paul Anile c/o Bozena Jaworski
Project Address: 1720 Bluff Place
Permits Requested: Local Coastal Development Permit; Standards Variance; Vesting
Tentative Subdivision Map
Project Description: 2-unit, four-story condominium with the following code exceptions: 1) garage setback of 9'0" from the front property line (instead of 20'0"); 2) front yard setback of 2'0" (instead of 8'0"); 3) 32'4" wide curb cut (instead of no more than 20'0").

Reason for Appeal: We respectfully request that the City Council deny all the variances that the applicant is seeking. The variances requested support a structure that is too large for the natural boundaries of the property. Consequently, a large structure would negatively impact the beach, the coastline, the neighborhood as well as the public vista from the surrounding Bluff streets. Furthermore, the variances requested will produce a structure that is taller in height than its existing neighbor and its future neighbor in the adjacent plot. We request that the City Council mandate the applicant to limit the height of the structure so that the total height will terrace according to the natural slope of the street and the roofline of the buildings on Bluff Place. We also urge the City Council to review the previous Building and Planning variance request issue submitted by 1724 Bluff Place and ask the City Council to wisely limit the height of 1720 Bluff Place as a Conditions of Approval.

AGENDA ITEM NO. 3

5

April 19, 2004

Department of Planning and Building
333 W. Ocean Boulevard
7th Floor
Long Beach, CA 90802
ATNN: Lynette Ferenczy

RE: Case No: 0312-22 (1720 Bluff Place)

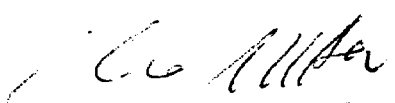
Dear Department of Planning and Building,

This letter serves to notify the City of Long Beach that the owner of 1720 Bluff Place (Mino Fitter) and the neighbors and residents of 12th Place (represented by Jenny Choi and Ernie Kuo) have come to an agreed compromise regarding the building and structure of 1720 Bluff Place. Below is an outline of the stipulations and measurements for the structure.

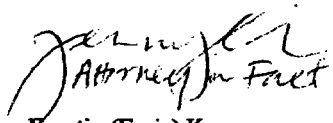
- Total height of the building will not exceed 58' above sea level
- The roof line of the structure will be flat/straight
- An architectural roof (focal point) over the Master Bedroom on the fourth floor will exist but will not exceed 2'6" inclusive of tile
- No roof deck
- Any obstruction on the roof in the form of moveable or immovable furniture or object will be prohibited
- A covenant on the deed will be placed to include all of the above, particularly to protect against future additions and height increase of the building

We request that all of the above be included in the final Conditions of Approval.

All parties have agreed to the above conditions and therefore, any submission for appeal shall be withdrawn. All parties agree to be faithful and responsible to the conditions stated above and will view this agreement as a binding contract.


Mino Fitter
3204 Cherry Ave.
Long Beach, CA 90807


Jenny Choi
16 12th Place
Long Beach, CA 90802


Ernstin (Ernie) Kuo
16 12th Place
Long Beach, CA 9802