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JUDGING STAND 3S

5255 E. Paoli Way Long Beach, CA

GENERAL NOTES

- ALL WORK SHALL CONFORM TO THE CONTRACT DOCUMENTS INCLUDING THE DRAWINGS, SPECS, ALL ADDENDA, BULLETINS, CHANGE ORDERS AND THE LIKE.
- THE GENERAL CONTRACTOR (GC) SHALL REVIEW ALL DOCUMENTS AND VERIFY ALL DIMENSIONS AND FIELD CONDITIONS AND SHALL CONFIRM THAT WORK IS BUILDABLE AS SHOWN. ANY CONFLICTS OR OMISSIONS, ETC., SHALL BE IMMEDIATELY REPORTED TO THE ARCHITECT & OWNER IN WRITING, FOR CLARIFICATION PRIOR TO THE PERFORMANCE OF ANY WORK IN QUESTION. THE GC SHALL BE RESPONSIBLE FOR CORRECTION OF ALL WORK, AS DIRECTED BY ARCHITECT, FOR WHICH THE ARCHITECT WAS NOT NOTIFIED IN ADVANCE.
- ALL WORK SHALL BE PERFORMED DURING REGULAR BUSINESS HOURS WHENEVER POSSIBLE. U.O.N. OR AGREED TO.
- "ALSO" SHALL MEAN ACCURATELY LOCATE FINISH FACES IN THE SAME PLANE.
- "TYPICAL" OR "TYP" SHALL MEAN THAT THE CONDITION IS REPRESENTATIVE OF SIMILAR CONDITIONS THROUGHOUT, UNLESS OTHERWISE NOTED. DETAILS ARE USUALLY KEYPED AND NOTED "TYP" ONLY ONCE, WHEN THEY FIRST OCCUR.
- "SIMILAR" OR "SIM" MEANS COMPARABLE CHARACTERISTICS FOR CONDITIONS NOTED. VERIFY DIMENSIONS AND ORIENTATION ON PLANS AND ELEVATIONS.
- WORK AREAS ARE TO REMAIN SECURE AND LOCKABLE DURING CONSTRUCTION. GC SHALL COORDINATE WITH OWNER TO ENSURE SECURITY. FINAL CLEANING INCLUDES, BUT IS NOT LIMITED TO, CLEANING OF ALL GLASS, GLOSSY SURFACES, FLOORS, DOORS, FRAMES.
- EACH SHEET OF THE CONTRACT DOCUMENTS ARE COMPLEMENTARY. WHAT IS SHOWN OR REFERRED TO ON EACH SHEET, AT A GIVEN LOCATION SHALL BE PROVIDED AS THOUGH SHOWN ON ALL SHEETS, U.O.N.
- SUBSTITUTIONS, REVISIONS, OR CHANGES SHALL BE SUBMITTED TO ARCHITECT & OWNER (IN CONFORMANCE WITH SPECIFIED PROCEDURES) PRIOR TO PURCHASE, FABRICATION, OR INSTALLATION.
- THE GC SHALL MAINTAIN FOR THE ENTIRE DURATION OF THE WORK ALL EXITS, EXIT LIGHTING, FIRE PROTECTIVE DEVICES AND ALARMS IN CONFORMANCE WITH ALL APPLICABLE CODES AND TO THE SATISFACTION OF LOCAL FIRE MARSHAL.
- ALL WORK SHALL BE COORDINATED WITH THE OWNER INCLUDING SCHEDULING TIME AND LOCATIONS FOR DELIVERIES.
- THE SCOPE OF WORK AND ADJACENT AREAS (INCLUDING "ACCESSIBLE PATH") SHALL BE PROTECTED FROM ANY DAMAGE THAT OCCURS BECAUSE OF THIS WORK. ANY DAMAGE THAT OCCURS SHALL BE THE FINANCIAL RESPONSIBILITY OF THE GC.
- ALL MANUFACTURED ARTICLES, MATERIALS AND EQUIPMENT SHALL BE APPLIED, INSTALLED, CONNECTED, ERECTED, CLEANED, AND CONDITIONED PER MANUFACTURER'S INSTRUCTIONS. IN THE CASE OF DIFFERENCES BETWEEN THE MANUFACTURER'S INSTRUCTIONS AND THE CONTRACT DOCUMENTS, THE GC SHALL NOTIFY THE ARCHITECT AND OWNER BEFORE PROCEEDING.
- THE GC SHALL HAVE A FULL-TIME REPRESENTATIVE AT ALL TIMES WHILE CONSTRUCTION ACTIVITIES ARE UNDERWAY ON-SITE.
- AT COMPLETION OF PROJECT, CONTRACTOR, ARCHITECT AND OWNER SHALL MEET, INSPECT FINISHED WORK, AND PREPARE IF NECESSARY A FINAL PUNCH-LIST OF ITEMS TO BE REMEDIED BY THE CONTRACTOR.
- CONTRACTOR SHALL FAMILIARIZE THEMSELVES WITH ALL RULES, REGULATIONS AND SPECIFICATIONS, INCLUDING, BUT NOT LIMITED TO, ACCESS HOURS, NOISE RESTRICTIONS AND OTHER ITEMS THAT MAY IMPACT SCHEDULE OR COST. ALL SUCH FACTORS SHALL BE INCLUDED IN ALL BIDS AND PRICING.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR DISTRIBUTION OF DRAWINGS TO ALL TRADES UNDER HIS/HER JURISDICTION.
- THE CONTRACTOR SHALL NOT PROCEED WITH ANY WORK REQUIRING ADDITIONAL COMPENSATION BEYOND THE CONTRACT AMOUNT WITHOUT AUTHORIZATION IN WRITING FROM THE ARCHITECT OR CLIENT'S AGENT. FAILURE TO OBTAIN AUTHORIZATION SHALL INVALENTE ANY CLAIM FOR ADDITIONAL COMPENSATION UPON COMPLETION OF WORK, OR SHORTLY BEFORE, THE CONTRACTOR SHALL PREPARE A COMPREHENSIVE LIST OF ITEMS TO BE COMPLETED OR CORRECTED AND SUBMIT IT TO THE ARCHITECT PRIOR TO THE ARCHITECT'S OWN PUNCH LIST.
- THE CONTRACTOR AND SUBCONTRACTORS SHALL VERIFY THE LAYOUT WITH ARCHITECT IN THE FIELD BEFORE PROCEEDING WITH CONSTRUCTION.
- CONTRACTOR SHALL VERIFY THAT NO CONFLICTS EXIST IN LOCATIONS OF ANY AND ALL ELECTRICAL LIGHTING, PLUMBING, AND SPRINKLER EQUIPMENT AND THAT ALL REQUIRED CLEARANCES FOR INSTALLATION AND MAINTENANCE ARE PROVIDED. CONTRACTOR TO NOTIFY ARCHITECT AND OWNER IN WRITING IF CONFLICTS EXIST.
