

PACIFIC POINTE at DOUGLAS PARK

PD-32 NORTH - Cover Street, Between McGowen Street & Schaufele Avenue,
Long Beach, CA

Design Review Committee Site Plan Review 1st Submittal

OWNER/APPLICANT: SRG Acquisition, LLC
18802 BARDEEN AVENUE, IRVINE, CA 92612-1521
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14349 FIRESTONE BLVD., LA MIRAD, CA 90638
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CONTACT: BRETT FRENCH - 909.626.4663

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VICINITY MAP:



VICINITY MAP
1/2" = 1' = 1" = 1"

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PACIFIC POINTE at DOUGLAS PARK
PD-32 NORTH - Cover Street Between McGowen Street & Schaufele Avenue, Long Beach, CA
SRG Acquisition, LLC
18802 Bardeen Avenue, Irvine, CA 92612-1521 - 949.809.2414

TITLE SHEET

CONSULTANT:

JOB NO:
10061
DATE ISSUED:
1.3.11
DRAWN BY:
CMH

NO.	REVISIONS	DATE
1ST PRE-SUB. DRG BOARD		1.3.11
FINAL CONCEPT SITE PLAN		8.16.11
1ST SUB. SPECIFIC		8.16.11

T-1

OVERALL TABULATIONS BUILDINGS 1 - 4

SITE AREA	12.589	AC	547,489 SF
TOTAL BUILDING AREA (PER PLANNING CALCS)			259,014 SF
LOT COVERAGE (PER PLANNING CALCS)			44.02%
FLOOR AREA RATIO (FAR) (PER PLANNING CALCS)			47.31%
TOTAL PARKING REQUIRED			390 STALLS
TOTAL PARKING PROVIDED			403 STALLS
PARKING RATIO / 1000			1.56
TYPE OF BUILDING CONSTRUCTION			TYPE V-S
AUTOMATIC FIRE SPRINKLERS			YES
ZONING DISTRICT			DOUGLAS PARK PD-32 NORTH
BUILDING OCCUPANCY			S-1 AND B
CLEAR UNDER BEAM			30'-0"

Column Nos.	1	2	3	4	5	6	7	8	9	10	11
	OVERALL BLDG. GROSS	CONSTR. BLDG. GROSS	FLR. AREA INSIDE FACE	FLR. AREA EXT. FACE	EXTERIOR HORIZONTAL PROJECTIONS	SHAFTS		RESTROOM	UTILITY	BUILDING GROSS NOS. BASED ON GOVERNING ENTITY:	
	OVERALL BLDG. GROSS - FROM exterior face of wall, including exterior horizontal projections, all shafts, two story vol. lobby (SF)	CONSTRUCTION BLDG. GROSS - FROM interior face of wall, including exterior horizontal projections, two floor stair linings, exclude stair shafts & two story vol. lobby (SF)	FLOOR AREA FROM INSIDE FACE OF EXT. WALL(SF)	FLOOR AREA FROM EXTERIOR FACE OF EXT. WALL(SF)	EXTERIOR HORIZONTAL PROJECTION MAIN ENTRY CANOPY (SF)	COURT SHAFT AREA (SF)	STAIR SHAFT AREA (SF)	RESTROOM AREA (SF)		BUILDING DEPT. - FLOOR AREA EXCEPT FROM CBC SECTION 207-F	PLANNING DEPT. - GROSS FLOOR AREA (GFA) PER LPMC 21.16.1070- Floor Area, gross
										AS MEASURED FROM: Inside face of ext. wall exclusive of vent shafts and courts. The floor area of a building or portion thereof not provided with surrounding exterior walls shall be the usable area under the horizontal projection of the roof or floor above. (SF) COLUMN 3 PLUS COLS. 5 MINUS COLUMN 6	Gross floor area (GFA) means the total area of all floors of a building, as measured to the outside surfaces of exterior walls. Gross floor area includes halls, stairways, elevator shafts, garages and mezzanines, except as otherwise defined in a specific section of this Title. For the purpose of calculating GFA in all nonresidential buildings, utility and elevator cores, and stairwells and restrooms shall be exempted. COLUMN 4 MINUS COLS. 6-9
BUILDING 1											
1ST FLOOR	87,843	87,843	86,082	5,800		232	0	456	857		
Office	5,800	5,800	5,800							5,800	4,496 SF
Manufacturing	47,000	47,000	46,120							46,120	47,000
Warehouse	44,000	44,000	44,300							44,300	44,296
Exterior Horiz. Projections (Entry Canopy)	232	232								308	
2ND FLOOR - Office	5,827	5,131	5,858	5,827		318	378	0		5,131	5,131 SF
SUB-TOTAL	103,469	102,773	101,739	103,237		232	318	833	852	101,848	106,826 SF
BUILDING 2											
1ST FLOOR	38,107	38,107	37,200	4,724		180	0	480	878		
Office	4,724	4,724	4,598							4,598	3,589 SF
Manufacturing	18,612	18,612	18,308							18,308	18,612
Warehouse	18,611	18,611	18,308							18,308	18,303
Exterior Horiz. Projections (Entry Canopy)	180	180								308	
2ND FLOOR - Office	4,724	4,027	4,588	4,724		318	378	0		4,027	4,027 SF
SUB-TOTAL	42,831	42,134	41,788	42,871		180	318	838	878	41,781	46,811 SF
BUILDING 3											
1ST FLOOR	30,843	30,843	30,031	4,288		180		438	683		
Office	4,288	4,288	4,145							4,145	3,188 SF
Manufacturing	13,287	13,287	12,843							12,843	13,287
Warehouse	13,287	13,287	12,843							12,843	12,879
Exterior Horiz. Projections (Entry Canopy)	180	180								308	
2ND FLOOR - Office	4,288	3,582	4,145	4,288		318	368	0		3,582	3,582 SF
SUB-TOTAL	34,212	34,815	34,176	35,112		180	318	807	683	34,178	35,916 SF
BUILDING 4											
1ST FLOOR	80,838	80,838	79,742	5,843		232		483	852		
Office	5,843	5,843	5,767							5,767	4,808 SF
Manufacturing	37,488	37,488	36,888							36,888	37,488
Warehouse	37,487	37,487	36,887							36,887	37,189
Exterior Horiz. Projections (Entry Canopy)	232	232								308	
2ND FLOOR - Office	5,842	5,248	5,767	5,842		318	378	0		5,248	5,248 SF
SUB-TOTAL	87,512	88,416	85,509	89,630		232	318	861	852	88,416	94,841 SF
TOTAL ALL BUILDINGS											
1ST FLOOR	247,530	247,530	243,060	20,739		784		1,838	3,042		
Office	20,739	20,739	20,158							20,158	15,881 SF
Manufacturing	114,387	114,387	112,360							112,360	114,387
Warehouse	112,002	112,002	110,541							110,541	110,770
Exterior Horiz. Projections (Entry Canopy)	784	784								1,232	
2ND FLOOR - Office	20,782	17,988	20,158	20,782		1,272	1,504	0		17,988	17,988 SF
TOTAL ALL BUILDINGS	268,684	265,908	263,213	267,900		784	1,272	3,340	3,042	263,509	259,014 SF
PARKING REQ. BASED ON CITY GROSS FLOOR AREA (GFA) *											
OFFICE is less than 25% of Bldg. therefore parked at the average ratio of Manufacturing rate of 2/1000 & Warehouse rate of 1/1000 = 1.5/1000											
MANUFACTURING @ 2/1000											
WAREHOUSE @ 1/1000											
TOTAL REQUIRED PARKING											
PARKING PROVIDED											
STANDARD STALL (8'-6" w. X 18' d.)											
VAN ACCESSIBLE STALL (9' w. X 20' d. + 8' w. aisle)											
STANDARD ACCESS STALL (9' w. X 20' d. + 5' w. aisle)											
VAN POOL (5.4%)											
CAR POOL (5.4%)											
TOTAL PROV. PARKING											

6.15.11
21.15.1070- Floor Area, gross (GFA)
A.
D.

Gross floor area (GFA) means the total area of all floors of a building, as measured to the outside surfaces of exterior walls. Gross floor area includes halls, stairways, elevator shafts, garages and mezzanines, except as otherwise defined in a specific section of this Title. For the purpose of calculating GFA in all nonresidential buildings, utility and elevator cores, and stairwells and restrooms shall be exempted.

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PACIFIC POINTE at DOUGLAS PARK
PO-32 NORTH - Cover Street between McDowell Street & Schaeffler Avenue, Long Beach, CA
SRG Acquisition, LLC
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CONSULTANT:
JOB NO.: **10061**
DATE ISSUED: **1.3.11**
DRAWN BY: **CMH**

NO. REVISIONS DATE:
1ST PRE-QUAL. DPC BOARD 1.3.11
FINAL CONCEPT SITE PLAN 4.10.11
1ST SUB. SPR. CITY 6.18.11

BUILDING 1

SITE AREA	4.86	AC	211,589 SF
TOTAL BUILDING AREA (PER PLANNING CALCS)			199,926 SF
LOT COVERAGE (PER PLANNING CALCS)			46.04%
FLOOR AREA RATIO (FAR) (PER PLANNING CALCS)			47.70%
TOTAL PARKING REQUIRED			153 STALLS
TOTAL PARKING PROVIDED			154 STALLS
PARKING RATIO / 1000			1.53
TYPE OF BUILDING CONSTRUCTION			TYPE V-B
AUTOMATIC FIRE SPRINKLERS			YES
ZONING DISTRICT		DOUGLAS PARK PD-32 NORTH	
BUILDING OCCUPANCY		S-1 AND B	
CLEAR UNDER BEAM		30'-0"	

BUILDING 2

SITE AREA	2.01	AC	87,629 SF
TOTAL BUILDING AREA (PER PLANNING CALCS)			40,531 SF
LOT COVERAGE (PER PLANNING CALCS)			43.30%
FLOOR AREA RATIO (FAR) (PER PLANNING CALCS)			46.25%
TOTAL PARKING REQUIRED			61 STALLS
TOTAL PARKING PROVIDED			64 STALLS
PARKING RATIO / 1000			1.58
TYPE OF BUILDING CONSTRUCTION			TYPE V-B
AUTOMATIC FIRE SPRINKLERS			YES
ZONING DISTRICT		DOUGLAS PARK PD-32 NORTH	
BUILDING OCCUPANCY		S-1 AND B	
CLEAR UNDER BEAM		30'-0"	

Column Nos.	1	2	3	4	5	6	7	8	9	10	11
	OVERALL BLDG. GROSS	CONSTR. BLDG. GROSS	FLR. AREA INSIDE FACE	FLR. AREA EXT. WALL(SF)	EXTERIOR HORIZONTAL PROJECTIONS	SHAFTS	RESTROOM	UTILITY	BUILDING GROSS NOS. BASED ON GOVERNING ENTITY:		
	OVERALL BLDG. GROSS - FROM exterior face of wall, including depths, horizontal projections, all shafts, two story vel. lobby. (SF)	CONSTRUCTION BLDG. GROSS - FROM exterior face of wall, including depths, horizontal projections, 2nd floor stair landings, includes stair shafts & two story vel. lobby. (SF)	FLOOR AREA FROM INSIDE FACE OF EXT. WALL(SF)	FLOOR AREA FROM EXTERIOR FACE OF EXT. WALL(SF)	EXTERIOR HORIZONTAL PROJECTION MAIN ENTRY CANOPY (SF)	COURT SHAFT AREA (SF)	STAR SHAFT AREA (SF)	RESTROOM AREA (SF)	BUILDING DEPT. - FLOOR AREA EXCEPT FROM CBC SECTION 207-F	PLANNING DEPT. - GROSS FLOOR AREA (GFA) PER LBMC 21.15.1070-Floor Area, gross	
BUILDING AREA											
1ST FLOOR	97,842	97,842	96,082	96,082							
Office	5,809	5,809	5,808	5,803		232	0	455	852	5,656	4,498 SF
Manufacturing	47,300	47,000	46,120	47,000						46,120	47,000
Warehouse	44,807	44,807	44,303	44,807					308	44,303	44,289
Exterior Horiz. Projections (Entry Canopy)	389	389								232	
2ND FLOOR - Office	5,827	5,131	5,658	5,827						5,131	5,131 SF
TOTALS	103,489	102,773	101,738	103,237		232	318	653	852	191,886	199,926 SF
PARKING REQ. BASED ON CITY GROSS FLOOR AREA (GFA)*											
OFFICE is less than 25% of Bldg, therefore parked at the average rate of Manufacturing rate of 2/1000 & Warehouse rate of 1/1000 = 1.5/1000										14 STALLS	
MANUFACTURING @ 2/1000										94 STALLS	
WAREHOUSE @ 1/1000										44 STALLS	
TOTAL REQUIRED PARKING										153 STALLS	
PARKING PROVIDED											
STANDARD STALL (8'6" x 18')										132 STALLS	
VAN ACCESSIBLE STALL (9'w. X 20' x 5'w. side)										2 STALLS	
STANDARD ACCE. STALL (9'w. X 20' x 5'w. side)										4 STALLS	
VAN POOL (8.2%)										8 STALLS	
CAR POOL (8.2%)										8 STALLS	
TOTAL PROV. PARKING										154 STALLS	
BICYCLE PARKING REQUIRED BASED ON CITY REQUIREMENTS											
4 BIKES FOR 1ST 50,000 SF										4 BIKES	
1 BIKE FOR EACH ADDITIONAL 50,000 SF										2 BIKES	
TOTAL REQUIRED BICYCLE PARKING										6 BIKES	
TOTAL PROV. BICYCLE PARKING										6 BIKES	
TOTAL NO. OF PD-32 NORTH REQUIRED INTERIOR SHOWER STALLS (1/15,000 SF)										2 SHOWER	
TOTAL INTERIOR SHOWERS PROVIDED										2 SHOWERS	

6.15.11
21.15.1070-Floor Area, gross (GFA)
A. Gross floor area (GFA) means the total area of all floors of a building, as measured to the outside surfaces of exterior walls. Gross floor area includes halls, stairways, elevator shafts, garages and mezzanines, except as otherwise defined in a specific.
D. For the purpose of calculating GFA in all nonresidential buildings, utility and elevator cores, and stairwells and restrooms shall be exempted.

Column Nos.	1	2	3	4	5	6	7	8	9	10	11
	OVERALL BLDG. GROSS	CONSTR. BLDG. GROSS	FLR. AREA INSIDE FACE	FLR. AREA EXT. WALL(SF)	EXTERIOR HORIZONTAL PROJECTIONS	SHAFTS	RESTROOM	UTILITY	BUILDING GROSS NOS. BASED ON GOVERNING ENTITY:		
	OVERALL BLDG. GROSS - FROM exterior face of wall, including depths, horizontal projections, all shafts, two story vel. lobby. (SF)	CONSTRUCTION BLDG. GROSS - FROM exterior face of wall, including depths, horizontal projections, 2nd floor stair landings, includes stair shafts & two story vel. lobby. (SF)	FLOOR AREA FROM INSIDE FACE OF EXT. WALL(SF)	FLOOR AREA FROM EXTERIOR FACE OF EXT. WALL(SF)	EXTERIOR HORIZONTAL PROJECTION MAIN ENTRY CANOPY (SF)	COURT SHAFT AREA (SF)	STAR SHAFT AREA (SF)	RESTROOM AREA (SF)	BUILDING DEPT. - FLOOR AREA EXCEPT FROM CBC SECTION 207-F	PLANNING DEPT. - GROSS FLOOR AREA (GFA) PER LBMC 21.15.1070-Floor Area, gross	
BUILDING AREA											
1ST FLOOR	38,107	38,107	37,205	37,205							
Office	4,724	4,724	4,598	4,724		160	0	480	678	4,588	3,588 SF
Manufacturing	18,812	18,812	18,308	18,812						18,308	18,812
Warehouse	16,811	16,811	16,308	16,811					308	16,308	16,308
Exterior Horiz. Projections (Entry Canopy)	160	160								160	
2ND FLOOR - Office	4,724	4,027	4,588	4,724						4,027	4,027 SF
TOTALS	42,831	42,134	41,780	42,871		160	318	636	678	41,781	40,531 SF
PARKING REQ. BASED ON CITY GROSS FLOOR AREA (GFA)*											
OFFICE is less than 25% of Bldg, therefore parked at the average rate of Manufacturing rate of 2/1000 & Warehouse rate of 1/1000 = 1.5/1000										11 STALLS	
MANUFACTURING @ 2/1000										33 STALLS	
WAREHOUSE @ 1/1000										16 STALLS	
TOTAL REQUIRED PARKING										61 STALLS	
PARKING PROVIDED											
STANDARD STALL (8'6" x 18')										53 STALLS	
VAN ACCESSIBLE STALL (9'w. X 20' x 5'w. side)										1 STALL	
STANDARD ACCE. STALL (9'w. X 20' x 5'w. side)										2 STALLS	
VAN POOL (8.2%)										4 STALLS	
CAR POOL (8.2%)										4 STALLS	
TOTAL PROV. PARKING										64 STALLS	
BICYCLE PARKING REQUIRED BASED ON CITY REQUIREMENTS											
4 BIKES FOR 1ST 50,000 SF										4 BIKES	
1 BIKE FOR EACH ADDITIONAL 50,000 SF										0 BIKES	
TOTAL REQUIRED BICYCLE PARKING										4 BIKES	
TOTAL PROV. BICYCLE PARKING										4 BIKES	
TOTAL NO. OF PD-32 NORTH REQUIRED INTERIOR SHOWER STALLS (1/15,000 SF)										1 SHOWER	
TOTAL INTERIOR SHOWERS PROVIDED										1 SHOWER	

6.15.11
21.15.1070-Floor Area, gross (GFA)
A. Gross floor area (GFA) means the total area of all floors of a building, as measured to the outside surfaces of exterior walls. Gross floor area includes halls, stairways, elevator shafts, garages and mezzanines, except as otherwise defined in a specific.
D. For the purpose of calculating GFA in all nonresidential buildings, utility and elevator cores, and stairwells and restrooms shall be exempted.

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A DIVISION OF ISA, INC.
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PACIFIC POINTE at DOUGLAS PARK
PD-32 NORTH - Cover Street Between McGowan Street & Schmale Avenue, Long Beach, CA
OWNER/APPLICANT: **SRG Acquisition, LLC**
18802 Bardonia Avenue, Irvine, CA 92612-1321 - 949.809.2414
CONSULTANT:
SHEET TITLE: **TABULATIONS BUILDINGS 1 & 2**

JOB NO.: **10061**
DATE ISSUED: **1.3.11**
DRAWN BY: **CMH**

NO.	REVISION	DATE

BUILDING 3

SITE AREA

TOTAL BUILDING AREA (PER PLANNING CALCS)	1.73	AC	75,561 SF
LOT COVERAGE (PER PLANNING CALCS)			33,016 SF
FLOOR AREA RATIO (FAR) (PER PLANNING CALCS)			40.82%
TOTAL PARKING REQUIRED			50 STALLS
TOTAL PARKING PROVIDED			62 STALLS
PARKING RATIO / 1000			1.57
TYPE OF BUILDING CONSTRUCTION			TYPE V-B
AUTOMATIC FIRE SPRINKLERS			YES
ZONING DISTRICT		DOUGLAS PARK PD-32 NORTH	
BUILDING OCCUPANCY		S-1 AND B	
CLEAR UNDER BEAM		30'-0"	

BUILDING 4

SITE AREA

TOTAL BUILDING AREA (PER PLANNING CALCS)	3.96	AC	172,704 SF
LOT COVERAGE (PER PLANNING CALCS)			84,541 SF
FLOOR AREA RATIO (FAR) (PER PLANNING CALCS)			46.87%
TOTAL PARKING REQUIRED			48.95%
TOTAL PARKING PROVIDED			127 STALLS
PARKING RATIO / 1000			133 STALLS
TYPE OF BUILDING CONSTRUCTION			1.57
AUTOMATIC FIRE SPRINKLERS			TYPE V-B
ZONING DISTRICT		DOUGLAS PARK PD-32 NORTH	YES
BUILDING OCCUPANCY		S-1 AND B	
CLEAR UNDER BEAM		30'-0"	

Column Nos.	1	2	3	4	5	6	7	8	9	10	11
OVERALL BLDG. GROSS											
CONSTR. BLDG. GROSS											
FLR. AREA INSIDE FACE											
FLR. AREA EXT. FACE											
EXTERIOR HORIZONTAL PROJECTIONS											
SHAFTS											
RESTROOM											
UTILITY											
BUILDING GROSS NOS. BASED ON GOVERNING ENTITY:											
BUILDING DEPT. - FLOOR AREA EXCEPT FROM CBC SECTION 207-F											
PLANNING DEPT. - GROSS FLOOR AREA (GFA) PER LPMC 21.15.1070-Floor Area, gross											
AS MEASURED FROM: inside face of ext. wall exclusive of vent shafts and courts. The floor area of a building or portion thereof not provided with surrounding exterior walls shall be the usable area under the horizontal projection of the roof or floor above. (SF). COLUMN 3 PLUS COLUMNS MINUS COLUMN 6											
Gross floor area (GFA) means the total area of all floors of a building, as measured to the outside surfaces of exterior walls. Gross floor area includes halls, stairways, elevator shafts, garages and mezzanines, except as otherwise defined in a specific section of this Title. For the purpose of calculating GFA in all nonresidential buildings, utility and elevator cores, and stairwells and restrooms shall be exempted. COLUMN 4 MINUS COLUMNS 6-9											
1ST FLOOR											
Office	30,843	30,843	30,031	4,259	180	438	863			4,145	3,198 SF
Manufacturing	13,287	13,287	12,843	13,287						13,287	
Warehouse	13,287	13,287	12,843	13,287				308		12,843	12,879
Exterior Horizontal Projections (Entry Canopy)	180	180								180	
2ND FLOOR - Office	4,259	3,562	4,145	4,259		318	369	0		3,562	3,562 SF
TOTALS	35,272	34,866	34,178	35,112	180	318	807	863		34,178	33,016 SF
PARKING REQ. BASED ON CITY GROSS FLOOR AREA (GFA) *											
OFFICE is less than 25% of Bldg. therefore parked at the average ratio of Manufacturing rate of 21/1000 & Warehouse rate of 1/1000 = 1.5/1000											10 STALLS
MANUFACTURING @ 21/1000											27 STALLS
WAREHOUSE @ 1/1000											13 STALLS
TOTAL REQUIRED PARKING											50 STALLS
PARKING PROVIDED											
STANDARD STALL (8'6" x 18'6")											44 STALLS
VAN ACCESSIBLE STALL (8'6" x 20'6" + 5'w. aisle)											1 STALLS
STANDARD ACCESSIBLE STALL (8'6" x 20'6" + 5'w. aisle)											1 STALLS
VAN POOL (8.2%)											3 STALLS
CAR POOL (8.2%)											3 STALLS
TOTAL PROV. PARKING											62 STALLS
BICYCLE PARKING REQUIRED BASED ON CITY REQUIREMENTS											
4 BIKES FOR 1ST 50,000 SF											4 BIKES
1 BKE FOR EACH ADDITIONAL 50,000 SF											0 BIKES
TOTAL REQUIRED BICYCLE PARKING											4 BIKES
TOTAL PROV. BICYCLE PARKING											4 BIKES
TOTAL NO. OF PD-32 NORTH REQUIRED INTERIOR SHOWER STALLS (185,000 SF)											1 SHOWER
TOTAL INTERIOR SHOWERS PROVIDED											1 SHOWER

6.15.11
21.15.1070-Floor Area, gross (GFA)

A. Gross floor area (GFA) means the total area of all floors of a building, as measured to the outside surfaces of exterior walls. Gross floor area includes halls, stairways, elevator shafts, garages and mezzanines, except as otherwise defined in a specific section of this Title.
D. For the purpose of calculating GFA in all nonresidential buildings, utility and elevator cores, and stairwells and restrooms shall be exempted.