- CONTRACTOR SHALL PROVIDE PROTECTION TO ALL EXISTING FINISHES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING ANY DAMAGE CAUSED THEREIN DURING CONSTRUCTION.
- CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE LAWS, REGULATIONS, ORDINANCES AND SHALL TAKE ALL APPROPRIATE SAFETY PRECAUTIONS IN PERFORMING THE WORK.
- CALIFORNIA ADMINISTRATIVE CODE TITLE 24, SECTION 1-20, LATEST EDITION, HAS BEEN REVIEWED. THE DESIGN SUBMITTED FOR THE BUILDING PERMIT SUBSTANTIALLY CONFORMS TO THESE REGULATIONS.
- EXECUTE WORK IN ACCORDANCE WITH ANY AND ALL APPLICABLE CODES, MANUFACTURERS' RECOMMENDATIONS, AND TRADE AND REFERENCE STANDARDS, INCLUDING BUT NOT LIMITED TO: CALIFORNIA UNIFORM BUILDING, MECHANICAL, ELECTRICAL, PLUMBING AND FIRE CODES AND LOCAL AMENDMENTS WHERE APPLICABLE, NEC, NFP, NFPA, ASME, ANSI, AMERICANS WITH DISABILITIES ACT, AND OTHER APPLICABLE REGULATORY AUTHORITIES' LATEST ENFORCED EDITIONS.
- MECHANICAL AND ELECTRICAL SCOPE OF WORK SHALL BE DONE IN COMPLIANCE WITH 2013 TITLE 24, SECTION 6, CALIFORNIA ENERGY EFFICIENCY STANDARDS FOR RESIDENTIAL AND NONRESIDENTIAL BUILDINGS.
- WHEN REQUIRED, PLUMBING ENGINEER TO PREPARE NECESSARY PLUMBING DRAWINGS, INCLUDING BUT NOT LIMITED TO WATER, GAS, WASTE AND VENT, WATER SUPPLY CALCULATIONS, HVAC DRAWINGS WITH HEATING AND COOLING, LOAD CALCULATIONS AND THERMOSTAT AND AIR DIFFUSER LOCATIONS, SPRINKLER LAYOUT PER CODE, AND ALL REQUIRED TITLE 24 CALCULATIONS, ALL AS REQUIRED BY CODE OF THE CITY OF LONG BEACH AS DESCRIBED BY THE DRAWINGS. SUBMIT TO ARCHITECT AND OWNER FOR REVIEW AND APPROVAL PRIOR TO SUBMITTAL FOR CONSTRUCTION.
- WHEN REQUIRED, ELECTRICAL ENGINEER TO PREPARE NECESSARY ELECTRICAL DRAWINGS INCLUDING, BUT NOT LIMITED TO, LIGHT SWITCHING, LIGHTING AND LIGHTING LEVEL, WIRING AND CIRCUITING, SECURITY SYSTEMS, LIFE-SAFETY SYSTEM (INCLUDING MONITORS, SMOKE DETECTORS, SPEAKERS AND STROBES), ELECTRICAL OUTLET WIRING AND CIRCUITING, PANEL AND EQUIPMENT SCHEDULES AND ALL REQUIRED TITLE 24 CALCULATIONS, REQUIRED BY CODE OR THE SCOPE OF WORK AS DESCRIBED BY THE DRAWINGS. SUBMIT TO ARCHITECT AND CLIENT'S AGENT FOR REVIEW AND APPROVAL PRIOR TO SUBMITTAL FOR PERMIT AND CONSTRUCTION.
- DO NOT SCALE DRAWINGS; DIMENSIONS SHALL GOVERN. DETAILS SHALL GOVERN OVER PLANS AND ELEVATIONS.
- THE CONTRACTOR SHALL NOT BE RELIEVED OF ANY CONTRACT RESPONSIBILITY RESULTING FROM ARCHITECT'S FAILURE TO DETECT SHOP DRAWING ERRORS AND OMISSIONS IN CONFLICT WITH THE CONTRACT DOCUMENTS.
- CONTRACTOR SHALL PROVIDE, AT THE END OF THE PROJECT, TWO BOUND SETS OF PRODUCT INFORMATION FOR ALL MATERIALS, FINISHES, EQUIPMENT, AND FIXTURES INCLUDING ALL WARRANTY INFORMATION, MAINTENANCE PROCEDURES, AS WELL AS PRODUCT DATA AND MANUALS PROVIDED BY EQUIPMENT MANUFACTURERS.
- REPORT ANY HAZARDOUS MATERIALS ENCOUNTERED TO THE OWNER/ARCHITECT.
- ALL WORK SHALL BE PLUMB, SQUARE, LEVEL, IN PROPER ALIGNMENT, AND SECURELY FASTENED.
- THE GENERAL CONTRACTOR SHALL COORDINATE THE WORK OF ALL SUBCONTRACTORS. ALL WORK SHALL BE DONE IN CONFORMANCE WITH ALL APPLICABLE FEDERAL, STATE, COUNTY AND CITY ORDINANCES AND BUILDING CODES, AND REQUIREMENTS ESTABLISHED BY STATE AND LOCAL FIRE MARSHALS. IN CASE OF CONFLICT, MOST STRINGENT REQUIREMENTS SHALL APPLY.
- CONTRACTOR'S COSTS SHALL INCLUDE THE COST OF PROPER INSURANCE AS REQUIRED BY STATE AND LOCAL LAWS AND LOCAL BUILDING REGULATIONS OR CODES TO ADEQUATELY PROTECT PERSONS AND PROPERTY. A COPY OF SUCH INSURANCE COVERAGE SHALL BE FURNISHED TO THE OWNER AND LANDLORD PRIOR TO COMMENCEMENT OF ANY WORK.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR DESIGN, COORDINATION AND EXECUTION OF CONSTRUCTION METHODS AND PROCEDURES AND PROVIDE PEDESTRIAN PROTECTION AS REQUIRED FOR SAFETY OF TENANTS, PEDESTRIANS AND JOBSITE PERSONNEL.
- THE GENERAL CONTRACTOR SHALL PREPARE AND SUBMIT, BEFORE STARTING WORK, A SCHEDULE INDICATING REQUIRED CONSTRUCTION TIME FOR EACH TRADE'S WORK.
- VERIFY ACCESS TO JOB SITE.
- SUBMIT TWO COPIES OF REQUIRED SAMPLES, SHOP DRAWINGS, AND PRODUCT DATA TO ARCHITECT FOR REVIEW PRIOR TO PURCHASE OR FABRICATION. ALLOW ARCHITECT ONE WEEK TO REVIEW AND COMMENT. ARCHITECT'S REVIEW WILL BE IN CONFORMANCE WITH DESIGN CONCEPT ONLY. CONTRACTOR SHALL REVIEW ALL SUBMITTALS FOR CONFORMANCE WITH CONTRACT DOCUMENTS PRIOR TO SUBMITTING THEM FOR ARCHITECT'S REVIEW.

GENERAL NOTES (CON'T.)

- CARPET SEAMING DIAGRAM
 - MEP LAYOUT
 - SPRINKLER/LIFE SAFETY
 - STRUCTURAL STEEL
 - MISCELLANEOUS METALS
 - PAINTING
 - LIGHTING
- CONFIRM APPROXIMATE ON-SITE DELIVERY DATES FOR ALL CONSTRUCTION MATERIALS REQUIRED BY THE CONTRACT DOCUMENTS. NOTIFY ARCHITECT IN WRITING WITHIN 10 CALENDAR DAYS OF THE CONTRACT DATE OF ANY POSSIBLE CONSTRUCTION DELAYS AFFECTING OCCUPANCY THAT MAY ARISE DUE TO THE AVAILABILITY OF SPECIFIED PRODUCTS. REQUESTS FOR SUBSTITUTIONS DUE TO DELIVERY DATES OF SPECIFIED PRODUCTS WILL NOT BE ACCEPTED AFTER CONSTRUCTION STARTS.
 - THE CONTRACTOR SHALL MAINTAIN A COMPLETE SET OF THE CONTRACT DRAWINGS, FOR RECORD MARK-UP PURPOSES, THROUGHOUT THE CONTRACT TIME. MARK UP THESE DRAWINGS DURING THE COURSE OF WORK TO SHOW BOTH CHANGES AND ACTUAL INSTALLATION IN SUFFICIENT FORM TO COMPRISE A COMPLETE RECORD FOR THE OWNER'S PURPOSES. GIVE PARTICULAR ATTENTION TO WORK WHICH WILL BE CONCEALED AND DIFFICULT TO MEASURE AND RECORD AT A LATER DATE, AND TO WORK WHICH MAY REQUIRE SERVICING OR REPLACEMENT DURING THE LIFE OF THE PROJECT. BIND PRINTS INTO MANAGEABLE SETS WITH DURABLE PAPER COVERS LABELED "AS-BUILT DRAWINGS," AND TRANSMIT TO OWNER.

ACCESSIBILITY NOTES

NOTE: THE FOLLOWING ARE ACCESSIBILITY GUIDELINES AND ARE FOR GC INFORMATION ONLY. LISTED ITEMS DO NOT REPLACE OR AMEND FEDERAL, STATE, OR LOCAL CODES.

- GC SHALL ALLOW FOR APPLIED FINISH DIMENSIONS IN ADDITION TO STANDARD CONSTRUCTION TOLERANCES IN ACHIEVING ALL ACCESSIBILITY CLEARANCES PER DRAWINGS AND/OR TITLE 24 GUIDELINES.
- ABRUPT CHANGES IN LEVEL ALONG ANY ACCESSIBLE ROUTE SHALL NOT EXCEED 1/2". WHEN THESE CHANGES DO OCCUR, THEY SHALL BE BEVELED WITH A SLOPE NO GREATER THAN 1:2, EXCEPT LEVEL CHANGES NOT EXCEEDING 1/4" VERTICAL.

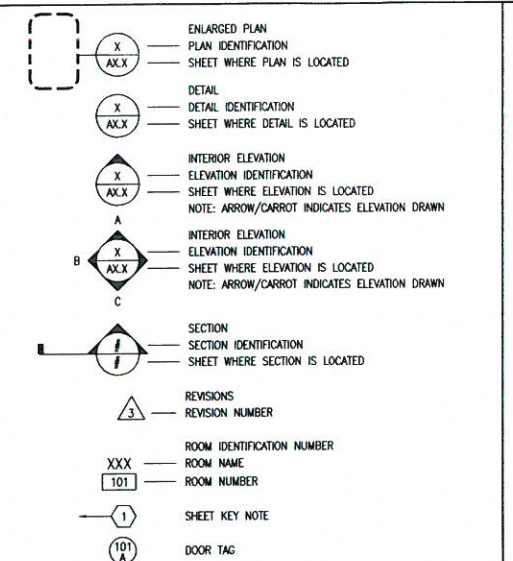
DEMOLITION NOTES

- PROVIDE TRAINED, EXPERIENCED, FULL-TIME, ON-SITE SUPERVISION DURING THE PROGRESS OF DEMOLITION OPERATIONS.
- COMPLY WITH APPLICABLE LOCAL, STATE, AND FEDERAL CODES AND REGULATIONS PERTAINING TO SAFETY OF PERSONS, PROPERTY AND ENVIRONMENTAL PROTECTION.
- REPAIR ALL DEMOLITION PERFORMED IN EXCESS OF THAT REQUIRED, AT NO COST TO OWNER.
- REMOVE TOOLS AND EQUIPMENT FROM SITE UPON COMPLETION OF WORK. LEAVE CONTRACT AREAS AND SITE BROOM CLEAN, ORDERLY, AND IN A CONDITION ACCEPTABLE FOR NEW OR OTHER CONSTRUCTION ON A DAILY BASIS.
- PRIOR TO COMMENCING WORK, CONTRACTORS SHALL VERIFY WITH ARCHITECT & OWNER ITEMS TO BE SALVAGED FROM DEMOLITION.
- REMOVE ALL CONSTRUCTION SHOWN TO BE DEMOLISHED OR NOT TO BE REUSED. PATCH AND REPAIR ALL SURFACES AFFECTED BY DEMOLITION AND CONSTRUCTION, TO MATCH EXISTING, U.O.N.
- GENERAL CONTRACTOR TO FOLLOW ALL REQUIREMENTS OF THE APPLICABLE LOCAL CITY DEMOLITION AND CONSTRUCTION RECYCLING PLAN.