Column Nos.	1	2	3	4	5	6	7	8	9	10	11
OVERALL BLDG. GROSS											
CONSTR. BLDG. GROSS											
FLR. AREA INSIDE FACE											
FLR. AREA EXT. FACE											
EXTERIOR HORIZONTAL PROJECTIONS											
SHAFTS											
RESTROOM											
UTILITY											
BUILDING GROSS NOS. BASED ON GOVERNING ENTITY:											
BUILDING DEPT. - FLOOR AREA EXCEPT FROM CBC SECTION 207-F											
PLANNING DEPT. - GROSS FLOOR AREA (GFA) PER LPMC 21.15.1070-Floor Area, gross											
AS MEASURED FROM: inside face of ext. wall exclusive of vent shafts and courts. The floor area of a building or portion thereof not provided with surrounding exterior walls shall be the usable area under the horizontal projection of the roof or floor above. (SF). COLUMN 3 PLUS COLUMNS MINUS COLUMN 6											
Gross floor area (GFA) means the total area of all floors of a building, as measured to the outside surfaces of exterior walls. Gross floor area includes halls, stairways, elevator shafts, garages and mezzanines, except as otherwise defined in a specific section of this Title. For the purpose of calculating GFA in all nonresidential buildings, utility and elevator cores, and stairwells and restrooms shall be exempted. COLUMN 4 MINUS COLUMNS 6-9											
1ST FLOOR											
Office	80,338	80,338	79,742	5,843	232	483	852			5,787	4,608 SF
Manufacturing	5,843	5,843	5,797	5,843						5,843	
Warehouse	37,497	37,497	36,987	37,497				308		36,987	37,498
Exterior Horizontal Projections (Entry Canopy)	792	792								792	
2ND FLOOR - Office	5,842	5,246	5,787	5,842		318	375	0		5,246	5,246 SF
TOTALS	87,112	88,416	85,500	88,880	232	318	801	852		85,811	84,841 SF
PARKING REQ. BASED ON CITY GROSS FLOOR AREA (GFA) *											
OFFICE is less than 25% of Bldg. therefore parked at the average ratio of Manufacturing rate of 21/1000 & Warehouse rate of 1/1000 = 1.5/1000											15 STALLS
MANUFACTURING @ 21/1000											75 STALLS
WAREHOUSE @ 1/1000											37 STALLS
TOTAL REQUIRED PARKING											127 STALLS
PARKING PROVIDED											
STANDARD STALL (8'6" x 18'6")											113 STALLS
VAN ACCESSIBLE STALL (8'6" x 20'6" + 5'w. aisle)											2 STALLS
STANDARD ACCESSIBLE STALL (8'6" x 20'6" + 5'w. aisle)											4 STALLS
VAN POOL (8.2%)											7 STALLS
CAR POOL (8.2%)											7 STALLS
TOTAL PROV. PARKING											133 STALLS
BICYCLE PARKING REQUIRED BASED ON CITY REQUIREMENTS											
4 BIKES FOR 1ST 50,000 SF											4 BIKES
1 BKE FOR EACH ADDITIONAL 50,000 SF											1 BIKES
TOTAL REQUIRED BICYCLE PARKING											5 BIKES
TOTAL PROV. BICYCLE PARKING											5 BIKES
TOTAL NO. OF PD-32 NORTH REQUIRED INTERIOR SHOWER STALLS (185,000 SF)											2 SHOWER
TOTAL INTERIOR SHOWERS PROVIDED											2 SHOWER

6.15.11
21.15.1070-Floor Area, gross (GFA)

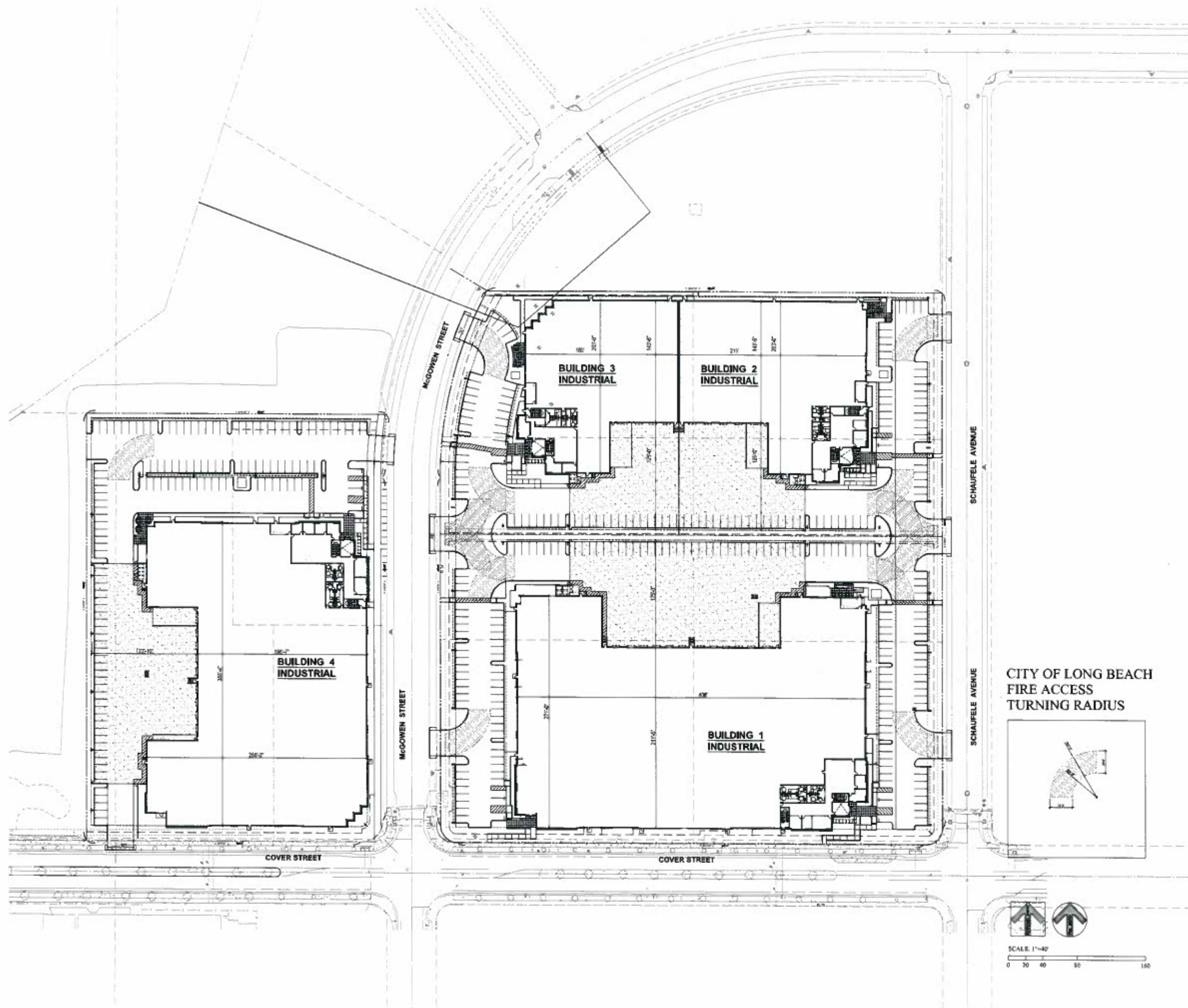
A. Gross floor area (GFA) means the total area of all floors of a building, as measured to the outside surfaces of exterior walls. Gross floor area includes halls, stairways, elevator shafts, garages and mezzanines, except as otherwise defined in a specific section of this Title.
D. For the purpose of calculating GFA in all nonresidential buildings, utility and elevator cores, and stairwells and restrooms shall be exempted.

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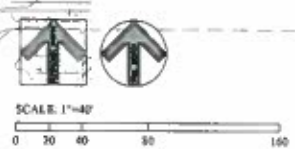
PACIFIC POINTE at DOUGLAS PARK
PD-32 NORTH - Cover Street Between McGowan Street & Scheffel Avenue, Long Beach, CA
PROJECT TITLE: SRG Acquisition, LLC
OWNER/APPLICANT: SRG Acquisition, LLC
18802 Bardonia Avenue, Inland, CA 92612-1521, 949.809.2414
SHEET TITLE: TABULATIONS BUILDINGS 3 & 4

CONSULTANT:
JOB NO.: 10061
DATE ISSUED: 1.3.11
DRAWN BY: CMH

NO. REVISION: DATE:
1ST PRE-40% D&G BOARD 1.3.11
FINAL CONCEPT SITE PLAN 6.15.11
1ST PUB. SUB-CITY 6.15.11



CITY OF LONG BEACH
FIRE ACCESS
TURNING RADIUS



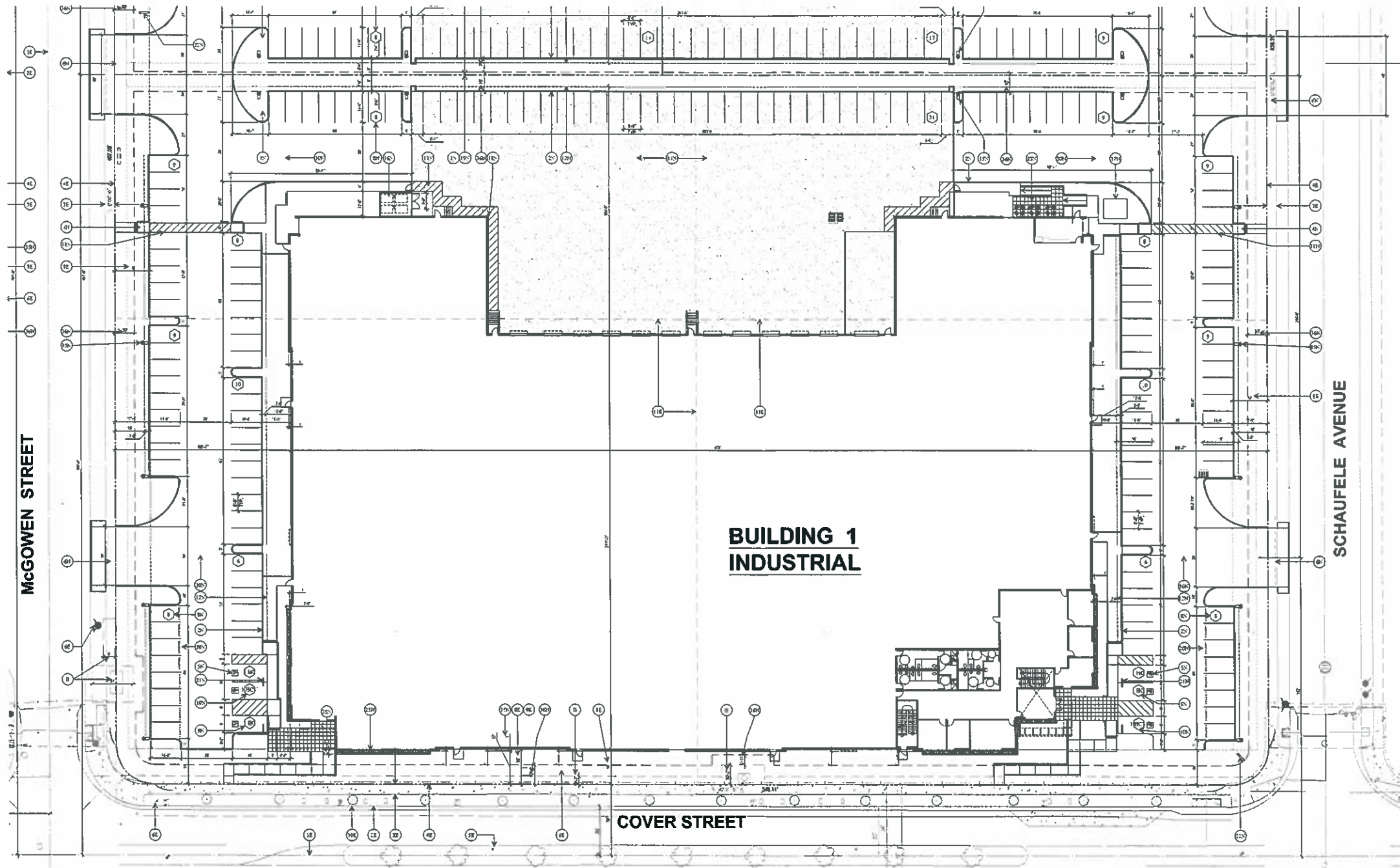
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PACIFIC POINTE at DOUGLAS PARK
PROJECT TITLE: PD-32 NORTH - Cover Street Between McGowen Street & Schaufele Avenue, Long Beach, CA
OWNER/APPLICANT: SRG Acquisition, LLC
18812 Burleigh Avenue, Irvine, CA 92614-3211 • 949.809.2414
CONSULTANT:
SHEET TITLE: PROPOSED OVERALL SITE PLAN

JOB NO.: 10061
DATE ISSUED: 1.3.11
DRAWN BY: CMH

NO.	REVISIONS:	DATE:
1ST	PRE-SUB. DRG. REVIEW	1.3.11
2ND	FINAL CONCEPT SITE PLAN	6.10.11
3RD	SUB. SPR CITY	6.16.11
4TH	SUB. SPR CITY	8.31.11

A1.0



KEYNOTES NEW SITE CONDITIONS

- | | | |
|---|--|--|
| 101 NEW RELOCATED PROPERTY LINE VIA A LOT LINE MERGER | 91 NEW STD. ACCESSIBLE STALL COUNT NUMBER | 180 NEW 6'-0" HIGH TRASH ENCLOSURE 8'W/11' WITH METAL SWINGING GATES |
| 201 NEW CURB | 100 NEW VAN ACCESSIBLE STALL COUNT NUMBER | 170 NEW TRANSFORMER |
| 301 NEW CONCRETE WALKWAY | 110 NEW ACCESSIBLE PATH OF TRAVEL PAINTED STRIPING | 160 NEW POLE PIPE BOLLARD |
| 401 NEW ACCESSIBLE PATH OF TRAVEL RAMP | 120 NEW PARKING STALL OVERHANG LINE | 150 NEW WROUGHT IRON FENCE 8'-0" HIGH |
| 501 NEW ACCESSIBLE WHEEL CHAIR PARKING STALL SYMBOL | 130 NEW CONCRETE ASPHALT PARKING ASLE AND PARKING SPACE PAVING | 200 PARKING STALL PAVEMENT NOTING "W/POOL OR CARPOOL" PARKING STALLS |
| 601 NEW DRIVE ENTRY APPROACH | 140 NEW CONCRETE SLAB AREA SOLAR REFLECTANCE VALUE OF AT LEAST 20% | 210 CONCRETE WHEEL STOP |
| 701 NEW FIRE DEPARTMENT CONNECTION | 150 NEW SITE LIGHTING FIXTURE, WITH GLARE SHIELDS TO AVOID LIGHT INTRUSION ONTO OTHER PROPERTIES | 220 NEW SITE PROPOSED MONUMENT SIGNAGE LOCATION |
| 801 NEW PARKING STALL COUNT NUMBER | | 230 NEW CONCRETE OUTDOOR PATIO AREA WITH ACCENT LIGHTING & OUTDOOR FURNITURE |
| | | 240 NEW LANDSCAPE AREA WITH PROPERTY |
| | | 250 NEW LANDSCAPE DECORATIVE GRAVEL STRIP |
| | | 260 NEW LANDSCAPE AREA NOT WITHIN PROPERTY |
| | | 270 IF H.C. CONCRETE SCREEN WALL |
| | | 280 NEW FIRE LANE 20' WIDE WITH TURNING RADIUS - 20' INSIDE, 54' + OUTSIDE |
| | | 290 NEW VEHICULAR CIRCULATION TRAFFIC ARROWS |
| | | 300 NEW BIKE RACKS SEE TABULATIONS FOR QUANTITIES |
| | | 310 NEW RED PAINTED CURBS |
| | | 320 ARCHITECTURAL PROTRUSIONS OF A MAX. OF 2'-8" ARE ALLOWED INTO BUILDING SETBACK AS LONG AS THE PROTRUSION HAS NO USEABLE SPACE PER 21.32.220 C & 21.15.230 OF LMC |
| | | 330 PROPOSED ENVIRONMENTAL EASEMENT |

KEYNOTES EXISTING SITE CONDITIONS

- | | |
|--|---|
| 1E EXIST. CENTER LINE OF EXISTING STREET | 10E EXIST. STREET TREES |
| 2E EXIST. PUBLIC CURB | 11E EXIST. PROPERTY LINE TO BE PROCESSED FOR A 'LOT-MERGER' |
| 3E EXIST. PUBLIC SIDEWALK | |
| 4E EXIST. PROPERTY LINE | |
| 5E EXIST. PUBLIC CENTER MEDIAN | |
| 6E EXIST. PUBLIC FIRE HYDRANT | |
| 7E EXIST. STREET LIGHTING | |
| 8E EXIST. BLDG. SETBACK LINE | |
| 9E EXIST. LANDSCAPE SETBACK LINE | |

SCALE: 1"=20'

EXISTING EASEMENTS

- A AN EASEMENT FOR PUBLIC STREET PURPOSES OVER THAT PORTION OF SAIDLAND WITHIN BRAY STATION ROAD, AS SHOWN ON THE MAP OF TRACT NO. 8084, AS PER MAP RECORDED IN BOOK 171 PAGES 24 THROUGH 30, INCLUSIVE, OF MAPS; ALSO PRIVATE EASEMENTS OR LESSER RIGHTS FOR INGRESS AND EGRESS IN FAVOR OF THE OWNERS OF LOTS IN SAID TRACT NO. 8084, SUCH EASEMENTS HAVING BEEN ACQUIRED UNDER CONVEYANCES OF LOTS BY REFERENCE TO SAID MAP. (SAID EASEMENT PLOTTED HEREON.)
- B AN EASEMENT IN FAVOR OF SOUTHERN CALIFORNIA EDISON COMPANY FOR UNDERGROUND ELECTRICAL SUPPLY SYSTEMS AND COMMUNICATION SYSTEMS, CONSISTING OF WIRES, CONDUITS, VAULTS AND OTHER FACILITIES AS PROVIDED THEREIN AND RIGHTS INCIDENTAL THERETO AS SET FORTH IN A DOCUMENT RECORDED OCTOBER 18, 2007 AS INSTRUMENT NO. 2007-235819 OF OFFICIAL RECORDS. (ONSTE PORTIONS OF SAID EASEMENT ARE PLOTTED HEREON.)