CONSTRUCTION NOTES

- ALL WORK SHALL BE INSTALLED PLUMB, LEVEL, SQUARE AND TRUE, AND IN PROPER ALIGNMENT. THE CONTRACTOR SHALL PROVIDE LINE AND GRADE MARKINGS ON THE FINISH FLOOR FOR RECTIFYING UNLEVEL FLOOR CONDITIONS. ANY FLOOR OUT OF LEVEL MORE THAN 1/2" IN 10'-0" SHALL BE MADE TO BE LEVEL OVER THE ENTIRE DISTANCE.
- DIMENSIONS NOTED "CLEAR" OR "CLR" ARE MINIMUM REQUIRED DIMENSIONS AND CLEARANCE MUST BE ACCURATELY MAINTAINED TO WITHIN +/- 1/8".

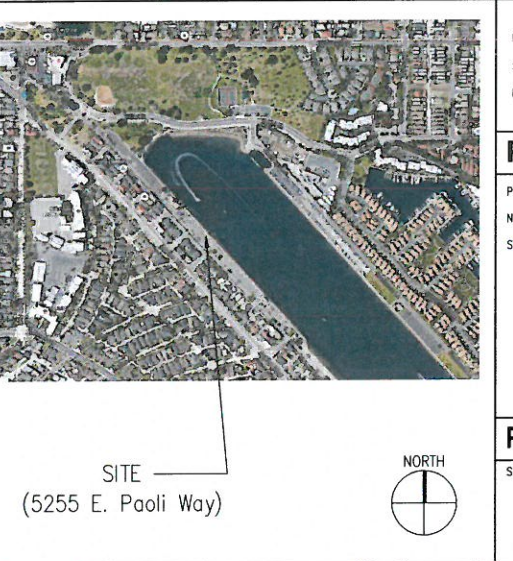
DRAFTING SYMBOLS



ABBREVIATIONS

Ø	Diameter or Round	DBL	Double	GA	Gauge	N	North	SH	Shelf
∠	Centerline	D.F.	Drinking Fountain	GALV	Galvanized	N.I.C.	Not in Contract	SHR	Shower
∠	And	DLA	Diameter	GB	Grab Bar	NO or #	Number	SHT	Sheet
∠	Angle	DM	Dimension	GC	General Contractor	NOM	Nominal	SM	Similar
∠	At	DISP	Dispenser	GL	Glass	N.T.S.	Not To Scale	S.N.D.	Sanitary Napkin Dispenser
∠	Found or Number	DN	Down	GR	Ground	O.A.	Overall	S.N.R.	Sanitary Napkin Receptacle
∠	Existing	D.O.	Door Opening	GR	Grade	OBS	Obscure	SPEC	Specification
(N)	New	DR	Door	GYP	Gypsum	O.C.	On Center	SQ	Square
		DS	Downspout	GSM	Galvanized Sheet Metal	O.D.	Outside Diameter (Dim.)	S.S.T.	Stainless Steel
		D.S.P.	Dray Standpipe	H.B.	Hose Bibb	OFF	Office	S.S.K.	Service Sink
		DWG	Drawing	H.C.	Hollow Core	OPNG	Opening	STD	Standard
		E	East	HWWD	Hardwood	OPP	Opposite	STL	Steel
ACOUS	Acoustical	EA	Each	HWWE	Hardwood	PRCST	Pre-cast	STOR	Storage
A.D.	Area Drain	E.J.	Expansion Joint	H.M.	Hollow Metal	PL	Plate	STR	Structural
ADJ	Adjustable	EL	Elevation	HRIZ	Horizontal	PLAS	Plastic Laminite	SUSP	Suspended
AGGR	Aggregate	ELEV	Elevator	HR	Hour	PLYWD	Plywood	SYM	Symmetrical
A.F.F.	Above Finished Floor	EMER	Emergency	HGT	Height	FR	Fir	TRD	Tread
AL	Aluminum	ENCL	Enclosure	I.D.	Inside Diameter (Dim.)	PT	Pressure Treated	T.B.	Towel Bar
APPROX	Approximate	E.P.	Electrical Panelboard	INSUL	Insulation	PTD	Paper Towel Dispenser	T.C.	Top of Curb
ARCH	Architectural	EQ	Equal	INT	Interior	P.T.D./R	Combination Paper Towel Dispenser & Receptacle	TEL	Telephone
ASPH	Asphalt	EQPT	Equipment	JAN	Janitor	PTD/R	Paper Towel Receptacle	TER	Terrazzo
		EXPO	Exposed	KIT	Kitchen	PTN	Partition	T&G	Tongue and Groove
		EXP	Expansion	LAB	Laboratory	P.T.R.	Paper Towel Receptacle	TK	Thick
		EXT	Exterior	LAM	Laminite	Q.T.	Quarry Tile	T.P.	Top of Pavement
BD	Board	F.A.	Fire Alarm	LAV	Lavatory	R	Riser	T.P.D.	Toilet Paper Dispenser
BITUM	Bituminous	F.B.	Fire Bar	LCK	Locker	RAD	Radius	TW	Top of Wall
BLDG	Building	F.D.	Fire Alarm	LT	Light	R.D.	Roof Drain	TYP	Typical
BLK	Block	FDN	Foundation	MAX	Maximum	REF	Reference	UNF	Unfinished
BLKG	Blocking	F.E.	Fire Extinguisher	MECH	Mechanical	REFR	Refrigerator	U.N.O.	Unless Noted Otherwise
BM	Beam	F.F.	Fire Extinguisher Cab.	MEMB	Membrane	REIN	Reinforced	UR	Urinal
BOT	Bottom	F.H.C.	Fire Hose Cabinet	MET	Metal	REQ	Required	VCT	Vinyl Composition Tile
BW	Bottom Of Wall	FIN	Finish	MFR	Manufacturer	RESIL	Resilient	VERT	Vertical
		FLASH	Flash	MH	Manhole	RM	Room	VEST	Vestibule
		FLUOR	Fluorescent	MIN	Minimum	R.O.	Rough Opening	V.I.F.	Verify In Field
		F.O.C.	Face of Concrete	MIR	Mirror	RWD	Redwood	W.	West
		F.O.F.	Face of Finish	MISC	Miscellaneous	R.W.L.	Rain Water Leader	W/W	With
		F.O.S.	Face of Studs	MOSQ	Masonry Opening	S	South	W/C	Water Closet
		FUR	Furring	MUL	Metal Threshold	S.C.	Solid Core	WO	Wood
		FT	Foot or Feet	MNTD	Mounted	S.C.D.	Sched. Dispenser	W/O	Without
		FTG	Footing	MUL	Mullion	SCHED	Schedule	WP	Waterproof
		FURB	Furring			S.D.	Soap Dispenser	WSC	Wainscot
		FUT	Future			SECT	Section	WT	Weight

VICINITY MAP



PROJECT SCOPE

PROJECT CONSISTS OF REPAIR AND RENOVATION TO EXISTING JUDGING STAND STRUCTURE.

SCOPE TO INCLUDE REPAIR / REPLACEMENT OF SELECT STRUCTURAL ELEMENTS.

PROJECT ADDS NO NEW AREA TO EXISTING 270 S.F. STRUCTURE.

PROJECT DATA

PROJECT ADDRESS: 5255 E. PAOLI WAY, LONG BEACH, CA 90803

NUMBER OF STORIES: 1 STORY

STRUCTURE AREA: 270 S.F.

PATH OF TRAVEL

SEE SHEET A 01 FOR EXISTING PATH OF TRAVEL.

ISSUE INFORMATION

Date	Issue
05.05.16	PLAN CHECK SUBMITTAL
05.09.16	PLAN CHECK CLARIFICATIONS
07.28.16	CLIENT REVISIONS

SHEET INDEX

ARCHITECTURAL DRAWINGS	
G 01	PROJECT INFORMATION / GENERAL NOTES
G 02	ADA DETAILS
A 01	SITE PLAN
A 02	DEMOLITION PLAN & NEW FLOOR PLAN
A 03	EXTERIOR ELEVATIONS
A 04	ENLARGED PLAN AND ELEVATION, DETAILS
A 05	DETAILS
A 06	DETAILS
A 07	COLOR ELEVATIONS
STRUCTURAL DRAWINGS	
S 1.0	GENERAL STRUCTURAL NOTES, PLAN, DETAILS
ELECTRICAL DRAWINGS	
E 1	GENERAL NOTES
E 2	SITE PLAN - DEMOLITION & RENOVATION
E 3	FLOOR PLAN - DEMOLITION & RENOVATION
CIVIL DRAWINGS	
C 1	RIP RAP PLAN

PROJECT DIRECTORY

PROPERTY OWNER:	CITY OF LONG BEACH TIDELANDS CAPITAL IMPROVEMENT DIVISION 333 W. OCEAN BLVD. LONG BEACH, CA 90802 PH: 562.570.6132 CONTACT: MICHAEL JOHNSTON
ARCHITECT:	AETYPIC, INC. 425 E. 4TH STREET, UNIT C LONG BEACH, CA 90802 PH: 562.733.3637 / 415.762.8388 X16 CONTACT: W. GARY LAMB, AA
STRUCTURAL:	NS STRUCTURAL ENGINEERING 4542 ROCKLAND PLACE LA CANADA FLINTRIDGE, CA 91011 PH: 626.840.2338 CONTACT: NEAL SHAH, PE, SE
ELECTRICAL:	P2S ENGINEERING 5000 E. SPRING STREET, 8TH FLOOR LONG BEACH, CA 90815 PH: 562.497.2999 CONTACT: RUDY BORJA
CIVIL:	JWC2 CIVIL ENGINEERING 411 NORTH HARBOR BOVD. SUITE 201 SAN PEDRO, CA 90731 PH: 310.241.6550 X241 CONTACT: FELIX SIN, PE
SOILS:	GEDCON WEST, INC. 3303 N. SAN FERNANDO BLVD. SUITE 100 BURBANK, CA 91504 PH: 818.841.8369 CONTACT: NEAL BERLINER, GE

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CITY OF LONG BEACH

333 W. OCEAN BOULEVARD
LONG BEACH, CA 90802

PROJECT TITLE

3S JUDGING STAND
RENOVATION
5255 E. PAOLI WAY
LONG BEACH, CA 90802

SHEET TITLE

PROJECT INFO

PROJECT NO.
AET-13-082

SCALE

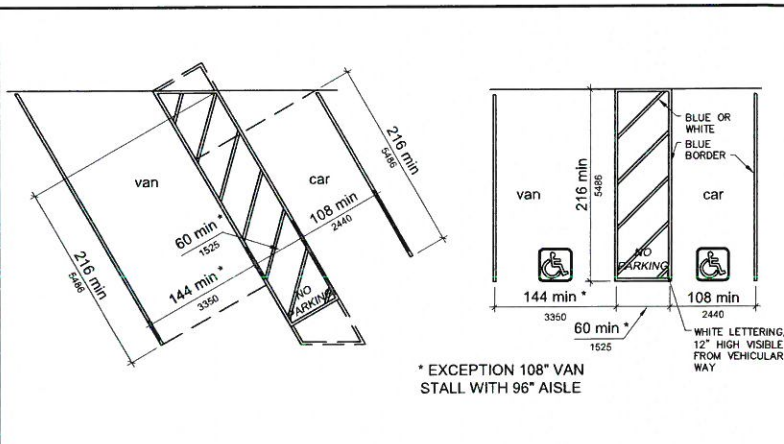
G 01

gory.lamb Aug 02, 2016 - 2:40pm Z:\AETYPIC\project\2013\AET-13-082 Long Beach On-Call Arch\3S Judging Stand_Marine Stadium\6_Production\1_Drawings\2_Sheets\1_G01_PROJECT INFO.dwg