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PACIFIC POINTE at DOUGLAS PARK
 PD-32 (08/11) - Corner Street between McGowen Street & Schaufele Avenue - Long Beach, CA
SRG Acquisition, LLC
 18402 Bushway Avenue, Irvine, CA 92612-1521 - (949) 899-2414

CONSULTANT:
 JOB NO: 10061
 DATE ISSUED: 1.3.11
 DRAWN BY: CMH

A1.1.0

PROPOSED ENLARGED SITE PLAN - BUILDING 1

PLANT LEGEND

PROPOSED TREES (NOTE QUANTITIES INCLUDE ALL BUILDINGS 1-4)

SYMBOL	BOTANICAL	COMMON	SIZE	QUANTITY	WULCOL
	ARBUTUS-LINED (EVERGREEN VERTICAL SCREEN TREE)	STRAWBERRY TREE	36" POT	27	LOW
	CUPRESSUS SEMPERVIRENS (EVERGREEN VERTICAL ACCENT TREE)	ITALIAN CYPRESS	24" BOX	19	LOW
	EUCALYPTUS LEUCOGLYCH ROSE (EVERGREEN VERTICAL SCREEN TREE)	YELLOW GUM EUCALYPTUS	24" BOX	21	LOW
	KOELREUTERIA BIPINNATA (DECIDUOUS FLOWERING ACCENT TREE)	CHERRY PLANE TREE	26" BOX WUL. 11	23	MED
	LONICERA XYLOSTEUM (EVERGREEN VERTICAL ACCENT TREE)	CRANE MYRTLE	36" BOX STD.	18	MED
	MAGNOLIA GRANDIFLORA 'SAKAEI' (EVERGREEN VERTICAL SCREEN TREE)	SOUTHERN MAGNOLIA	48" BOX STD.	18	MED
	PRUNUS LANCEA (EVERGREEN CANOPY SHADE TREE)	AFRICAN SUNAC	24" BOX STD.	82	LOW

PROPOSED SETBACK AREA SCREEN TREES (NOTE QUANTITIES INCLUDE ALL BUILDINGS 1-4)

SYMBOL	BOTANICAL	COMMON	SIZE	QUANTITY	WULCOL
	TRISTEMIA CONFERTIFOLIA (EVERGREEN VERTICAL SHADE TREE)	SPRING BOX	24" BOX STD. 36" BOX STD.	4 40	MED
	PRUNUS ELДАРICA (EVERGREEN VERTICAL SCREEN TREE)	MONDIALE PINE	36" BOX	88	LOW

EXISTING STREET TREES

SYMBOL	BOTANICAL	COMMON	REMARKS
	QUERCUS ILEX	HOLLY OAK	STREET TREES LOCATED ALONG COVER STREET

PROPOSED STREET TREES BY LANDSCAPE MAINTENANCE DISTRICT

SYMBOL	BOTANICAL	COMMON
	QUERCUS VIRGINIANA 'CATHEDRAL'	CATHEDRAL SOUTHERN LIVE OAK (EVERGREEN STREET TREE ALONG MADDEN STREET)
	LAURUS NOBILIS	DRYISE LEM (DECIDUOUS STREET TREE ALONG SCHAUFELE AVENUE STREET)

BUILDING PERIMETER TREE TOTAL FOR BUILDING 1 = 49
(20% = 24" BOX, 70% = 36" BOX AND 48" BOX ACCENT)

24" BOX = 12 - 20%
36" BOX = 22 - 55%
48" BOX = 6 - 15%

PARKING LOT HEDGE / SCREEN SHRUBS

SYMBOL	BOTANICAL	COMMON	SIZE	SPACING	WULCOLS
	ARCTOSTAPHYLOS HOWARD McWINE	HOWARD McWINE MANZANITA	5 GAL.	7' O.C.	LOW
	LIGUSTRUM JAPONICUM	WAX LEAF PRIVET	5 GAL.	7' O.C.	MED
	RHAMNUS BOICOIDES 'LUMEA'	POWDER HORN	5 GAL.	7' O.C.	LOW
	ROSMARINUS OFFICINALIS 'TUSCAN BLUE'	ROSEMARY	5 GAL.	7' O.C.	LOW

LARGE SCALE HEDGE / SCREEN SHRUBS

SYMBOL	BOTANICAL	COMMON	SIZE	SPACING	WULCOLS
	METROSIDEROS ARBorea	TOYON	5 GAL.	7' O.C.	LOW
	RHUS VITICIFOLIA	LEMONADE BERRY	5 GAL.	7' O.C.	LOW
	VESTRISIA FRUTICOSA	COAST ROSEMARY	5 GAL.	7' O.C.	LOW
	XYLOCOPA COMPACTUM	OWEN SHINY Xylocopa	5 GAL.	7' O.C.	MED

SMALL SCALE FOUNDATION SHRUBS

SYMBOL	BOTANICAL	COMMON	SIZE	SPACING	WULCOLS
	BUNUS JAPONICA 'GREEN BEAUTY'	JAPANESE BOYHOOD	5 GAL.	3' O.C.	MED
	LIGUSTRUM TEXANUM	TEXAS PRIVET	3 GAL.	4' O.C.	MED
	NANDINA DOMESTICA SPECIES	HEAVENLY BAMBOO	5 GAL.	3' O.C.	LOW
	ROSMARINUS OFFICINALIS 'TUSCAN BLUE'	ROSEMARY	5 GAL.	3' O.C.	LOW

SHRUB SIZES SHALL BE A MINIMUM:
15% 15 GAL.
35% 5 GAL.
50% 1 GAL.

A MINIMUM OF 50% OF THE PROPOSED LANDSCAPE SHALL BE SOUTHERN CALIFORNIA NATIVE AND / OR DROUGHT TOLERANT. DEFINED AS LOW AND VERY LOW WATER REQUIREMENTS PER WULCOL.

ACCENT SHRUBS

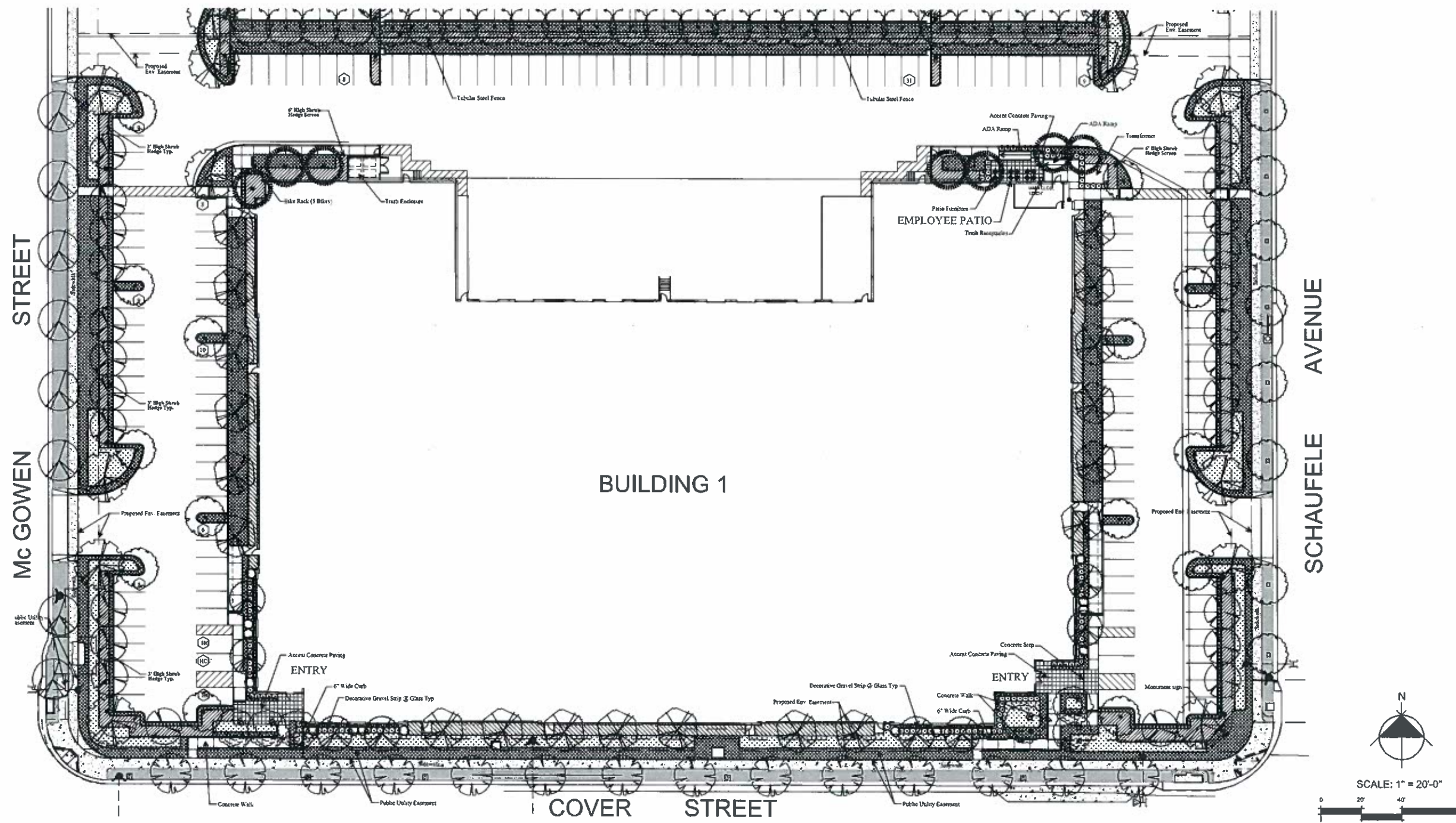
SYMBOL	BOTANICAL	COMMON	SIZE	SPACING	WULCOLS
	AGAVE AMERICANA	CENTURY PLANT	15 GAL.	6' O.C.	LOW
	AGAVE ATTENUATA	FOXTAIL AGAVE	5 GAL.	4' O.C.	LOW
	ANACARDIUM OCCIDENTALE	PISTACHIO NUT	5 GAL.	3' O.C.	LOW
	CALLISTEMON CITRINUS 'LITTLE JOHN'	OHAWY BOTTLEBRUSH	5 GAL.	3' O.C.	LOW
	CISTUS PURPUREUS	POURGON	5 GAL.	4' O.C.	LOW
	OENOTHERA BIENNIS	PORTWINE LILY	5 GAL.	3' O.C.	MED
	LOMANDRA LONGIFOLIA 'BREEZE'	N.C.A.	1 GAL.	3' O.C.	MED
	HESPERALOE PARVIFLORA	DEER GRASS	1 GAL.	3' O.C.	LOW
	PENSTEMON SETACEUS 'RUBRUM'	PURPLE FOXTAIL GRASS	1 GAL.	4' O.C.	LOW
	PHORADENDRON TENAX SPECIES	HYBRID NEW ZEALAND FLAX	1 GAL.	4' O.C.	LOW
	RHAMNUS CALIFORNICA	IRONWOOD	5 GAL.	3' O.C.	MED
	ROSA SPECIES	KENING FLORIBUNDA ROSE	5 GAL.	3' O.C.	MED

GROUND COVER PALLETTE

SYMBOL	BOTANICAL	COMMON	SIZE	SPACING	WULCOLS
	ACACIA 'DESERT CARPET'	N.C.A.	1 GAL.	TRIANGULAR SPACE 4" O.C.	LOW
	ADIANTUM SPECIES	LY OF THE HOLE	1 GAL.	TRIANGULAR SPACE 2" O.C.	MED
	ANEMONE SPECIES	PACIFIC WET MANZANITA	1 GAL.	TRIANGULAR SPACE 3" O.C.	LOW
	CAREX MACROCARPA 'GREEN CARPET'	NATLIE PLUM	1 GAL.	TRIANGULAR SPACE 3" O.C.	MED
	CERASTIUM SPECIES	CARPET CREEPER	1 GAL.	TRIANGULAR SPACE 4" O.C.	LOW
	FICUS SPECIES	BLUE FESCUE	1 GAL.	TRIANGULAR SPACE 12" O.C.	MED
	HEMEROCALLIS HYBRID	DAYLILY	1 GAL.	TRIANGULAR SPACE 24" O.C.	MED
	LIRIODENDRON	NO LILY TURF	1 GAL.	TRIANGULAR SPACE 24" O.C.	MED
	ROSA SPECIES 'CARPET PINK'	ROSE	2 GAL.	TRIANGULAR SPACE 24" O.C.	LOW
	SENECIO MACROCARPA	BLUE CHALKSTICK	4 POTS	TRIANGULAR SPACE 12" O.C.	LOW

LANDSCAPE MAINTENANCE DISTRICT BY OTHERS

SYMBOL	DESCRIPTION
	LANDSCAPE ALONG COVER STREET IS EXISTING AND TO REMAIN. LANDSCAPE ALONG MADDEN AND SCHAUFELE NOT A PART TO BE INSTALLED AND MAINTAINED BY OTHERS.



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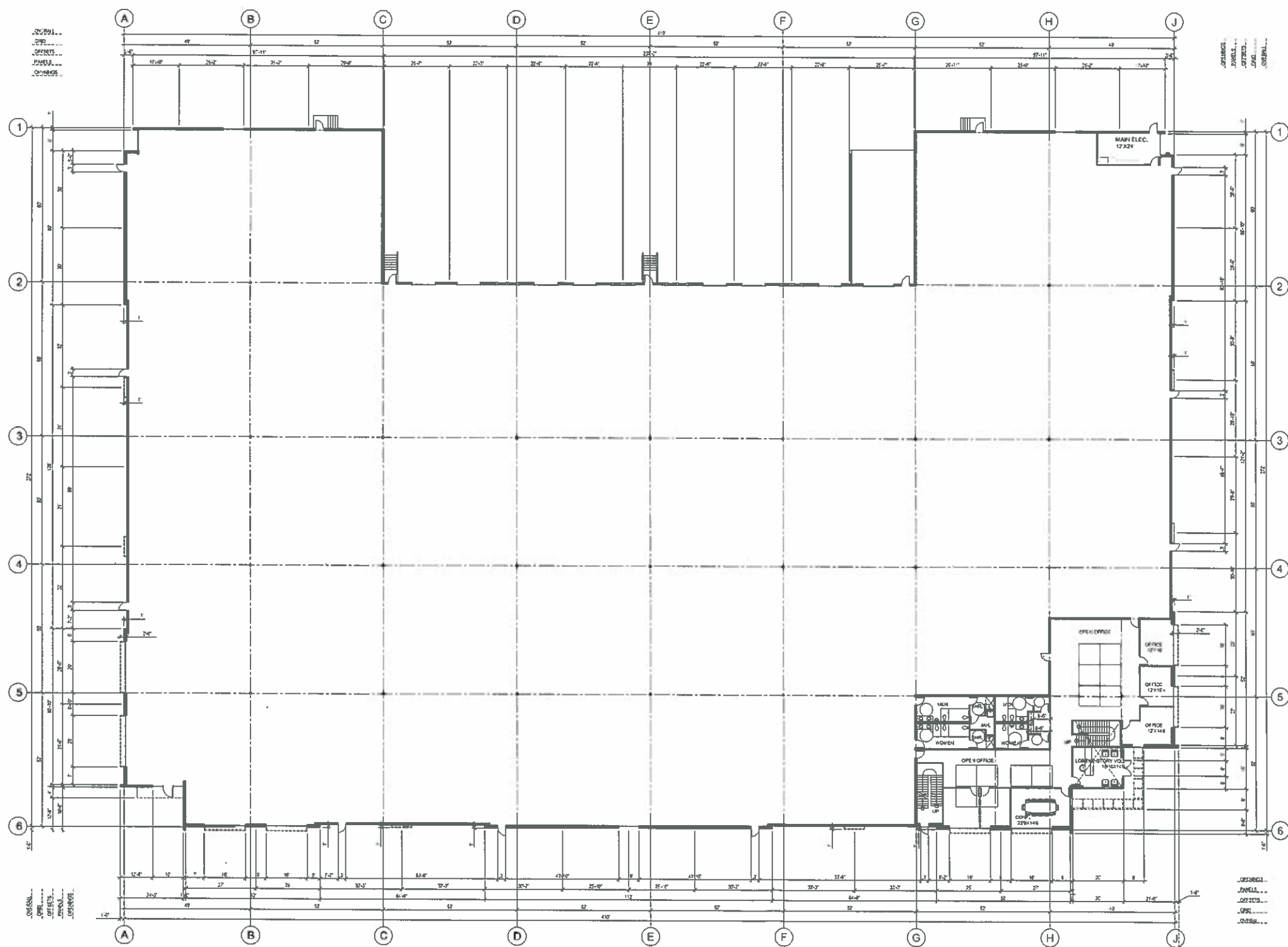
PACIFIC POINTE at DOUGLAS PARK
PROJECT TITLE: PD-32 NORTH - Cover Street Between McGowan Street & Schauffele Avenue, Long Beach, CA
OWNER/APPLICANT: SRG Acquisition, LLC
18402 Bankers Avenue, Irvine, CA 92612-1521 • 949.807.2114

CONSULTANT:
Environs LANDSCAPE ARCHITECTURE
10145 Wilshire Avenue, Suite 100, Los Angeles, CA 90024
TEL: 310.206.1111 FAX: 310.206.1112 WWW: www.environsinc.com

JOB NO.: 10061
DATE ISSUED: 1.3.11
DRAWN BY: CMH

NO. REVISIONS DATE:
1ST PRE-SUB, ORC BOILING 1.3.11
FINAL CONCEPT SITE PLAN 6.10.11
1ST SUB, SPR CITY 6.16.11

L-1



FIRST FLOOR PLAN - BUILDING 1
SCALE: 1/16"=1'-0"



DEREVERE & ASSOCIATES
ARCHITECTURE PLANNING • INTERIORS

PACIFIC POINTE at DOUGLAS PARK
PROJECT TITLE: PD-32 NORTH - Corner Street Between McGowan Street & Schmalzer Avenue, Long Beach, CA
OWNER/APPLICANT: SRF Acquisition, LLC
15402 Siskiyew Avenue, Irvine, CA 92612-1571 • (949) 899-2414

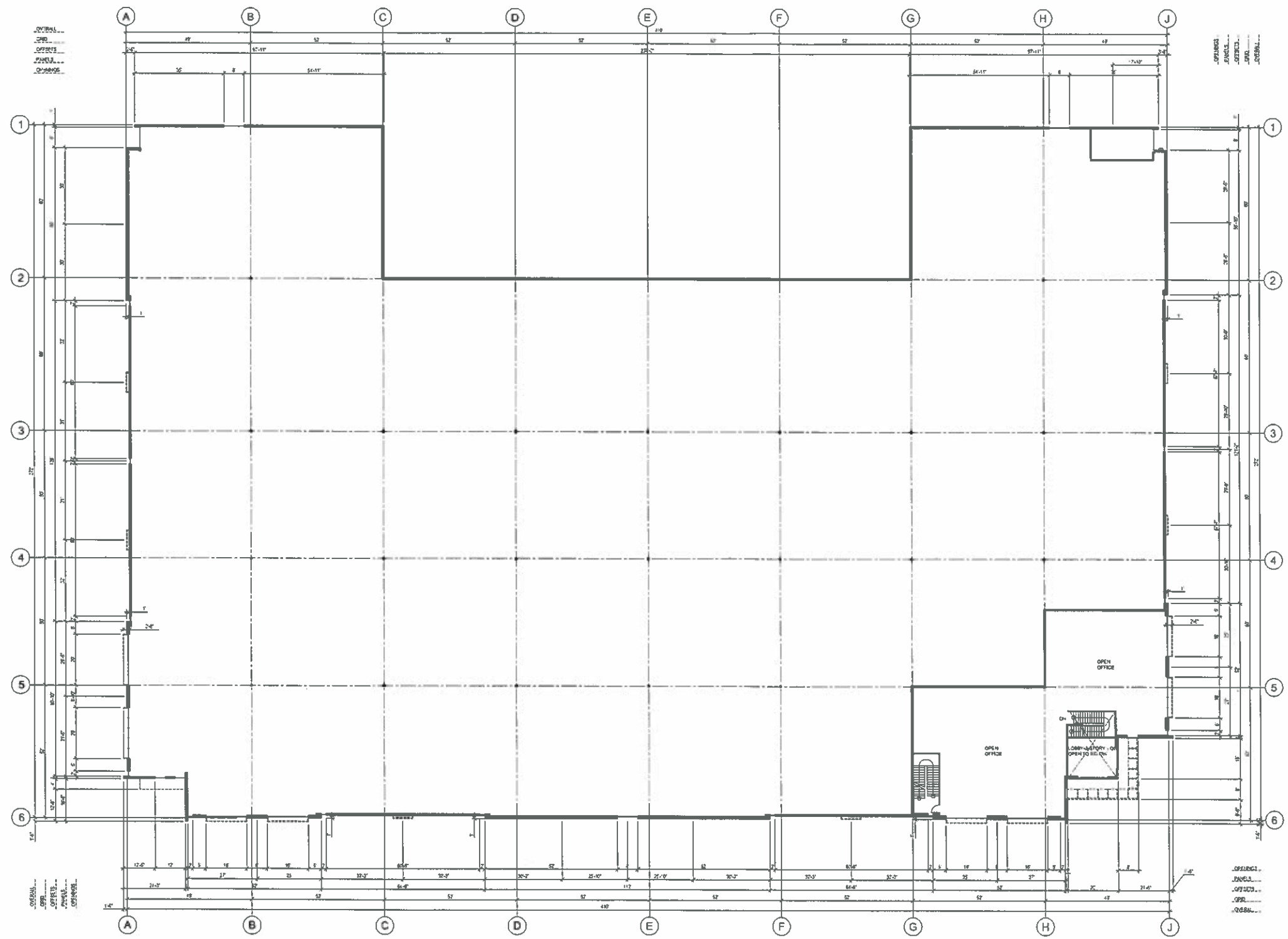
CONSULTANT:

SHEET TITLE: FIRST FLOOR PLAN - BUILDING 1

JOB NO: 10061
DATE ISSUED: 1.3.11
(DRAWN BY) CMH

NO.	REVISIONS	DATE
1ST PRE-COM. DRG. REVIEW	CMH	12.21.11
FINAL CONCEPT SITE PLAN & TITLE	CMH	4.14.11
1ST SUB. SPR. CITY	CMH	6.14.11

A2.1.1




SECOND FLOOR PLAN - BUILDING 1
 SCALE 1/16"=1'-0"
 0 8 16 32 64

DeREVERE & ASSOCIATES
 A DIVISION OF HILLIARD
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 WWW.DERA.COM

PACIFIC POINTE at DOUGLAS PARK
PD32 NORTH - Corner Street Between McGowan Street & Schuette Avenue, Long Beach, CA
SRF Acquistoin, LLC
10002 Barrister Avenue, In. Tr., L.A. 90817-1521 • 909.889.2414
SECOND FLOOR PLAN - BUILDING 1

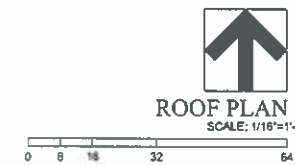
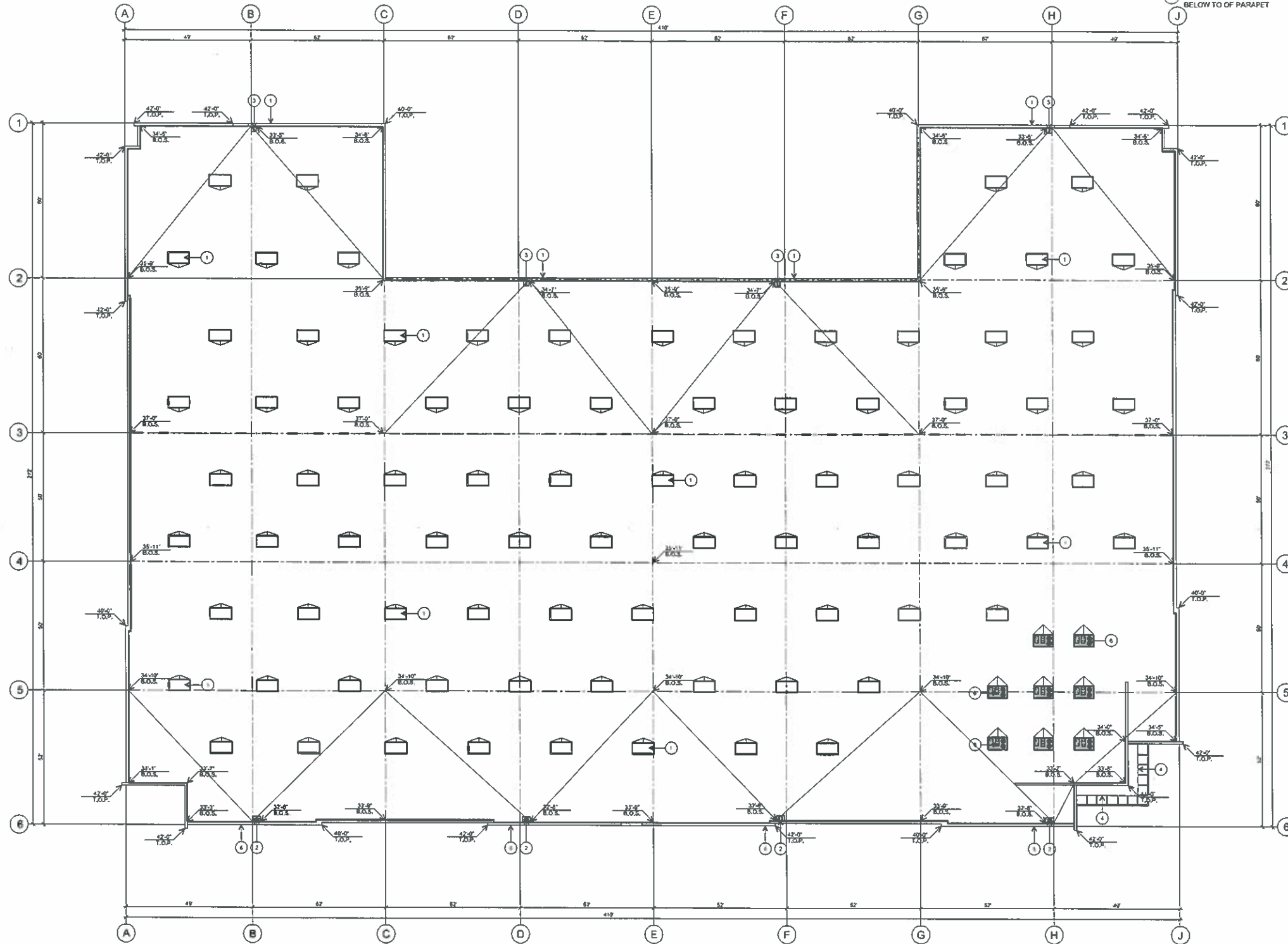
CONSULTANT:

 JOB NO:
10061
 DATE DESIG:
 1.3.11
 DRAWN BY:
 CMH
NO. REVISIONS DATE:
 1ST PRE-SUB. Dwg BOARD 1.3.11
 2ND CONCEPT SITE PLAN 6.10.11
 3RD SUB. SPR CITY 6.16.11

A2.1.2

KEYNOTES

- ① CURB MOUNTED SKYLIGHTS (3% COVERAGE)
- ② INTERNAL ROOF DRAIN AND INTERNAL OVERFLOW DRAIN
- ③ INTERNAL ROOF DRAIN WITH OVERFLOW SCUPPER
- ④ ALUMINUM ENTRY CANOPY
- ⑤ PAINTED CONCRETE PARAPET
- ⑥ CURB MOUNTED MECHANICAL UNIT, TOP OF UNIT TO BE BELOW TO OF PARAPET



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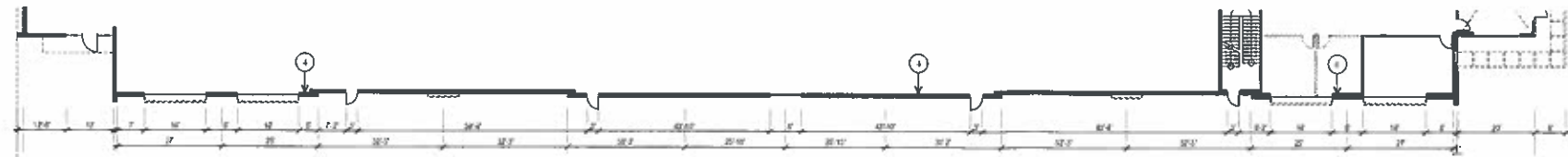
PACIFIC POINTE at DOUGLAS PARK
PROJECT TITLE: PD-32 NORTH - Over Street Between McGowan Street & Scheidele Avenue, Long Beach, CA
 OWNER: SRF Acquistoin, LLC
 14002 Barden Avenue, In The, CA 90803-1521 - 760.407.2414

CONSULTANT:
 JOB NO: **10061**
 DATE ISSUED: 1.3.11
 DRAWN BY: CMH

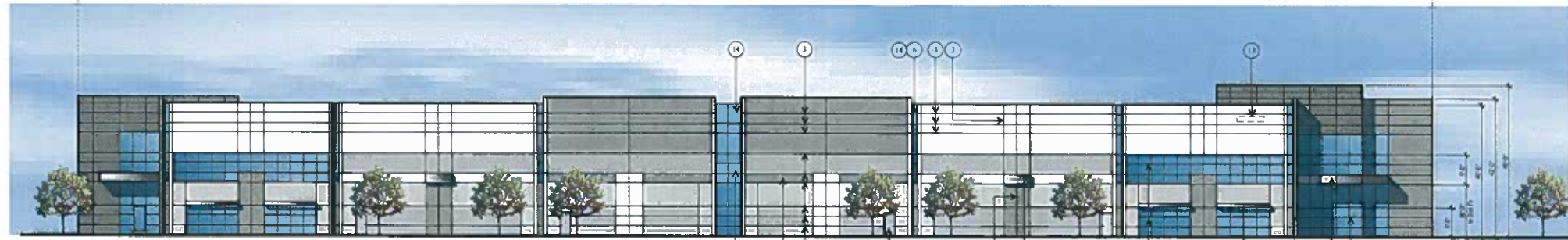
NO. REVISIONS DATE:
BY PREPARED, DATE: 1.3.11
 FINAL CONCEPT SITE PLAN 6.10.11
 TET SUB. SPR CITY 6.18.11

A2.1.3

ROOF PLAN - BUILDING 1



Partial First Floor Plan



BUILDING 1 - SOUTH ELEVATION - Cover Street



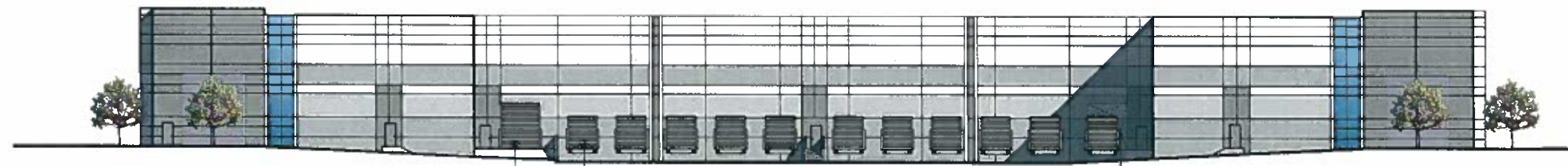
Partial First Floor Plan



BUILDING 1 - EAST ELEVATION - Schaufele Avenue



Partial First Floor Plan



BUILDING 1 - NORTH ELEVATION



Partial First Floor Plan



BUILDING 1 - WEST ELEVATION - McGowen Street

KEYNOTES

SCALE: 1/16" = 1'-0"
0 8 16 32 64

- 1 CONCRETE TILT-UP WALL
- 2 PAINTED CONCRETE PANEL JOINT
- 3 2" DEEP "V" GROOVE (ALL REVEALS)
- 4 12" OFF-SET PANEL
- 5 MEDIUM PERFORMANCE INSULATED BLUE REFLECTIVE BUTT GLAZING BY "DPG" SOLARCOOL (2) PACIFICA, SOLARBAN 60 SET IN CLEAR ANODIZED STOREFRONT SYSTEM
- 6 24" WIDE BLUE REFLECTIVE GLASS ACCENT GLASS TO MATCH COLOR OF KEYNOTE ABOVE
- 7 METAL CANOPY ENTRY OVERHANGS, CLEAR ANODIZED ALUMINUM
- 8 METAL EYEBROW CANOPY FRAME, CLEAR ANODIZED ALUMINUM FINISH
- 9 3'X7' HOLLOW METAL DOOR PAINTED TO MATCH BUILDING
- 10 PAIR OF STOREFRONT ENTRY DOORS
- 11 9'X10' METAL ROLL-UP DOOR PAINTED TO MATCH BUILDING
- 12 12'X14' METAL ROLL-UP DOOR PAINTED TO MATCH BUILDING
- 13 BUILDING ADDRESS
- 14 CONCRETE TILT-UP WALL BEHIND GLAZING (CROSS-HATCHED AREA)
- 15 CONCRETE FIN PROJECTION PANEL
- 16 CONCRETE KNOCK-OUT PANEL

PAINT LEGEND

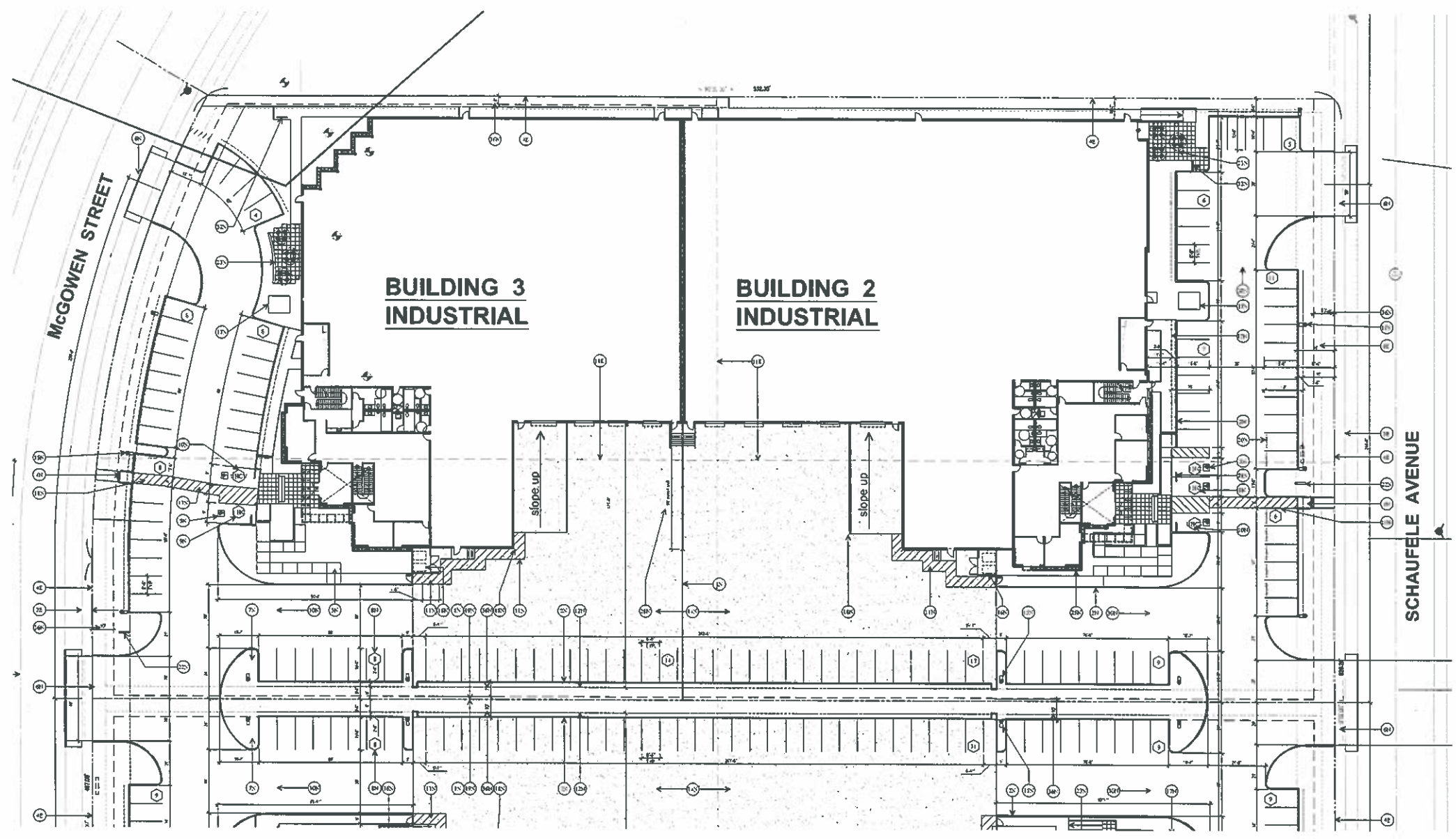
PAINT COLORS TO BE SIMILAR REPRESENTATION ON COLOR ELEVATIONS. FOR EXACT PAINT COLORS SEE EXTERIOR COLOR MATERIAL BOARD

- (A) FIELD PAINT - OFF WHITE - A
- (B) ACCENT PAINT - B
- (C) ACCENT PAINT - C
- (D) ACCENT PAINT - D
- (E) ACCENT PAINT - E

DeRevere & Associates
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ARCHITECTURE • PLANNING • INTERIORS
1001 DAVIS STREET, SUITE 100, SAN JOSE, CA 95128
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PACIFIC POINTE at DOUGLAS PARK
PD-32 NORTH - Cover Street Between McGowen Street & Schaufele Avenue, Long Beach, CA
SRF Acquistoin, LLC
18005 Bandon Avenue, Inglewood, CA 90804-1521 • 909.899.7414

PROJECT TITLE: PACIFIC POINTE at DOUGLAS PARK
OWNER/APPLICANT: SRF Acquistoin, LLC
SHEET TITLE: EXTERIOR ELEVATIONS - BUILDING 1
CONSULTANT:
JOB NO: 10061
DATE ISSUED: 1.3.11
DRAWN BY: CMH
NO. REVISIONS DATE:
1ST PRE-SUB ORG BOEING 1.3.11
FINAL CONCEPT SITE PLAN 6.10.11
1ST SUB. SFR CITY 6.10.11
A3.1.1



DEREVERE & ASSOCIATES
 ARCHITECTURE • PLANNING • INTERIORS
 1801 DAVIS STREET, SUITE 100, WESTPORT BEACH, CA 92081
 TEL: 760.739.1111 FAX: 760.739.1112
 WWW.DEREVEREANDASSOCIATES.COM

PACIFIC POINTE at DOUGLAS PARK
 PD-32 NORTH - Corner Street Between McGowen Street & Schaufele Avenue, Long Beach, CA
SRG Acquisition, LLC
 18802 Burbank Avenue, Irvine, CA 92614-1521 • 949.869.2414

PROJECT TITLE: PROPOSED ENLARGED SITE PLAN - BUILDINGS 2&3
 OWNER: SRG ACQUISITION, LLC
 ARCHITECT: DEREVERE & ASSOCIATES

DATE: 11/11/11

JOB NO.: 10061
 DATE ISSUED: 1.3.11
 DRAWN BY: CMH

NO.	REVISIONS	DATE
1	ISSUE FOR PERMITS	12/11/11
2	ISSUE FOR PERMITS	12/11/11
3	ISSUE FOR PERMITS	12/11/11
4	ISSUE FOR PERMITS	12/11/11
5	ISSUE FOR PERMITS	12/11/11

A1.2&3.0

KEYNOTES NEW SITE CONDITIONS

- | | | |
|---|---|---|
| 101 NEW RELOCATED PROPERTY LINE VIA A LOT LINE MERGER | 99 NEW STD. ACCESSIBLE STALL COUNT NUMBER | 184 NEW 8'0" HIGH TRASH ENCLOSURE 16H WITH METAL SWINGING GATES |
| 201 NEW CURB | 100 NEW VAN ACCESSIBLE STALL COUNT NUMBER | 171 NEW TRANSFORMER |
| 301 NEW CONCRETE WALKWAY | 111 NEW ACCESSIBLE PATH OF TRAVEL PAINTED STRIPING | 180 NEW POLE PIPE BOLLARD |
| 401 NEW ACCESSIBLE PATH OF TRAVEL RAMP | 120 NEW PARKING STALL OVERHANG LINE | 190 NEW WROUGHT IRON FENCE 8'-0" HIGH |
| 501 NEW ACCESSIBLE WHEEL CHAIR PARKING STALL SYMBOL | 130 NEW CONCRETE ASPHALT PARKING AISLE AND PARKING SPACE PAVING | 200 PARKING STALL PAVEMENT NOTING "VAHPOOL OR CARPOOL" PARKING STALLS |
| 601 NEW DRIVE ENTRY APPROACH | 140 NEW CONCRETE SLAB AREA SOLAR REFLECTANCE VALUE OF AT LEAST 28% | 210 CONCRETE WHEEL STOP |
| 701 NEW FIRE DEPARTMENT CONNECTION | 150 NEW SITE LIGHTING FIXTURE WITH GLARE SHIELDS TO AVOID LIGHT INTRUSION ONTO OTHER PROPERTIES | 220 NEW SITE PROPOSED MONUMENT SIGNAGE LOCATION |
| 801 NEW PARKING STALL COUNT NUMBER | | 230 NEW CONCRETE OUTDOOR PATIO AREA WITH ACCENT LIGHTING & OUTDOOR FURNITURE |
| | | 240 NEW LANDSCAPE AREA WITHIN PROPERTY |
| | | 250 NEW LANDSCAPE DECORATIVE GRAVEL STRIP |
| | | 260 NEW LANDSCAPE AREA NOT WITHIN PROPERTY |
| | | 270 8" H. CONCRETE SCREEN WALL |
| | | 280 NEW FIRE LANE 20' WIDE WITH TURNING RADIUS - 25' INSIDE, 54' OUTSIDE |
| | | 310 NEW VEHICULAR CIRCULATION TRAFFIC ARROWS |
| | | 320 NEW BIKE RACKS SEE TABULATIONS FOR QUANTITIES |
| | | 330 NEW RED PAINTED CURBS |
| | | 340 ARCHITECTURAL PROTRUSIONS OF A MAX. OF 7'-6" ARE ALLOWED INTO BUILDING SETBACK AS LONG AS THE PROTRUSION HAS NO USEABLE SPACE PER 21.32.220 C & 21.15.220 OF LDMC |
| | | 350 PROPOSED ENVIRONMENTAL EASEMENT |

KEYNOTES EXISTING SITE CONDITIONS

- | | |
|--|---|
| 1E EXIST. CENTER LINE OF EXISTING STREET | 10E EXIST. STREET TREES |
| 2E EXIST. PUBLIC CURB | 11E EXIST. PROPERTY LINE TO BE PROCESSED FOR A "LOT-MERGER" |
| 3E EXIST. PUBLIC SIDEWALK | |
| 4E EXIST. PROPERTY LINE | |
| 5E EXIST. PUBLIC CENTER MEDIAN | |
| 6E EXIST. PUBLIC FIRE HYDRANT | |
| 7E EXIST. STREET LIGHTING | |
| 8E EXIST. BLDG. SETBACK LINE | |
| 9E EXIST. LANDSCAPE SETBACK LINE | |



SCALE: 1"=20'

EXISTING EASEMENTS

- A** AN EASEMENT FOR PUBLIC STREET PURPOSES OVER THAT PORTION OF SAID LAND WITHIN BRABY STATION ROAD, AS SHOWN ON THE MAP OF TRACT NO. 8084 AS PER MAP RECORDED IN BOOK 171 PAGES 24 THROUGH 30, INCLUSIVE, OF MAPS; ALSO PRIVATE EASEMENTS OR LESSER RIGHTS FOR INGRESS AND EGRESS IN FAVOR OF THE OWNERS OF LOTS IN SAID TRACT NO. 8084, SUCH EASEMENTS HAVING BEEN ACQUIRED UNDER CONVEYANCES OF LOTS BY REFERENCE TO SAID MAP, (SAID EASEMENT PLOTTED HEREON).
- B** AN EASEMENT IN FAVOR OF SOUTHERN CALIFORNIA EDISON COMPANY FOR UNDERGROUND ELECTRICAL SUPPLY SYSTEMS AND COMMUNICATION SYSTEMS, CONSISTING OF WIRES, CONDUITS, VAULTS AND OTHER FACILITIES AS PROVIDED THEREIN, AND RIGHTS INCIDENTAL THERE-TO AS SET FORTH IN A DOCUMENT RECORDED OCTOBER 16, 2007 AS INSTRUMENT NO. 2007-2359819 OF OFFICIAL RECORDS, (DISCRETE PORTIONS OF SAID EASEMENT ARE PLOTTED HEREON).