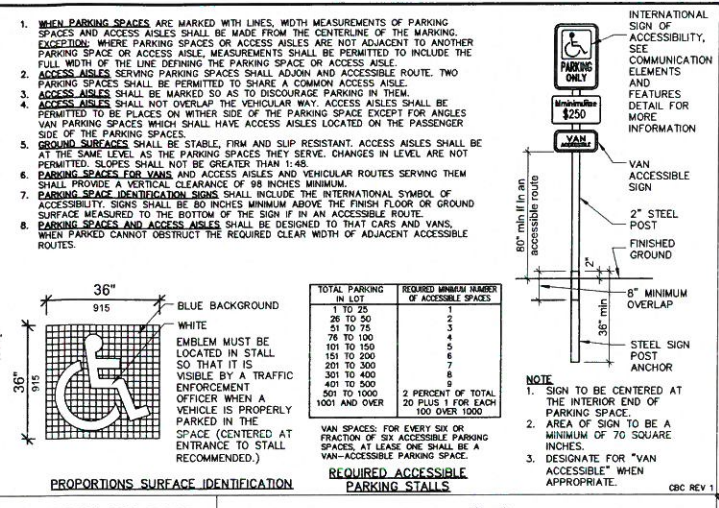
Convention	Description	Convention	Description
	dimension showing English units (inches unless otherwise specified) above the line and SI units (in millimeters unless otherwise specified) below the line		boundary of clear floor space or maneuvering clearance
	dimension for small measurements		a permitted element or its extension
	dimension showing a range with minimum - maximum		a wall, floor, ceiling or other element cut in section or plan
	greater than or equal to		a highlighted element in elevation or plan
	less than or equal to		location zone of element, control or feature
	minimum		minimum
	maximum		maximum

GENERAL:
 1. DIMENSIONS: DIMENSIONS THAT ARE NOT STATED A "MAXIMUM" OR "MINIMUM" ARE ABSOLUTE.
 2. EQUIVALENT FACILITIES: NOTHING IN THESE REQUIREMENTS PREVENTS THE USE OF DESIGN, PROJECTS, OR TECHNOLOGIES AS ALTERNATIVES TO THOSE PRESCRIBED, PROVIDED THEY RESULT IN SUBSTANTIAL EQUIVALENT OR GREATER ACCESSIBILITY AND USABILITY.
 3. CALCULATIONS OF PERCENTAGES: WHERE THE REQUIRED NUMBER OF ELEMENTS OF FACILITIES TO BE PROVIDED IS DETERMINED BY CALCULATIONS OF RATIOS OR PERCENTAGES AND REMAINDERS OR FRACTIONS RESULT, THE NEXT GREATER WHOLE NUMBER OF SUCH ELEMENTS OF FACILITIES SHALL BE PROVIDED. WHERE THE DETERMINATION OF THE REQUIRED SIZE OR DIMENSION OF AN ELEMENT OR FACILITIES INVOLVES RATIOS OR PERCENTAGES, ROUNDING DOWN FOR VALUES LESS THAN ON HALF SHALL BE PERMITTED.
 4. % OF LOCKERS AND A MINIMUM OF ONE SHALL BE ACCESSIBLE.
 5. BUILD-IN STORAGE ELEMENTS SUCH AS CABINETS, SHELVES, MEDICINE CABINETS, CLOSETS AND DRAWERS ARE PROVIDED IN REQUIRED ACCESSIBLE SPACES. AT LEAST ONE OF EACH TYPE SHALL CONTAIN STORAGE SPACE THAT IS ACCESSIBLE.

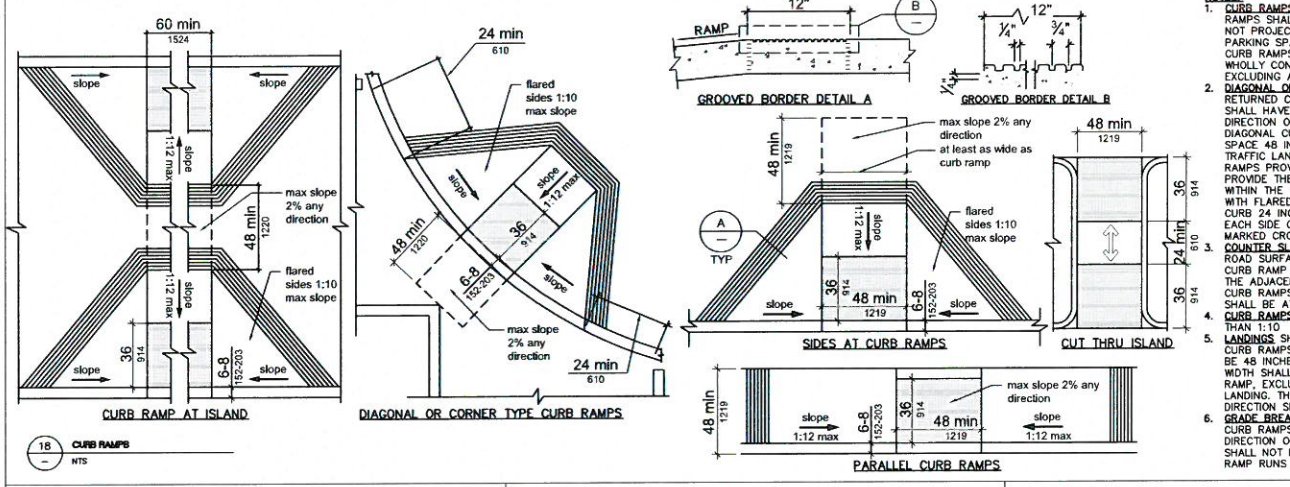
17 GRAPHIC CONVENTION FOR FIGURES
 NTS
 CBC REV 1



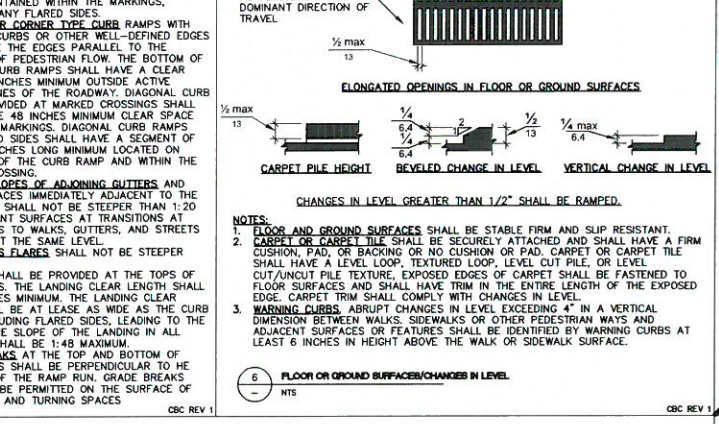
18 ACCESSIBLE PARKING STALLS
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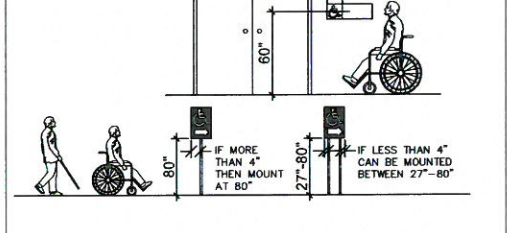
19 PROPORTIONS SURFACE IDENTIFICATION
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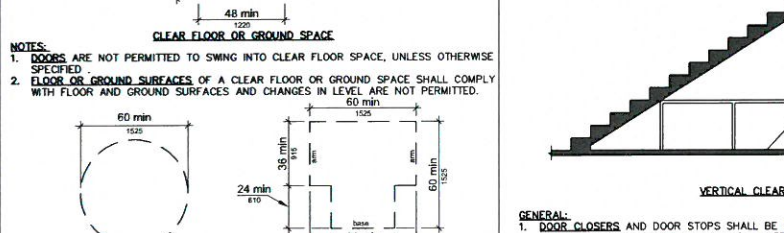
20 CURB RAMPS
 NTS
 CBC REV 1



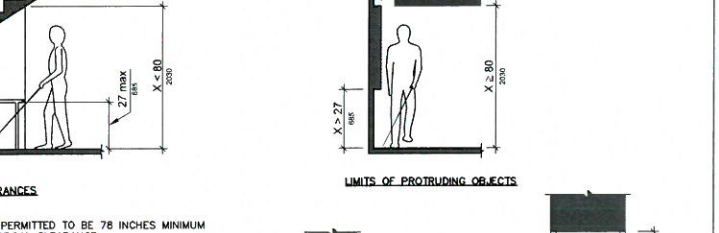
21 FLOOR OR GROUND SURFACES/CHANGES IN LEVEL
 NTS
 CBC REV 1



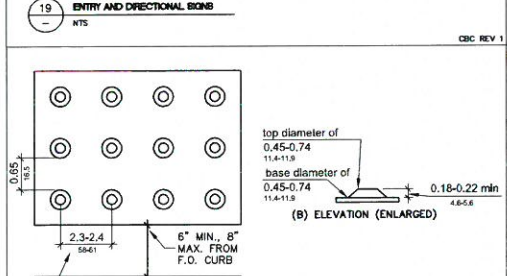
22 ENTRY AND DIRECTIONAL SIGNS
 NTS
 CBC REV 1



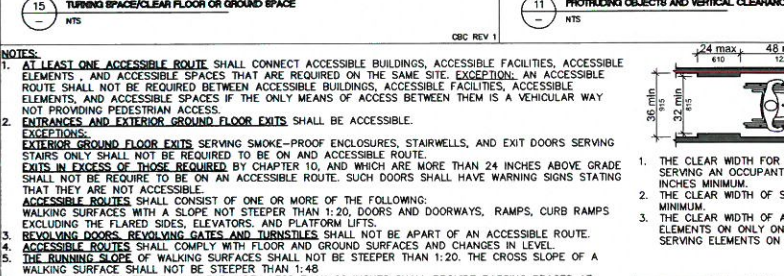
23 TURNING SPACE/CLEAR FLOOR OR GROUND SPACE
 NTS
 CBC REV 1



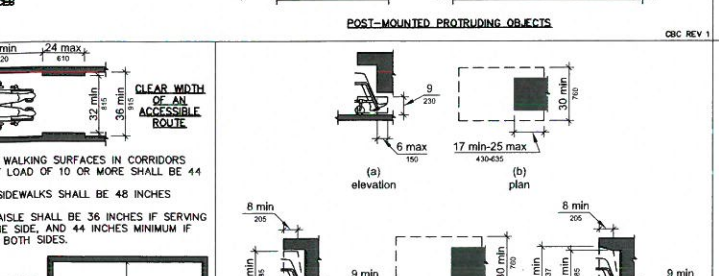
24 VERTICAL CLEARANCES
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 CBC REV 1



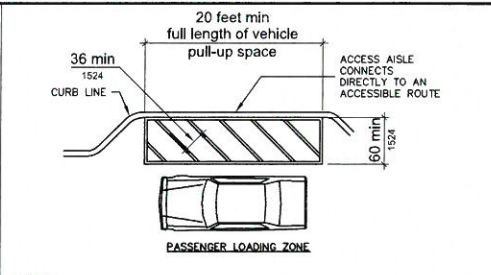
25 DETECTABLE WARNINGS
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 CBC REV 1



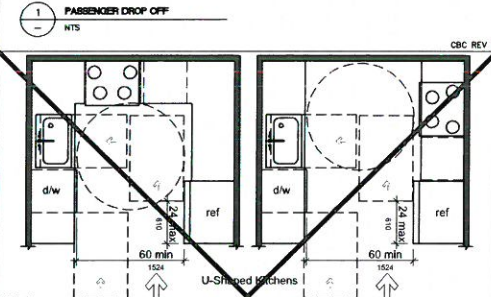
26 CLEAR WIDTH OF AN ACCESSIBLE ROUTE
 NTS
 CBC REV 1



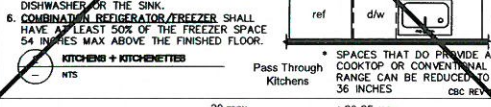
27 POST-MOUNTED PROTRUDING OBJECTS
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 CBC REV 1