PLANT LEGEND

PROPOSED TREES (NOTE QUANTITIES INCLUDE ALL BUILDINGS 1 - 4)

SYMBOL	BOTANICAL	COMMON	SIZE	QUANTITY	WULCOL
	ARBUTUS LINDERO (EVERGREEN VERTICAL SCREEN TREE)	STRAWBERRY TREE	36" BOX	22	LOW
	CUPRESSUS SEMPERVIRENS (EVERGREEN VERTICAL ACCENT TREE)	ITALIAN CYPRESS	24" BOX	26	LOW
	EUCALYPTUS LEUCOCORYMBOSA (EVERGREEN VERTICAL SCREEN TREE)	YELLOW GUM EUCALYPTUS	24" BOX	21	LOW
	HOLODENDRON BALFOURII (DECIDUOUS FLOWERING ACCENT TREE)	CHINESE FLAME TREE	36" BOX MULTI	23	MED
	LACERSTROEMIA X FAURIEI (DECIDUOUS FLOWERING ACCENT TREE)	CRAPPE HIRTLE	36" BOX STD.	13	MED
	MACCHIA GRANDIFLORA (EVERGREEN FLOWERING SHADE TREE)	SOUTHERN MAGNOLIA	48" BOX STD.	16	MED
	RHUS LAEVIS (EVERGREEN CANOPY SHADE TREE)	AFRICAN SUMAC	36" BOX STD.	82	LOW
	FICUS RELIGIOSA (EVERGREEN VERTICAL SCREEN TREE)	MONDALE PINE	36" BOX	26	LOW

PROPOSED SETBACK AREA SCREEN TREES (NOTE QUANTITIES INCLUDE ALL BUILDINGS 1 - 4)

SYMBOL	BOTANICAL	COMMON	SIZE	QUANTITY	WULCOL
	FICUS RELIGIOSA (EVERGREEN VERTICAL SHADE TREE)	BREDARE BOX	24" BOX STD. 36" BOX STD.	4 40	MED
	FICUS RELIGIOSA (EVERGREEN VERTICAL SCREEN TREE)	MONDALE PINE	36" BOX	26	LOW

EXISTING STREET TREES

SYMBOL	BOTANICAL	COMMON	REMARKS
	QUERCUS ILEX	HOLLY OAK	STREET TREES LOCATED ALONG COVER STREET

PROPOSED STREET TREES BY LANDSCAPE MAINTENANCE DISTRICT

SYMBOL	BOTANICAL	COMMON	REMARKS
	QUERCUS VIRGINIANA (EVERGREEN STREET TREE ALONG MCGOWEN STREET)	CATHEDRAL SOUTHERN LIVE OAK	
	ULMUS PARVIFOLIA (SEMI-DECIDUOUS STREET TREE ALONG SCHAUFLELE AVENUE STREET)	CHINESE Elm	

BUILDING PERIMETER TREE TOTAL FOR BUILDING 2 = 22
 (30% - 24" BOX, 70% - 36" BOX AND 48" BOX ACCENT)

BUILDING PERIMETER TREE TOTAL FOR BUILDING 3 = 18
 (30% - 24" BOX, 70% - 36" BOX AND 48" BOX ACCENT)

PARKING LOT HEDGE / SCREEN SHRUBS

SYMBOL	BOTANICAL	COMMON	SIZE	SPACING	WULCOLS
	ARCOSTAPHYLOS UVA-URSI	ONWARD ACORN WAXMYRTLE	5 GAL.	3' O.C.	LOW
	LEUCOSTAPHYLOS RUGOSA	WAX LEAF PRINCE	5 GAL.	3' O.C.	MED
	RHAMNUS CALIFORNICA	ROMAN HAWTHORN	5 GAL.	3' O.C.	LOW
	ROSMARINUS OFFICINALIS	ROSEMARY	5 GAL.	3' O.C.	LOW

LARGE SCALE HEDGE / SCREEN SHRUBS

SYMBOL	BOTANICAL	COMMON	SIZE	SPACING	WULCOLS
	HETEROMELES ARBUTIFOLIA	TIDY TREE	5 GAL.	3' O.C.	LOW
	RHUS INTEGRIFOLIA	LEMONADE BERRY	5 GAL.	3' O.C.	LOW
	WESTRINGIA FRUTESCENS	COAST ROSEMARY	5 GAL.	3' O.C.	LOW
	XYLOCOPA CONGESTA	DIARY SHINY XYLOSSMA	5 GAL.	3' O.C.	MED

SMALL SCALE FOUNDATION SHRUBS

SYMBOL	BOTANICAL	COMMON	SIZE	SPACING	WULCOLS
	BUXUS JAPONICA	JAPANESE BOXWOOD	5 GAL.	2' O.C.	MED
	LIGUSTRUM TEXANUM	TEXAS PRIVET	5 GAL.	2' O.C.	MED
	RAVENNA DOMESTICA	HEAVENLY BAMBOO	5 GAL.	2' O.C.	LOW
	ROSMARINUS OFFICINALIS	ROSEMARY	5 GAL.	2' O.C.	LOW

SHRUB SIZES SHALL BE A MINIMUM:
 25% 15 GAL.
 35% 5 GAL.
 60% 1 GAL.

A MINIMUM OF 50% OF THE PROPOSED LANDSCAPE SHALL BE SOUTHERN CALIFORNIA NATIVE AND/OR DROUGHT TOLERANT, DEFINED AS LOW AND VERY LOW WATER REQUIREMENTS PER WULCOL.

ACCENT SHRUBS

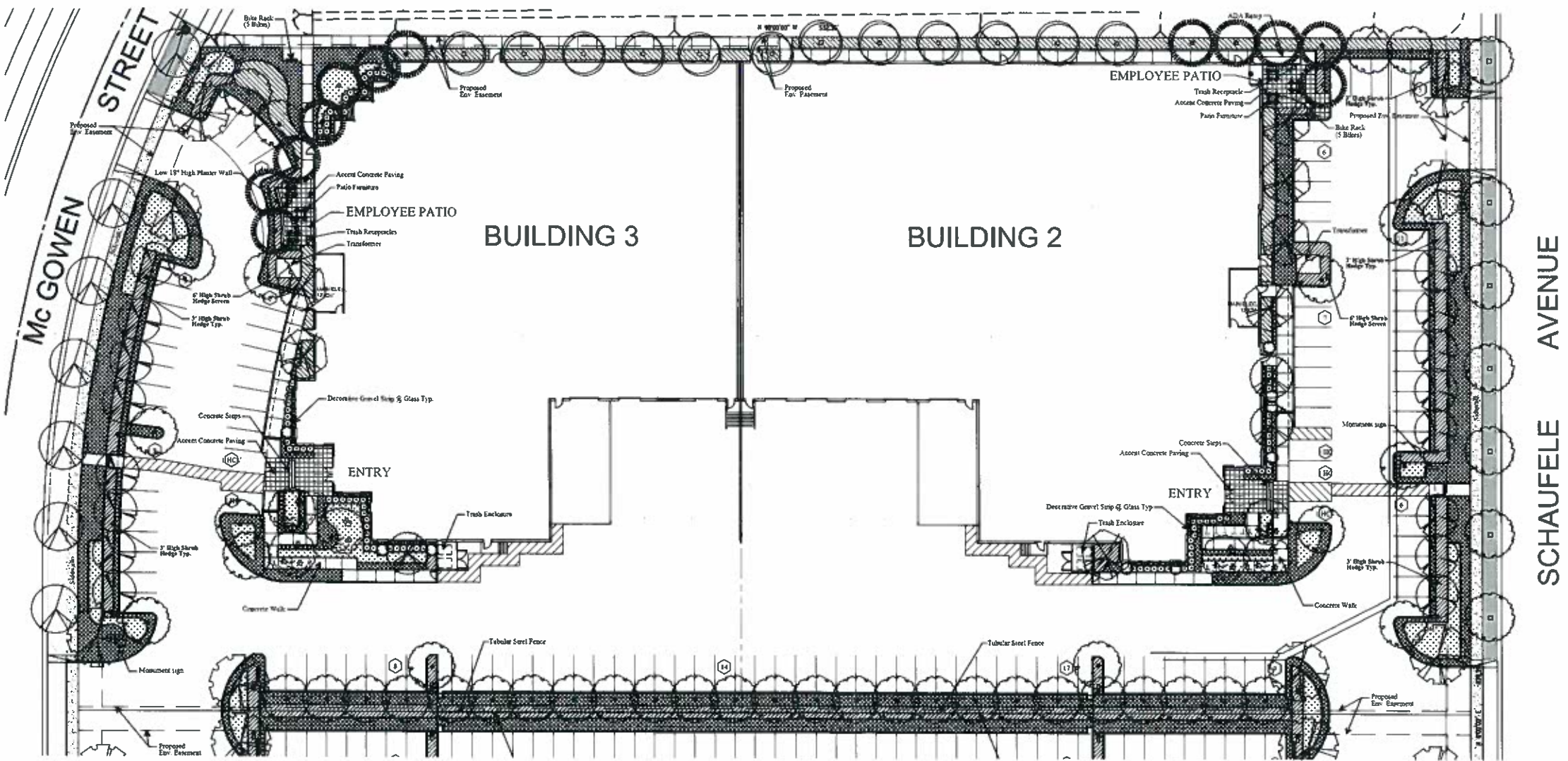
SYMBOL	BOTANICAL	COMMON	SIZE	SPACING	WULCOLS
	AGAVE AMERICANA	CENTURY PLANT	15 GAL.	6' O.C.	LOW
	AGAVE ATTENUATA	FONATAL AGAVE	5 GAL.	4' O.C.	LOW
	ANEMONE PULCHELLA	ANEMONE PULP	5 GAL.	3' O.C.	LOW
	CALLISTEMON CORYMBOSUS	WARF BOTTLEBRUSH	5 GAL.	3' O.C.	LOW
	CESTRUM PUMILIUS	ROSEMOOR	5 GAL.	3' O.C.	LOW
	DIETERS BICOLOR	FORTNIGHT LILY	5 GAL.	3' O.C.	MED
	LONICERA LONGICALYX	NCJA	1 GAL.	3' O.C.	MED
	MALVASTRUM COCCINEUM	DEER GRASS	1 GAL.	3' O.C.	LOW
	PENSTEMON SETACEUS	PURPLE YOUTH GRASS	5 GAL.	3' O.C.	LOW
	PHORMIUM TENAX	HYBRID NEW ZEALAND FLAX	5 GAL.	3' O.C.	LOW
	RHIPHALIS SPECIOSA	ROMAN HAWTHORN	5 GAL.	3' O.C.	MED
	ROSA SPECIES	KIEBERG FLORIBUNDA ROSE	5 GAL.	3' O.C.	MED

GROUND COVER PALLETTE

SYMBOL	BOTANICAL	COMMON	SIZE	SPACING	WULCOLS
	AGAVE DESERTI	NCJA	1 GAL.	TRIANGULAR SPACE 48" O.C.	LOW
	AGAPANTHUS AFRICANUS	LILY OF THE LILY	1 GAL.	TRIANGULAR SPACE 24" O.C.	MED
	AROSTACHYS PACIFICA	PACIFIC NET WINDMILL	1 GAL.	TRIANGULAR SPACE 24" O.C.	LOW
	CAREX MACROCARPA	NATLIE PLUM	1 GAL.	TRIANGULAR SPACE 24" O.C.	MED
	CAREX OBOVATA	CARMEL CREEPER	1 GAL.	TRIANGULAR SPACE 48" O.C.	LOW
	DIANTHUS BARBATUS	BLUE PEAQUE	1 GAL.	TRIANGULAR SPACE 12" O.C.	MED
	FESTUCA OVINA	DAILEY	1 GAL.	TRIANGULAR SPACE 24" O.C.	MED
	HELIANTHUS SCABERRIMUS	BIG LILY TURF	1 GAL.	TRIANGULAR SPACE 24" O.C.	MED
	ROSMARINUS OFFICINALIS	ROSEMARY	1 GAL.	TRIANGULAR SPACE 24" O.C.	LOW
	ROSA SPECIES	ROSE	2 GAL.	TRIANGULAR SPACE 24" O.C.	MED
	SENECIO LANCEOLATUS	BLUE CHAMISTRY	4" POTS	TRIANGULAR SPACE 12" O.C.	LOW

LANDSCAPE MAINTENANCE DISTRICT BY OTHERS

SYMBOL	DESCRIPTION
	LANDSCAPE ALONG COVER STREET IS EXISTING AND TO REMAIN. LANDSCAPE ALONG MCGOWEN AND SCHAUFLELE NOT A PART TO BE INSTALLED AND MAINTAINED BY OTHERS.

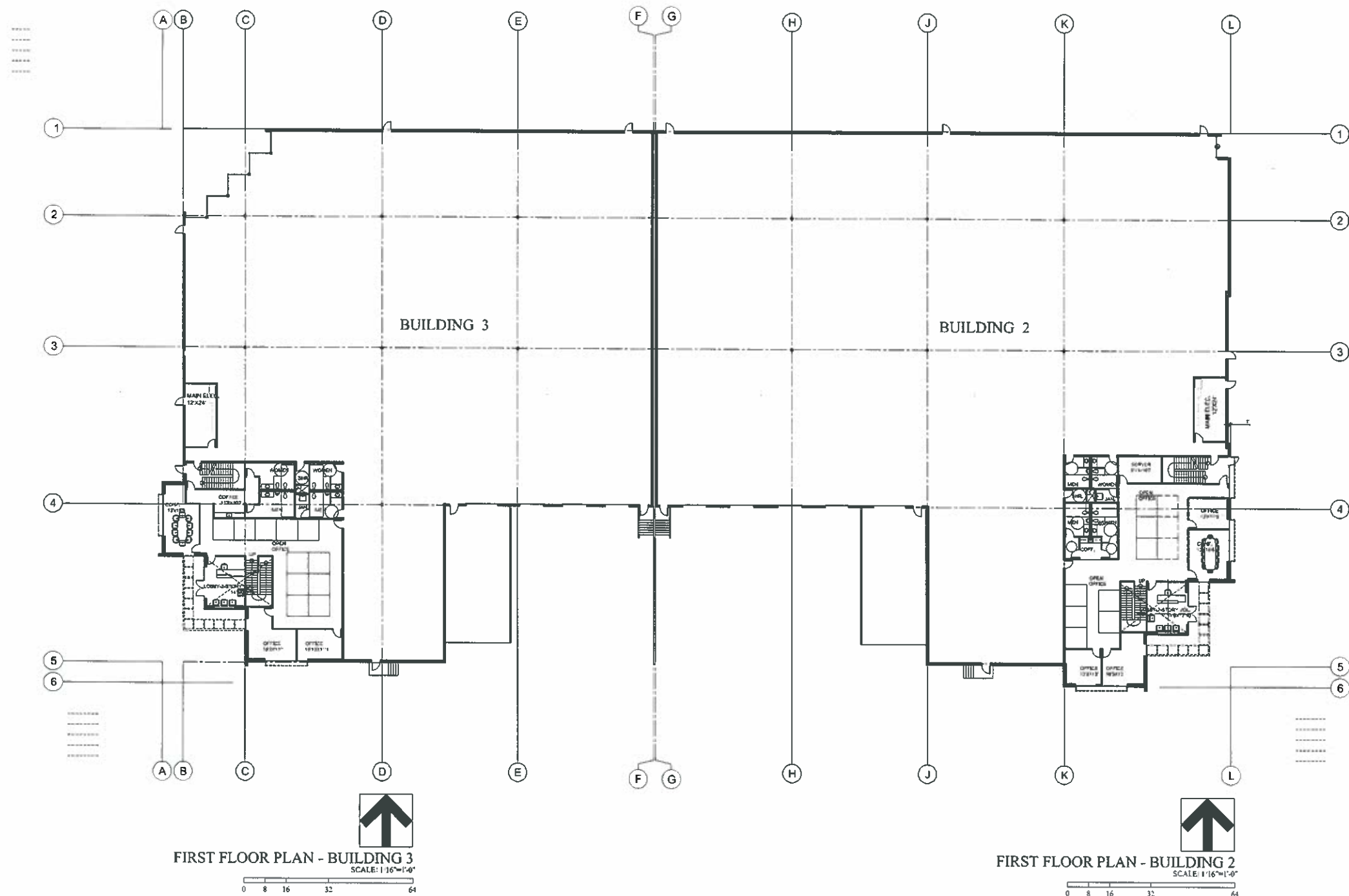


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PACIFIC POINTE at DOUGLAS PARK
 PD-12 NORTH - Cover Street Between McGowen Street & Schauffele Avenue, Long Beach, CA
 SRG Acquisition, LLC
 11802 Hardison Avenue, Irvine, CA 92612-1521 • 949.899.2414

Environs
 LANDSCAPE ARCHITECTURE
 CONSULTANT
 JOB NO. 10061
 DATE ISSUED: 1.3.11
 DRAWN BY: CMH

L-2



FIRST FLOOR PLAN - BUILDING 3
SCALE: 1/16"=1'-0"

FIRST FLOOR PLAN - BUILDING 2
SCALE: 1/16"=1'-0"

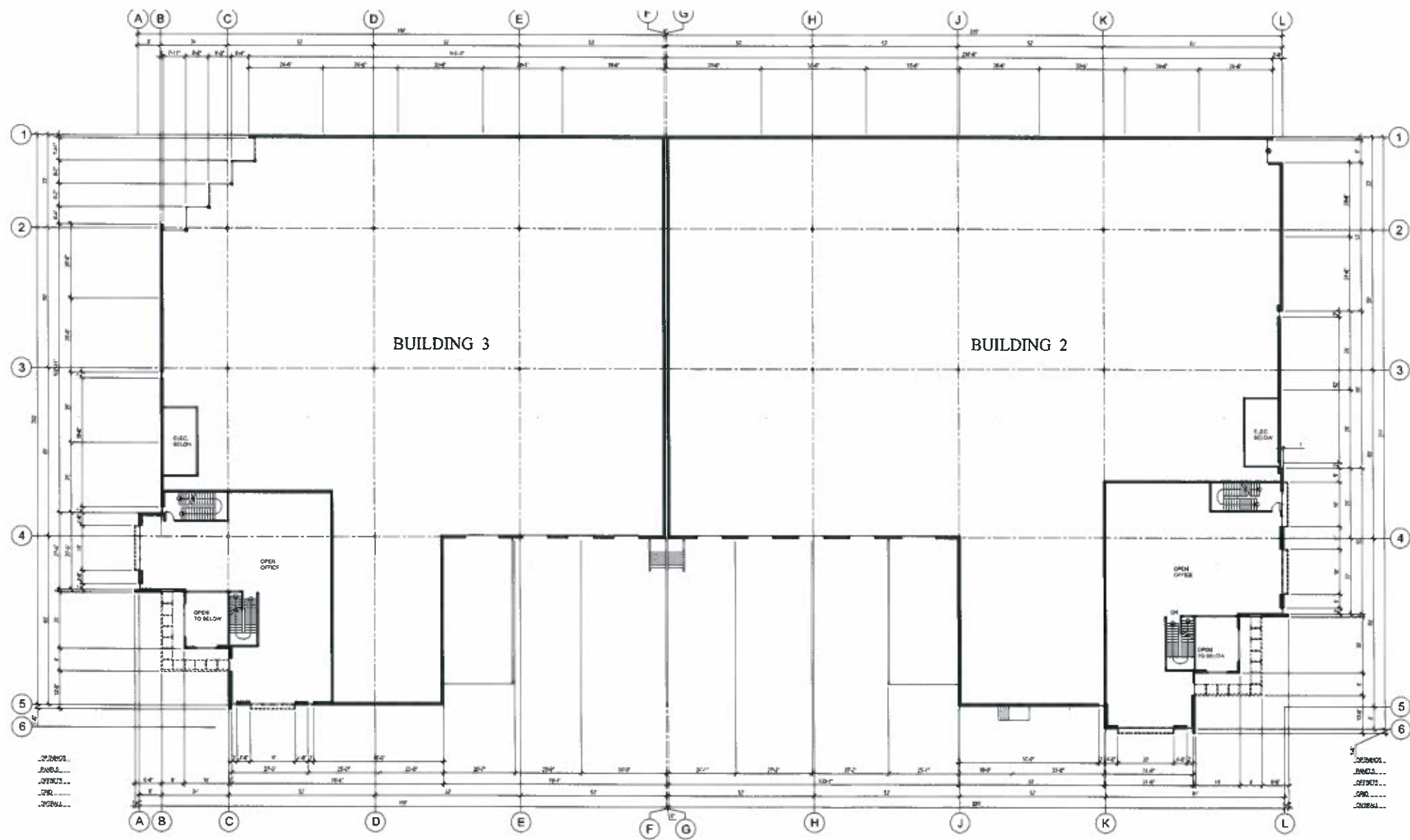
DeREVERE & ASSOCIATES
A DIVISION OF THE DE
ARCHITECTURE • PLANNING • INTERIORS
11000 BAYVIEW AVENUE, SUITE 100, SAN DIEGO, CA 92121
TEL: 619.451.1000 FAX: 619.451.1001
WWW.DEREVERE.COM

PACIFIC POINTE at DOUGLAS PARK
PO-02 NORTH - Corner Street between McDowell Street & Schaeffer Avenue, Long Beach, CA
SRF Acquisition, LLC
11800 Eastman Avenue, Irvine, CA 92612-1521 • 949.899.2414
PROJECT TITLE: PACIFIC POINTE at DOUGLAS PARK
OWNER/APPLICANT: SRF Acquisition, LLC
CONSULTANT: DeRevere & Associates


CONSULTANT:
JOB NO.: 10061
DATE ISSUED: 1.3.11
DRAWN BY: CMH
NO. REVISIONS: DATE:
1ST PRE-CITY, ONE BOARD 1.3.11
FINAL CONCEPT SITE PLAN 6.10.11
1ST SUB. SPR CITY 6.16.11

A2.2&3.1

FIRST FLOOR PLAN - BUILDINGS 2 & 3




SECOND FLOOR PLAN - BUILDING 3
 SCALE: 1/16"=1'-0"
 0 8 16 32 64


SECOND FLOOR PLAN - BUILDING 2
 SCALE: 1/16"=1'-0"
 0 8 16 32 64

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 15000 S. DEER CREEK AVENUE, SUITE 100
 DENVER, CO 80231
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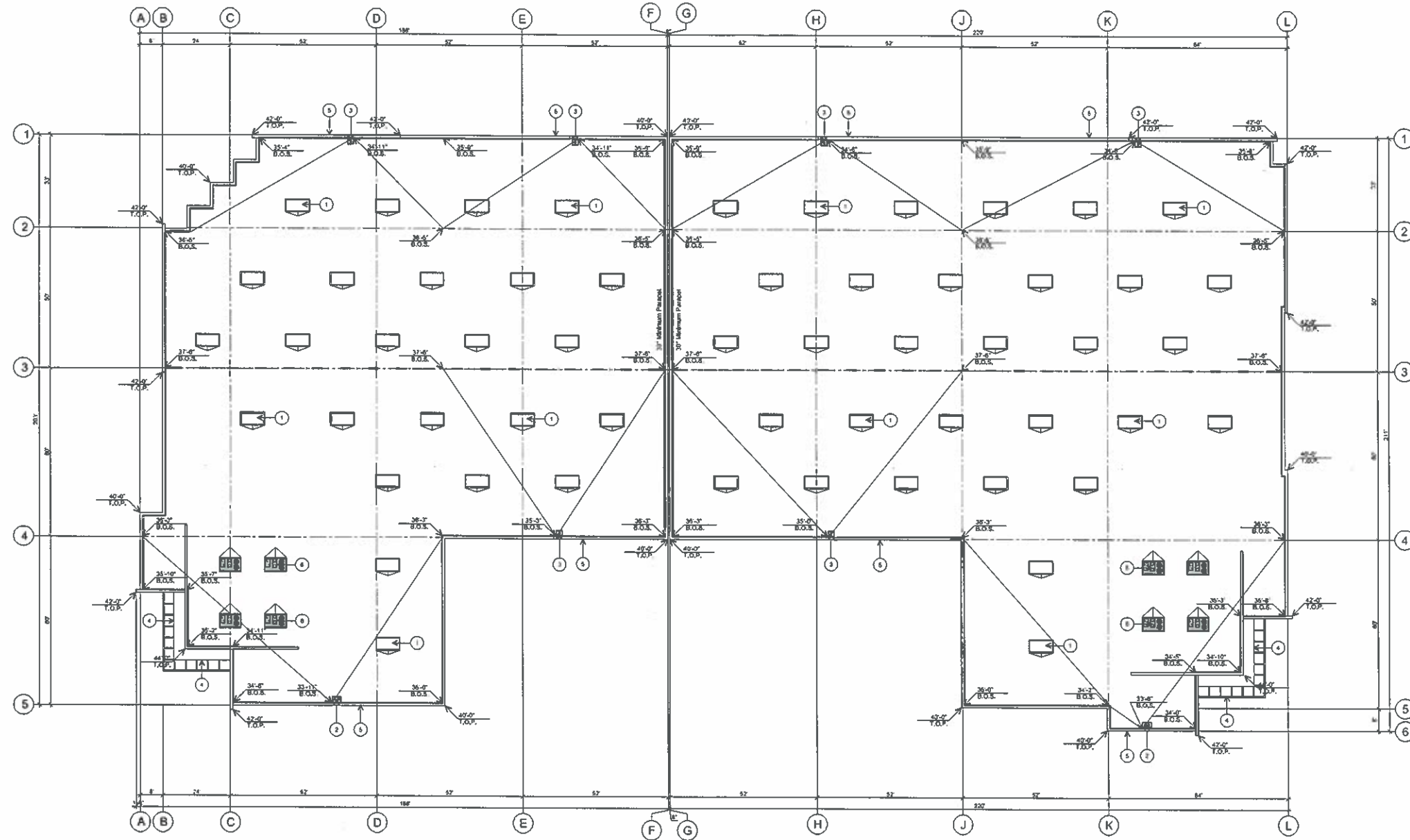
PACIFIC POINTE at DOUGLAS PARK
 PROJECT TITLE: PACIFIC NORTH - Cover Street Between McQueen Street & Schaefer Avenue, Long Beach, CA
 OWNER: SRF Acquistoin, LLC
 15802 Harbor Avenue, Irvine, CA 92614-1521 • 949.899.2414
 SHEET TITLE: SECOND FLOOR PLAN - BUILDINGS 2 & 3

CONSULTANT:
 JOB NO.:
10061
 DATE ISSUED:
1.3.11
 DRAWN BY:
CMH
 NO. REVISIONS: DATE:
 1ST PRE-SUB. DRC 8/28/10 1.3.11
 2ND PRE-SUB. DRC 9/10/10 6.18.11
 3RD PRE-SUB. DRC 9/10/10 6.18.11
 1ST SUB. SPR CITY 6.18.11

A2.2&3.2

KEYNOTES

- 1 CURB MOUNTED SKYLIGHTS (3% COVERAGE)
- 2 INTERNAL ROOF DRAIN AND INTERNAL OVERFLOW DRAIN
- 3 INTERNAL ROOF DRAIN WITH OVERFLOW SCUPPER
- 4 ALUMINUM ENTRY CANOPY
- 5 PAINTED CONCRETE PARAPET
- 6 CURB MOUNTED MECHANICAL UNIT, TOP OF UNIT TO BE BELOW TO OF PARAPET



ROOF PLAN

SCALE: 1/16"=1'-0"



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 14002 BARKER AVENUE, IRVINE, CA 92614-1521 • 949.449.2414
 WWW.DEREVEREANDASSOCIATES.COM

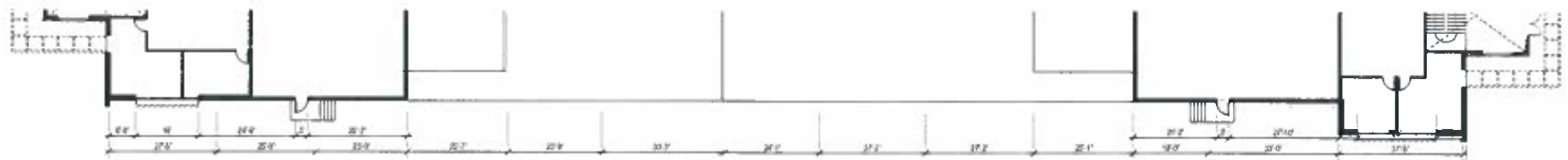
PACIFIC POINTE at DOUGLAS PARK
 PD-02 NORTH - Cover Street Between McDown Street & Schmalz Avenue, Long Beach, CA
 SRP Acquistoin, LLC
 14002 Barker Avenue, Irvine, CA 92614-1521 • 949.449.2414

PROJECT TITLE: _____
 OWNER/APPLICANT: _____
 CONSULTANT: _____
 SHEET TITLE: **ROOF PLAN - BUILDINGS 2 & 3**

JOB NO.: **10061**
 DATE ISSUED: **1.3.11**
 DRAWN BY: **CMH**

NO.	REVISIONS	DATE
1	SET PRELIM. DRC SCREENS	1.3.11
2	FINAL CONCEPT SITE PLAN	6.10.11
3	1ST SUB. SPR CITY	6.16.11

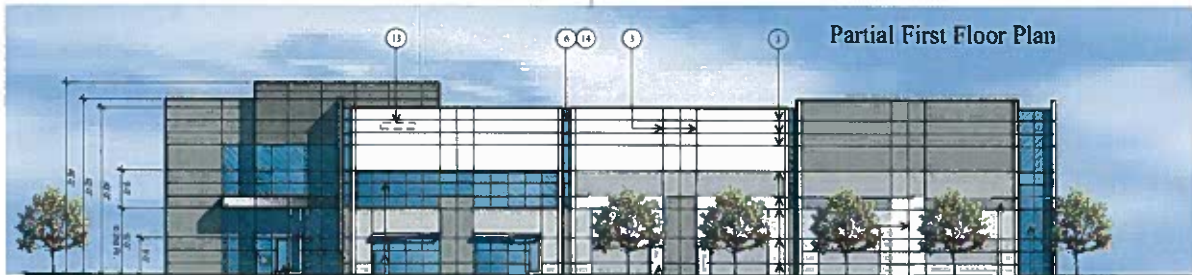
A2.2&3.3



Partial First Floor Plan



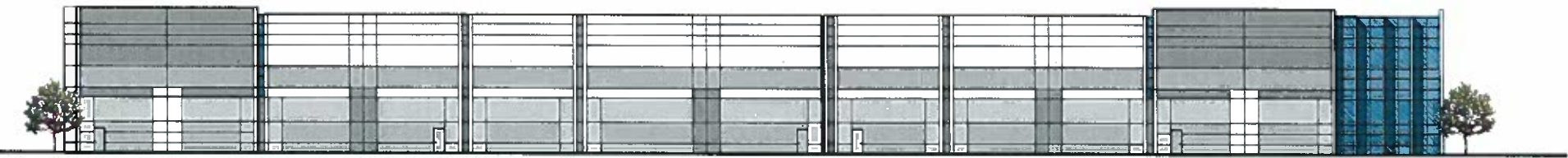
BUILDING 2 & 3 - SOUTH ELEVATION



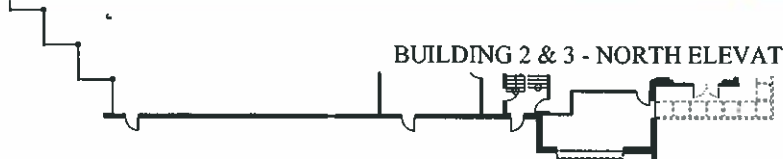
BUILDING 2 - EAST ELEVATION - Schaufele Avenue



Partial First Floor Plan



BUILDING 2 & 3 - NORTH ELEVATION



Partial First Floor Plan



BUILDING 3 - WEST ELEVATION - McGowen Street

KEYNOTES

SCALE: 1/16"=1'-0"

- 1 CONCRETE TILT-UP WALL
- 2 PAINTED CONCRETE PANEL JOINT
- 3 1/2" DEEP "V" GROOVE (ALL REVEALS)
- 4 12" OFF-SET PANEL
- 5 MEDIUM PERFORMANCE INSULATED BLUE REFLECTIVE BUTT GLAZING BY "PPG" SOLARCOOL (2) PACIFICA, SOLARBAN 60 SET IN CLEAR ANODIZED STOREFRONT SYSTEM
- 6 24" WIDE BLUE REFLECTIVE GLASS ACCENT GLASS TO MATCH COLOR OF KEYNOTE ABOVE
- 7 METAL CANOPY ENTRY OVERHANGS, CLEAR ANODIZED ALUMINUM
- 8 METAL EYEBROW CANOPY FRAME, CLEAR ANODIZED ALUMINUM FINISH
- 9 3'X7' HOLLOW METAL DOOR PAINTED TO MATCH BUILDING
- 10 PAIR OF STOREFRONT ENTRY DOORS
- 11 9'X10' METAL ROLL-UP DOOR PAINTED TO MATCH BUILDING
- 12 12'X14' METAL ROLL-UP DOOR PAINTED TO MATCH BUILDING
- 13 BUILDING ADDRESS
- 14 CONCRETE TILT-UP WALL BEHIND GLAZING (CROSS-HATCHED AREA)
- 15 CONCRETE FIN PROJECTION PANEL
- 16 CONCRETE KNOCK-OUT PANEL

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PACIFIC POINTE at DOUGLAS PARK
 PD-32 NORTH - Corner Street Between McGowen Street & Schaufele Avenue, Long Beach, CA
 SRP Acquistoin, LLC
 1802 Bunkan Avenue, Irvine, CA 92612-1521 • 949.809.2414

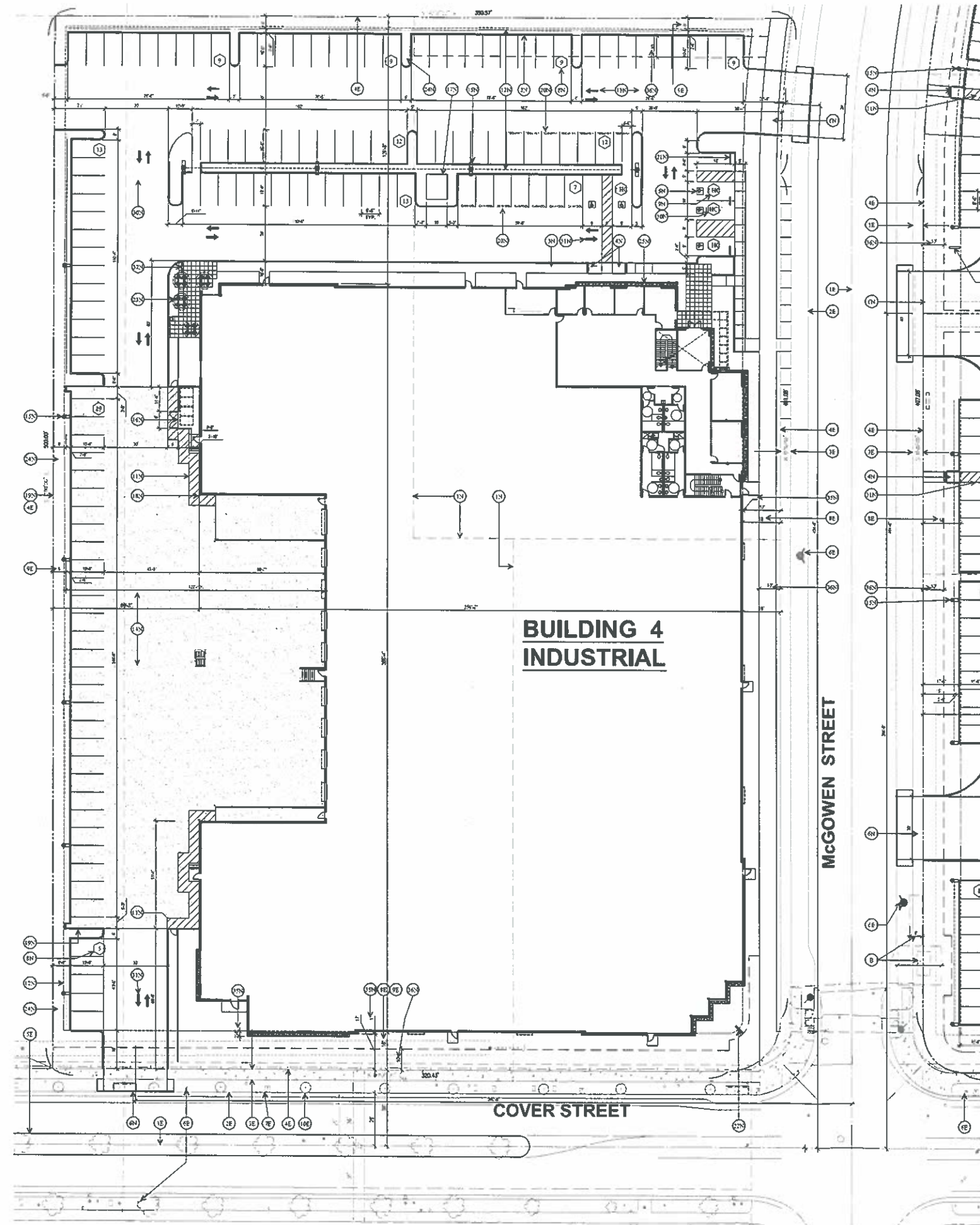
EXTERIOR ELEVATIONS - BUILDINGS 2 & 3

CONSULTANT:

JOB NO:
10061
 DATE ISSUED:
 1.3.11
 DRAWN BY:
 CMH

NO.	REVISIONS	DATE
1ST PRE-SUB	DRG. BOARD	1.3.11
FINAL CONCEPT	SITE PLAN	6.10.11
1ST SUB	SPP/CITY	6.18.11

A3.2&3.1



KEYNOTES NEW SITE CONDITIONS

- 10N NEW RELOCATED PROPERTY LINE VIA A LOT LINE MERGER
- 20N NEW CURB
- 30N NEW CONCRETE WALKWAY
- 40N NEW ACCESSIBLE PATH OF TRAVEL RAMP
- 50N NEW ACCESSIBLE WHEEL CHAIR PARKING STALL SYMBOL
- 60N NEW DRIVE ENTRY APPROACH
- 70N NEW FIRE DEPARTMENT CONNECTION
- 80N NEW PARKING STALL COUNT NUMBER
- 90N NEW STD. ACCESSIBLE STALL COUNT NUMBER
- 100N NEW VAN ACCESSIBLE STALL COUNT NUMBER
- 110N NEW ACCESSIBLE PATH OF TRAVEL PAINTED STRIPING
- 120N NEW PARKING STALL OVERHANG LINE
- 130N NEW CONCRETE ASPHALT PARKING AISLE AND PARKING SPACE PAVING
- 140N NEW CONCRETE SLAB AREA SOLAR REFLECTANCE VALUE OF AT LEAST 25%
- 150N NEW SITE LIGHTING FIXTURE, WITH GLARE SHIELDS TO AVOID LIGHT INTRUSION ONTO OTHER PROPERTIES
- 160N NEW 6'-0" HIGH TRASH ENCLOSURE BIN WITH METAL SWINGING GATES
- 170N NEW TRANSFORMER
- 180N NEW POLE PIPE BOLLARD
- 190N NEW WROUGHT IRON FENCE 8'-0" HIGH
- 200N PARKING STALL PAVEMENT NOTING "VANPOOL OR CARPOOL" PARKING STALLS
- 210N CONCRETE WHEEL STOP
- 220N NEW SITE PROPOSED MONUMENT SIGNAGE LOCATION
- 230N NEW CONCRETE OUTDOOR PATIO AREA WITH ACCENT LIGHTING & OUTDOOR FURNITURE

KEYNOTES EXISTING SITE CONDITIONS

- 24N NEW LANDSCAPE AREA WITHIN PROPERTY
- 25N NEW LANDSCAPE DECORATIVE GRAVEL STRIP
- 26N NEW LANDSCAPE AREA NOT WITHIN PROPERTY
- 27N
- 28N 8" HIL CONCRETE SCREEN WALL
- 29N
- 30N NEW FIRE LANE 26' WIDE WITH TURNING RADIUS - 28' INSIDE, 54' OUTSIDE
- 31N NEW VEHICULAR CIRCULATION TRAFFIC ARROWS
- 32N NEW BIKE RACKS SEE TABULATIONS FOR QUANTITIES
- 33N NEW RED PAINTED CURBS
- 34N
- 35N ARCHITECTURAL PROTRUSIONS OF A MAX. OF 7'-6" ARE ALLOWED INTO BUILDING SETBACK AS LONG AS THE PROTRUSION HAS NO USEABLE SPACE PER 21.32.220 C & 21.15.230 OF (BMC)
- 36N PROPOSED ENVIRONMENTAL EASEMENT
- 10E EXIST. CENTER LINE OF EXISTING STREET
- 11E EXIST. PUBLIC CURB
- 12E EXIST. PUBLIC SIDEWALK
- 13E EXIST. PROPERTY LINE
- 14E EXIST. PUBLIC CENTER MEDIAN
- 15E EXIST. PUBLIC FIRE HYDRANT
- 16E EXIST. STREET LIGHTING
- 17E EXIST. BLDG. SETBACK LINE
- 18E EXIST. LANDSCAPE SETBACK LINE
- 100E EXIST. STREET TREES
- 110E EXIST. PROPERTY LINE TO BE PROCESSED FOR A "LOT-MERGER"

EXISTING EASEMENTS

- A AN EASEMENT FOR PUBLIC STREET PURPOSES OVER THAT PORTION OF SAID LAND WITHIN BDB'S STATION ROAD, AS SHOWN ON THE MAP OF TRACT NO. 8084 AS PER MAP RECORDED IN BOOK 171 PAGES 24 THROUGH 30, INCLUSIVE, OF MAPS; ALSO PRIVATE EASEMENTS OR LESSER RIGHTS FOR INGRESS AND EGRESS IN FAVOR OF THE OWNERS OF LOTS IN SAID TRACT NO. 8084, SUCH EASEMENTS HAVING BEEN ACQUIRED UNDER CONVEYANCES OF LOTS BY REFERENCE TO SAID MAP. (SAID EASEMENT PLOTTED HEREON.)
- B AN EASEMENT IN FAVOR OF SOUTHERN CALIFORNIA Edison COMPANY FOR UNDERGROUND ELECTRICAL SUPPLY SYSTEMS AND COMMUNICATION SYSTEMS, CONSISTING OF WIRES, CONDUITS, VAULTS AND OTHER FACILITIES AS PROVIDED THEREIN AND RIGHTS INCIDENTAL THERETO AS SET FORTH IN A DOCUMENT RECORDED OCTOBER 16, 2007 AS INSTRUMENT NO. 2007-2398819 OF OFFICIAL RECORDS. (ON-SITE PORTIONS OF SAID EASEMENT ARE PLOTTED HEREON.)



DEREVERE & ASSOCIATES
ARCHITECTURE PLANNING • INTERIORS

PACIFIC POINTE at DOUGLAS PARK
PC-32 NORTH - Cover Street between McGowen Street & Schaefer Avenue, Long Beach, CA

SRG Acquisition, LLC
1802 Barden Avenue, Irvine, CA 92612-1521 • 949.909.2414

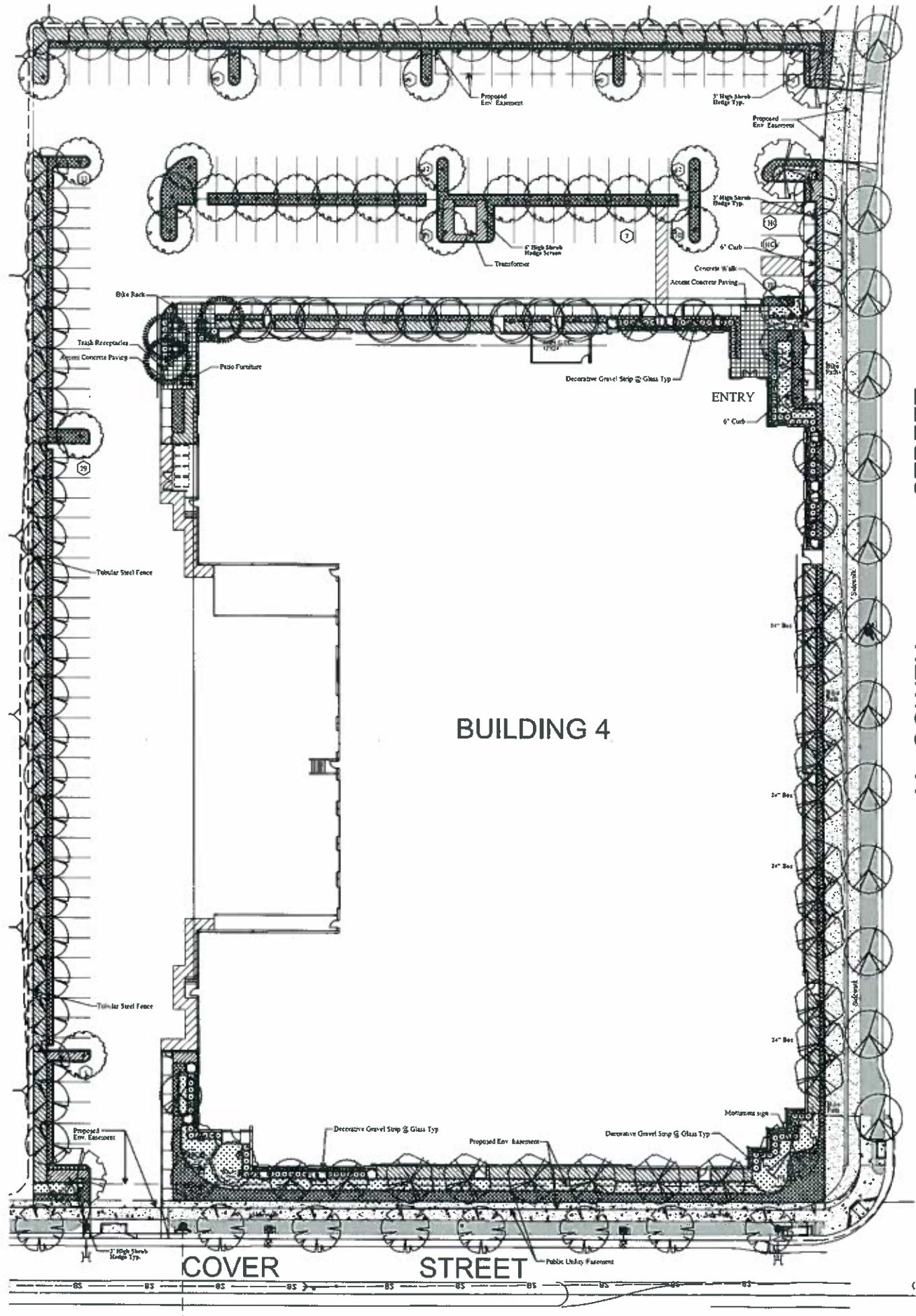
OWNER/APPLICANT:
PROJECT TITLE:
CONSULTANT:

JOB NO.:
10061
DATE ISSUED:
1.3.11
DRAWN BY:
CMH

NO. REVISIONS: DATE:
1ST PRE-BUILDING PERMITS 1.3.11
FINAL CONCEPT SITE PLAN 6.16.11
1ST SUB. SPR CITY 6.16.11
2ND SUB. SPR CITY 8.31.11

A1.4.0

PROPOSED ENLARGED SITE PLAN - BUILDING 4



PLANT LEGEND

PROPOSED TREES (NOTE QUANTITIES INCLUDE ALL BUILDINGS 1-4)

SYMBOL	BOTANICAL	COMMON	SIZE	QUANTITY	WULCOL
	ARBUTUS UNEDO (EVERGREEN VERTICAL SCREEN TREE)	STRAWBERRY TREE	30\"/>		

PROPOSED SETBACK AREA SCREEN TREES (NOTE QUANTITIES INCLUDE ALL BUILDINGS 1-4)

SYMBOL	BOTANICAL	COMMON	SIZE	QUANTITY	WULCOL
	TRISTAGMA CONFERTA (EVERGREEN VERTICAL SHADE TREE)	BROOKS BOY	24\"/>		

EXISTING STREET TREES

SYMBOL	BOTANICAL	COMMON	REMARKS
	QUERCUS REX	HOLLY OAK	STREET TREES LOCATED ALONG COVER STREET

PROPOSED STREET TREES BY LANDSCAPE MAINTENANCE DISTRICT

SYMBOL	BOTANICAL	COMMON
	QUERCUS VIRENS (SOUTHERN LIVE OAK)	CATHEDRAL SOUTHERN LIVE OAK
	ULMUS PARVIFOLIA (SMALL LEAF ELM)	CHINESE ELM

PARKING LOT HEDGE / SCREEN SHRUBS

SYMBOL	BOTANICAL	COMMON	SIZE	SPACING	WULCOLS
	ARTEMISIA CANADENSIS	HOWARD MCMURPHY MANDARINA	5 GAL.	7\"/>	

LARGE SCALE HEDGE / SCREEN SHRUBS

SYMBOL	BOTANICAL	COMMON	SIZE	SPACING	WULCOLS
	HIIBISCUS PARVIFLORUS	TOYON	4\"/>		

SMALL SCALE FOUNDATION SHRUBS

SYMBOL	BOTANICAL	COMMON	SIZE	SPACING	WULCOLS
	BLUE JAPONICA 'SWEET BEAUTY'	JAPANESE BOXWOOD	5 GAL.	3\"/>	

SHRUB SIZES SHALL BE A MINIMUM:
 15% 15 GAL.
 35% 5 GAL.
 50% 1 GAL.

A MINIMUM OF 50% OF THE PROPOSED LANDSCAPE SHALL BE SOUTHERN CALIFORNIA NATIVE AND / OR DROUGHT TOLERANT, DEFINED AS LOW AND VERY LOW WATER REQUIREMENTS PER WULCOL.

ACCENT SHRUBS

SYMBOL	BOTANICAL	COMMON	SIZE	SPACING	WULCOLS
	AGAVE AMERICANA	CENTURY PLANT	15 GAL.	6\"/>	

GROUND COVER PALLETTE

SYMBOL	BOTANICAL	COMMON	SIZE	SPACING	WULCOLS
	ACHILLEA DESERT CARPET	HECATE	1 GAL.	TRIANGULAR SPACE 48\"/>	

LANDSCAPE MAINTENANCE DISTRICT BY OTHERS

SYMBOL	DESCRIPTION
	LANDSCAPES ALONG COVER STREET IS EXISTING AND TO REMAIN. LANDSCAPE ALONG MCGOWEN AND SOMMER ELE NOT A PART TO BE INSTALLED AND MAINTAINED BY OTHERS.

BUILDING PERIMETER TREE TOTAL FOR BUILDING 4 = 42
 (30% 24\"/>

DEREVE & ASSOCIATES
 ARCHITECTURE + PLANNING + INTERIORS
 1801 DOWNS STREET, SUITE 200, HUNTINGTON BEACH, CA 92640
 T: 949.333.3800 F: 949.333.3800 W: www.dereve.com

PACIFIC POINTE at DOUGLAS PARK
 PD-32 NORTH - Cover Street Between McGowen Street & Schaefer Avenue, Long Beach, CA
 SRG Acquisition, LLC
 11892 Burbank Avenue, Irvine, CA 92612-1521 • 949.809.2414

CONSULTANT:

 LANDSCAPE ARCHITECTURE
 CONSULTING, DESIGN & WATER CONSERVATION SOLUTIONS
 1715 S. HIGHTOWER AVENUE, SUITE 200, LONG BEACH, CA 90801
 TEL: 562.592.4627 FAX: 562.592.4628

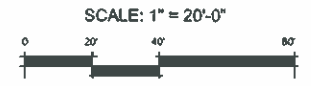
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10061

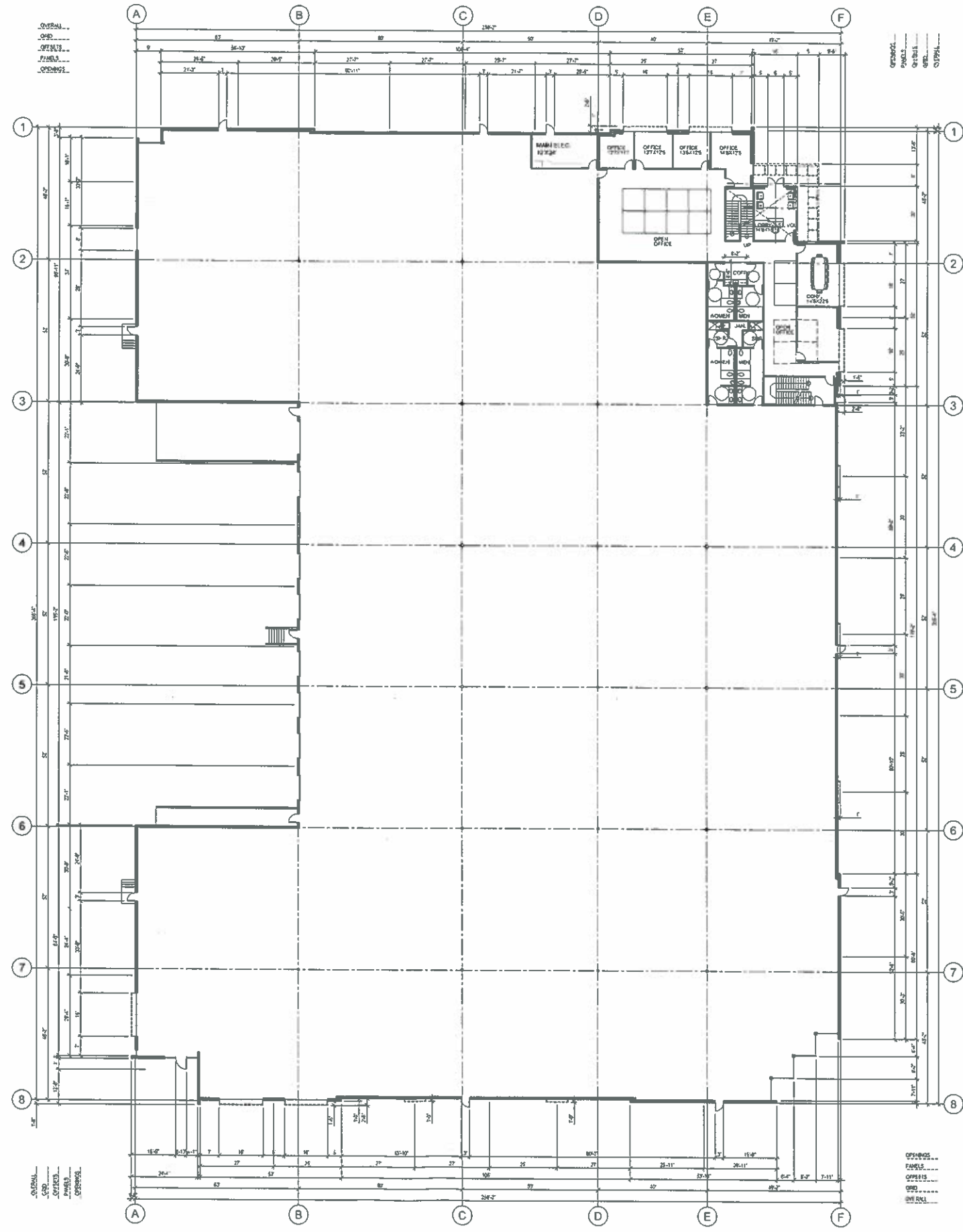
DATE ISSUED:
1.3.11

DRAWN BY:
CMH

NO. REVISIONS: DATE:
 1. TEST SUB. CORR. BORING 1.3.11
 2. FINAL CONCEPT SITE PLAN & LAYOUT
 3. TEST SUB. SPR CITY 8.18.11

L-3





DEREVERE & ASSOCIATES
 ARCHITECTURE • PLANNING • INTERIORS
 1001 BAYVIEW DRIVE, SUITE 100, BERKELEY, CA 94704
 TEL: 415.841.1000 FAX: 415.841.1001
 WWW.DEREVERE.COM

PACIFIC POINTE at DOUGLAS PARK
 PD-02 NORTH - Cover Street Between McGowan Street & Schaefer Avenue, Long Beach, CA
 SRP Acquisition, LLC
 18012 Barden Avenue, Irvine, CA 92612-1521 - 949.809.2444

FIRST FLOOR PLAN - BUILDING 4

PROJECT TITLE:
 OWNER AGENCY:
 SHEET TITLE:

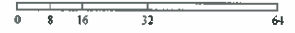
CONSULTANT:

JOB NO.:
10061
 DATE ISSUED:
 1.3.11
 DRAWN BY:
 CMH

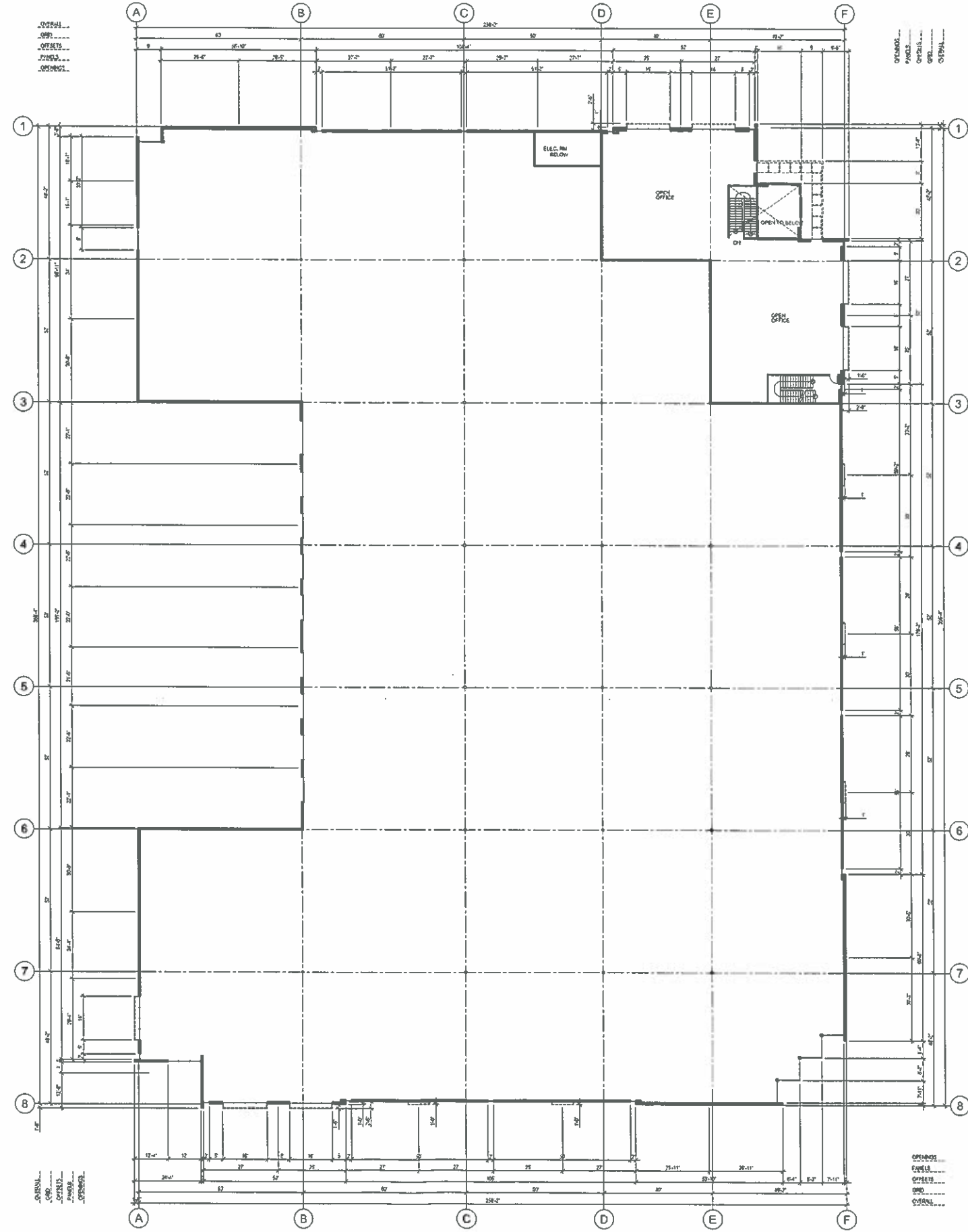
NO.	REVISIONS	DATE
1	TEST PRELIM. CONC. BOARD	12.11
2	FINAL CONCEPT SITE PLAN	6.03.11
3	TEST BALK. SPR. CITY	6.16.11



FIRST FLOOR PLAN
 BUILDING 4
 SCALE: 1/16"=1'-0"



A2.4.1



DEREVERE & ASSOCIATES
 ARCHITECTURE • PLANNING • INTERIORS
 1001 TAYLOR STREET, SUITE 100, SAN FRANCISCO, CA 94109
 TEL: 415.398.1300 FAX: 415.398.1301
 WWW.DEREVERE.COM

PACIFIC POINTE at DOUGLAS PARK
 PD-32 NORTH - Cover Street Between McGowan Street & Schaeuble Avenue, Long Beach, CA
 SRF Acquistioin, LLC
 13812 Barteen Avenue, In The, CA 92612-1521 - 949.489.2414

PROJECT TITLE:
 OWNER APPLICATION:
 SHEET TITLE:

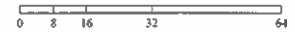
CONSULTANT:

JOB NO.:
10061
 DATE ISSUED:
 1.3.11
 DRAWN BY:
 CMH

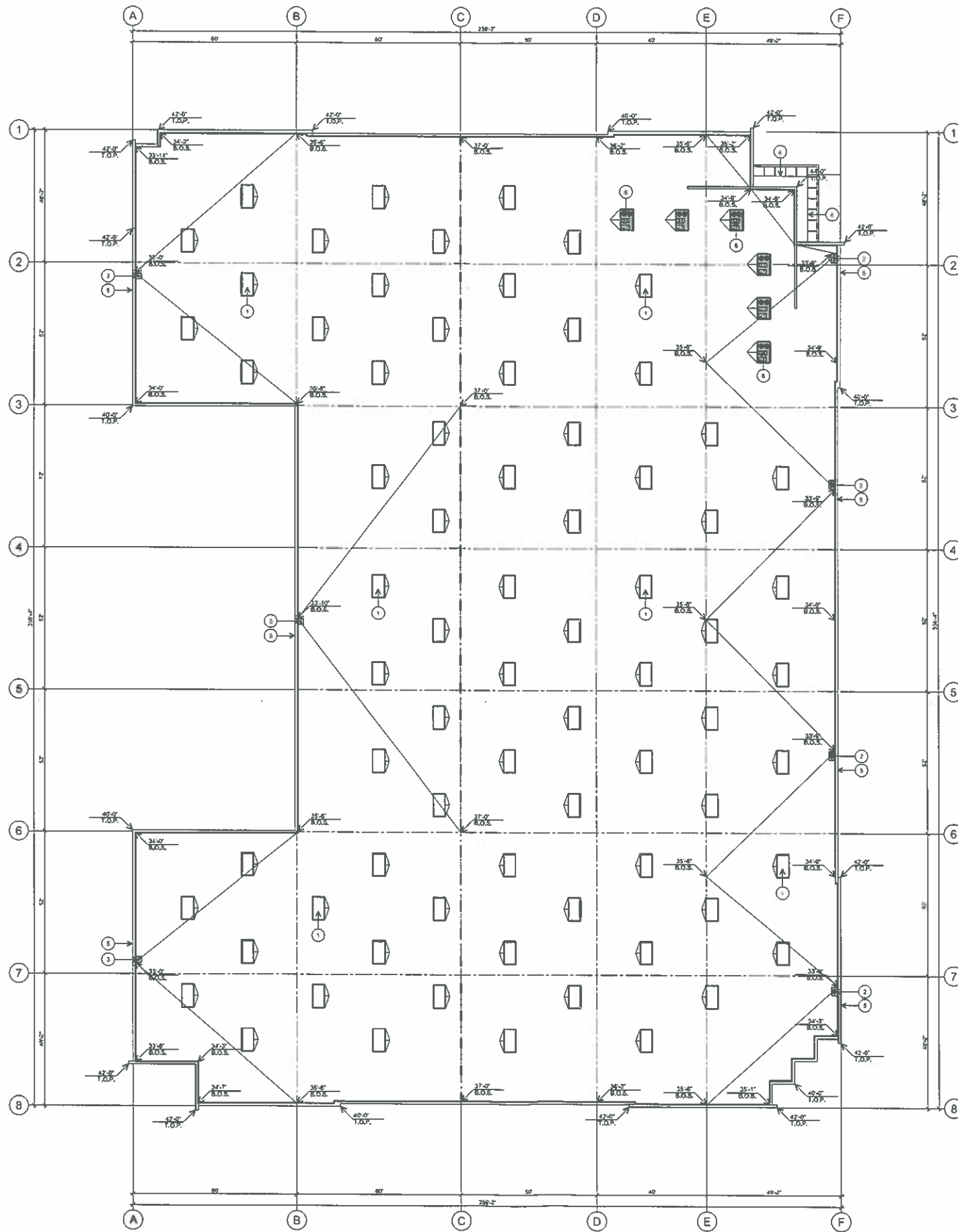
NO.	REVISIONS	DATE
1	BY PRE-SUB. DRG. BOARD	1.3.11
2	FINAL CONCEPT SITE PLAN	6.18.11
3	1ST SUB. SPR CITY	6.18.11



SECOND FLOOR PLAN
BUILDING 4
 SCALE: 1/16"=1'-0"

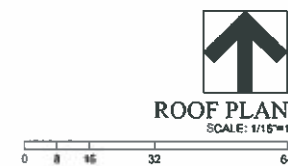


A2.4.2



KEYNOTES

- 1 CURB MOUNTED SKYLIGHTS (3% COVERAGE)
- 2 INTERNAL ROOF DRAIN AND INTERNAL OVERFLOW DRAIN
- 3 INTERNAL ROOF DRAIN WITH OVERFLOW SCUPPER
- 4 ALUMINUM ENTRY CANOPY
- 5 PAINTED CONCRETE PARAPET
- 6 CURB MOUNTED MECHANICAL UNIT, TOP OF UNIT TO BE BELOW TO OF PARAPET



DeVERE & ASSOCIATES
 ARCHITECTURE • PLANNING • INTERIORS
 1403 PALM STREET, SUITE 100, NEWPORT BEACH, CA 92660
 TEL: 949.440.1000 FAX: 949.440.1001
 WWW.DEVERE.COM

PACIFIC POINTE at DOUGLAS PARK
 PROJECT TITLE: PD-02 NORTH - Cover Street Between McGowan Street & Schaefer Avenue, Long Beach, CA
 OWNER/APPLICANT: SRF Acquisition, LLC
 13802 Harbortown Avenue, Irvine, CA 92618-1521 - 949.869.2414

CONSULTANT:
 JOB NO.: 10061
 DATE ISSUED: 1.3.11
 DRAWN BY: CMH

NO. REVISIONS DATE:
 1ST PRELIM. DWG. REVISION 1.1.11
 FINAL CONCEPT SITE PLAN 6.10.11
 1ST SUB. SPR. CITY 6.10.11

A2.4.3

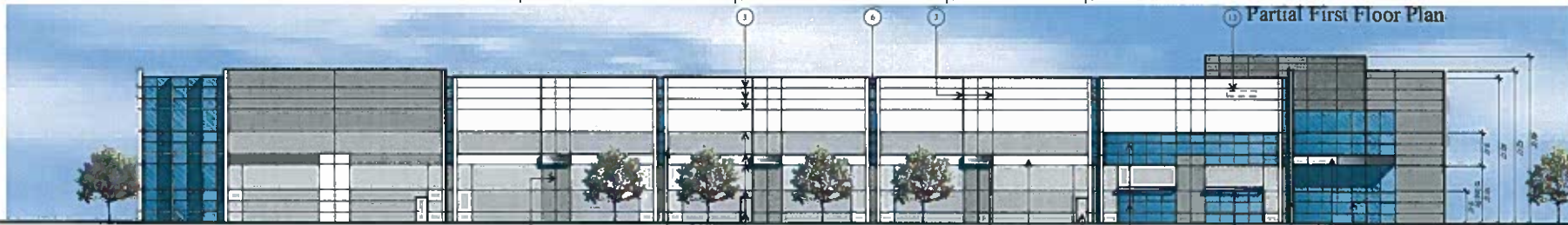
ROOF PLAN - BUILDING 4



Partial First Floor Plan



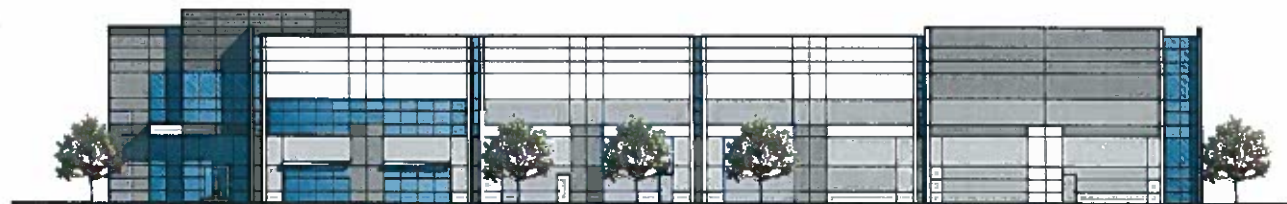
BUILDING 4 - SOUTH ELEVATION - Cover Street



BUILDING 4 - EAST ELEVATION - McGowen Street



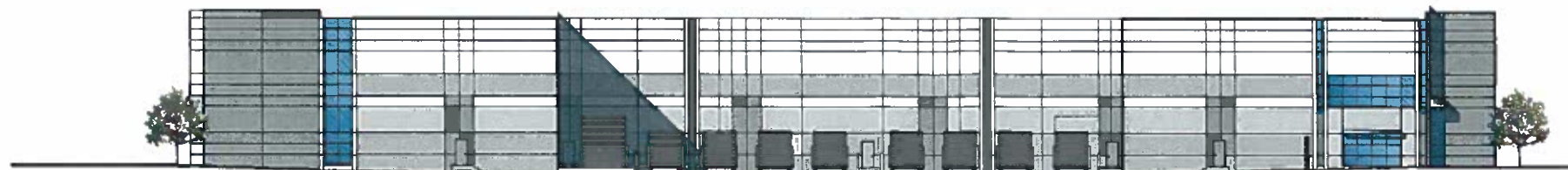
Partial First Floor Plan



BUILDING 4 - NORTH ELEVATION



Partial First Floor Plan



BUILDING 4 - WEST ELEVATION

KEYNOTES

SCALE: 1/16" = 1'-0"



- 1 CONCRETE TILT-UP WALL
- 2 PAINTED CONCRETE PANEL JOINT
- 3 DEEP 'V' GROOVE (ALL REVEALS)
- 4 12" OFF-SET PANEL
- 5 MEDIUM PERFORMANCE INSULATED BLUE REFLECTIVE BUTT GLAZING BY "PPG" SOLARCOOL (2) PACIFICA, SOLARBAN 60 SET IN CLEAR ANODIZED STOREFRONT SYSTEM
- 6 24" WIDE BLUE REFLECTIVE GLASS ACCENT, GLASS TO MATCH COLOR OF KEYNOTE ABOVE
- 7 METAL CANOPY ENTRY OVERHANGS, CLEAR ANODIZED ALUMINUM
- 8 METAL EYEBROW CANOPY FRAME, CLEAR ANODIZED ALUMINUM FINISH
- 9 3'X7' HOLLOW METAL DOOR PAINTED TO MATCH BUILDING
- 10 PAIR OF STOREFRONT ENTRY DOORS
- 11 9'X10' METAL ROLL-UP DOOR PAINTED TO MATCH BUILDING
- 12 12'X14' METAL ROLL-UP DOOR PAINTED TO MATCH BUILDING
- 13 BUILDING ADDRESS
- 14 CONCRETE TILT-UP WALL BEHIND GLAZING (CROSS-HATCHED AREA)
- 15 CONCRETE FIN PROJECTION PANEL
- 16 CONCRETE KNOCK-OUT PANEL

DeVERE & ASSOCIATES
 ARCHITECTURE • PLANNING • INTERIORS
 18802 BARBORN AVENUE, IRVINE, CA 92614
 TEL: 949.851.1300 FAX: 949.851.1300
 WWW.DEVERE.COM

PACIFIC POINTE at DOUGLAS PARK
 PD-32 NORTH - Cover Street between McGowen Street & Schmale Avenue, Long Beach, CA
 SRF Acquistoin, LLC
 18802 BARBORN AVENUE, IRVINE, CA 92614
 TEL: 949.851.1311 FAX: 949.851.1314

PROJECT TITLE: PD-32 NORTH - Cover Street between McGowen Street & Schmale Avenue, Long Beach, CA
 OWNER/APPLICANT: SRF Acquistoin, LLC
 SHEET TITLE: EXTERIOR ELEVATIONS - BUILDING 4

CONSULTANT:

JOB NO: 10061
 DATE ISSUED: 1.3.11
 DRAWN BY: CMH

NO. REVISIONS DATE:
 1 BY SRF SUB TOE DRAWING 13.11
 FINAL CONCEPT SITE PLAN 8.10.11
 157516 - SPECIFICITY 8.10.11

A3.4.1

TENTATIVE PARCEL MAP NO. 71545

IN THE CITY OF LONG BEACH, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA

BEING A SUBDIVISION OF LOTS 2, 3, 4, 5, 6 AND 7 OF TRACT NO. 70937-2, AS PER MAP FILED IN BOOK 1386 PAGES 30 THROUGH 32 INCLUSIVE OF MAPS, IN THE OFFICE OF SAID COUNTY RECORDER.



VICINITY MAP NOT TO SCALE

OWNER (ALSO SEE 'SURVEYOR NOTES')
McDONNELL DOUGLAS CORP.
c/o SARES-REGIS GROUP
18802 BARDEEN AVENUE
IRVINE, CALIFORNIA 92612
TELEPHONE: (949) 809-2414
FAX: (949) 756-5955
ATTN: PATRICK RUSSELL



NOTE:
(---) INDICATES PROPOSED CONTOUR
(---) INDICATES EXISTING CONTOUR
(---) INDICATES PROPOSED ELEVATION / DESCRIPTION
(---) INDICATES EXISTING DESCRIPTION / ELEVATION

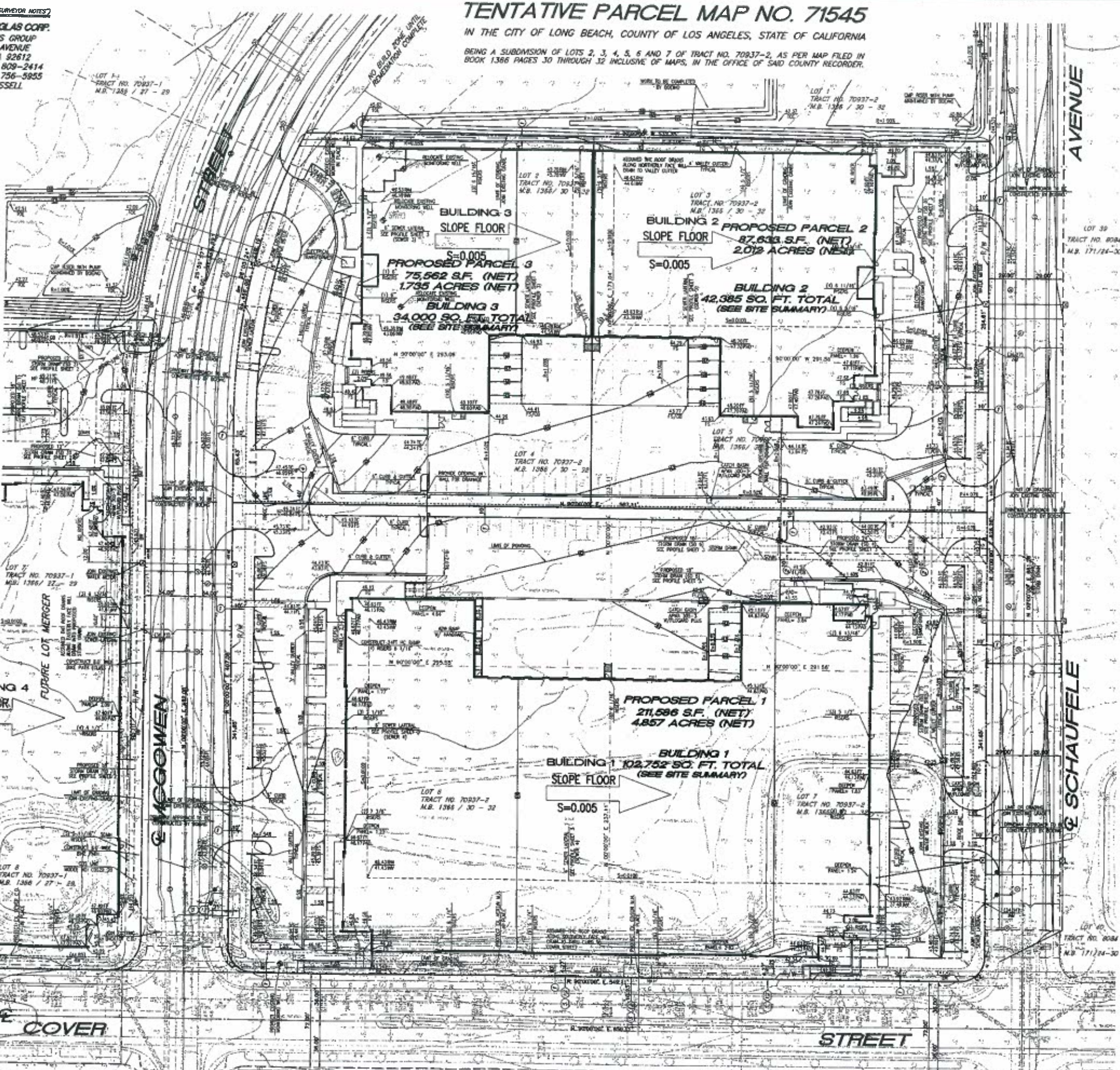
SITE SUMMARY table with columns for Proposed Parcel #, Building #, Area, etc.

Table with columns for Proposed Parcel #, Building #, Area, etc. (continued from previous table)

BASIS OF BEARINGS:
THE BEARINGS SHOWN HEREON ARE BASED ON THE CALIFORNIA STATE PLANE COORDINATE SYSTEM, ZONE 10 NORTH AMERICAN DATUM 1983...

- PROPOSED EASEMENTS:
1. INDICATES CONCEPTUAL ENVIRONMENTAL EASEMENT.
2. 10' MISC STORM DRAIN EASEMENT FOR THE BENEFIT OF PARCEL 2...

- EXISTING EASEMENTS:
1. THE FOLLOWING EASEMENTS, EASEMENTS AND RIGHTS AS SHOWN ON THE PLANS...
2. A DOCUMENT FILED UNDER 'MORTGAGE', DESCRIBING THE CONVEYANCE OF AN EASEMENT...
3. A DOCUMENT FILED UNDER 'MORTGAGE', DESCRIBING THE CONVEYANCE OF AN EASEMENT...



CURVE TABLE and TANGENT TABLE with columns for Station, Radius, Length, etc.

SURVEYOR'S NOTES:

- 1. TITLE TO SAID ESTATE OF INTEREST AT THE DATE HEREON IS HELD BY THE BORING COMPANY, A DELAWARE CORPORATION, SUCCESSOR BY MERGER TO McDONNELL DOUGLAS CORPORATION, A MISSOURI CORP.
2. PROJECT ADDRESS: CORNER ST. & MCGOWEN ST. LONG BEACH, CALIFORNIA
3. ASSessor'S PARCEL NUMBER: 7149-001-048 (PORTION)
4. PARCEL AREAS: EXISTING PARCEL 2: 46,889 S.F. (1.072 ACRES)...

EXISTING LEGAL DESCRIPTION:

LOTS 2, 3, 4, 5 AND 6 OF TRACT NO. 70937-2, IN THE CITY OF LONG BEACH, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA...

LEGEND table with columns for Symbol, Description, and Material.

APPLICANT:

SARES-REGIS GROUP
18802 BARDEEN AVENUE
IRVINE, CALIFORNIA 92612
TELEPHONE: (949) 809-2414
FAX: (949) 756-5955
ATTN: PATRICK RUSSELL

SURVEYOR:

THIENES ENGINEERING, INC.
14349 FIRESTONE BOULEVARD
LA MIRADA, CALIFORNIA 90638
TELEPHONE: (714) 521-4811
FAX: (714) 521-4173

PREPARED BY:

Thienes Engineering, Inc.
Civil Engineering - Land Surveying
14349 FIRESTONE BOULEVARD
LA MIRADA, CALIFORNIA 90638
PH: (714) 521-4811 FAX: (714) 521-4173

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