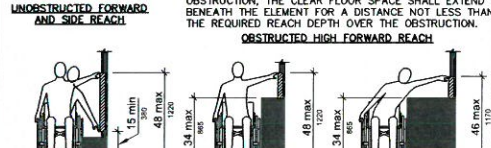
28 PASSENGER LOADING ZONE
 NTS
 CBC REV 1



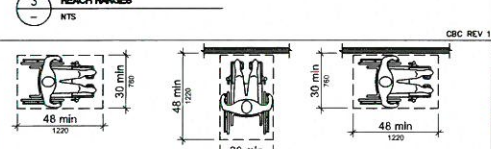
29 KITCHENS + KITCHENETTES
 NTS
 CBC REV 1



30 UNOBSTRUCTED FORWARD AND SIDE REACH
 NTS
 CBC REV 1



31 OBSTRUCTED HIGH FORWARD REACH
 NTS
 CBC REV 1



32 CLEAR FLOOR SPACE
 NTS
 CBC REV 1

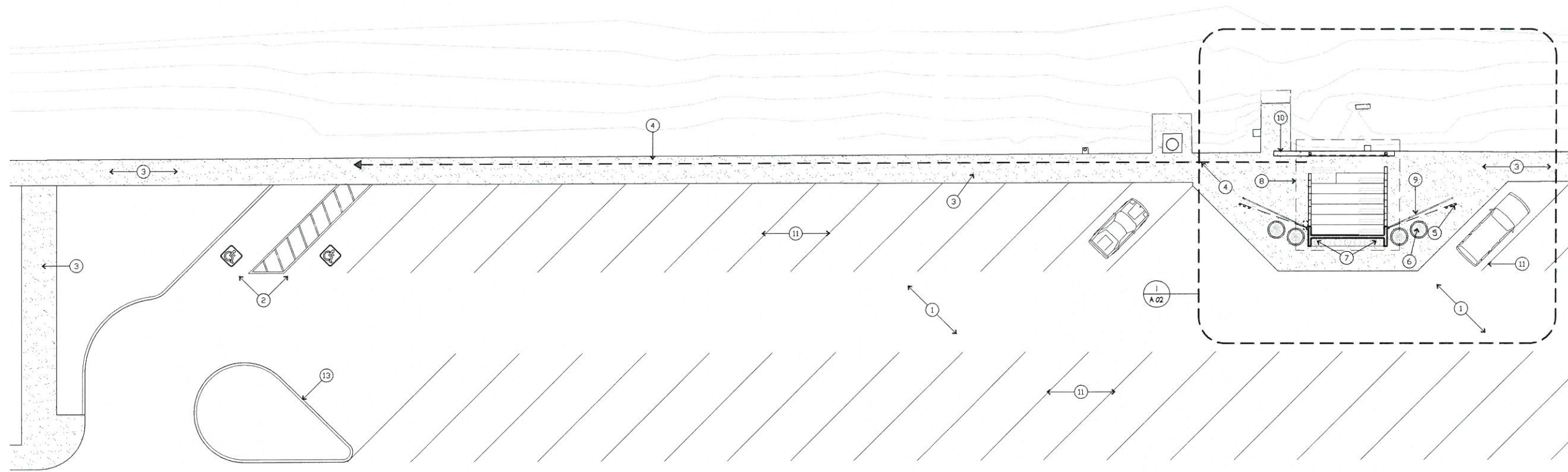


33 ADDITIONAL MANEUVERING CLEARANCE FOR FORWARD APPROACH IN ALCOVE
 NTS
 CBC REV 1

May 02, 2016 1:46pm 2:\AETYPIC\project\2013\NET-13-082 Long Beach On-Call Arch\3S Judging Stand_Marine Stadium\6_Production\1_Drawings\2_Sheets\1_G02_ADA.dwg
 gary.lamb

LONG BEACH MARINE STADIUM

12



1 SITE PLAN
SCALE: 3/32" = 1'-0"



SITE PLAN SHEET NOTES

1. ERECT AND MAINTAIN TEMPORARY BRACINGS, BARRICADES, SIGNS, AND OTHER MEASURES AS NECESSARY TO PROTECT THE PUBLIC, WORKERS, PERSONS, AND ADJOINING PROPERTY FROM DAMAGE FROM DEMOLITION WORK IN ACCORDANCE WITH THE APPLICABLE CODES AND REGULATIONS.

SITE PLAN KEY NOTES

- ① (E) PARKING LOT PAVING TO REMAIN. PATCH & REPAIR AS REQ'D.
- ② (E) ACCESSIBLE PARKING TO REMAIN.
- ③ (E) CONCRETE SIDEWALK TO REMAIN UNLESS OTHERWISE NOTED.
- ④ ACCESSIBLE PATH OF TRAVEL
- ⑤ (N) PRECAST BOLLARD, TYPICAL OF 3 EACH SIDE.
- ⑥ (N) 36" DIA. CONCRETE PLANTER, TYPICAL OF 2 EACH SIDE.
- ⑦ (N) PLANTING AREA.
- ⑧ LINE OF (E) ROOF ABOVE.
- ⑨ (N) STEEL GATE, TYPICAL EACH SIDE.
- ⑩ (N) POURED-IN-PLACE CONCRETE WALL. SEE STRUCTURAL DWGS.
- ⑪ (E) PARKING STALL STRIPING TO REMAIN.
- ⑫ (E) WATERWAY
- ⑬ (E) LANDSCAPE ISLAND

SITE PLAN LEGEND

- ← INDICATES EXISTING BUILDING STRUCTURE
- - - - ← (E) ACCESSIBLE PATHS OF TRAVEL FROM ACCESSIBLE PARKING TO MAIN OR OTHER ENTRY POINTS

ISSUE INFORMATION

Date	Issue
05.05.16	PLAN CHECK SUBMITTAL
07.28.16	CLIENT REVISIONS

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CLIENT

CITY OF LONG BEACH
333 W. OCEAN BOULEVARD
LONG BEACH, CA 90802

PROJECT TITLE

3S JUDGING STAND RENOVATION
5255 E. PAOLI WAY
LONG BEACH, CA 90802

SHEET TITLE

SITE PLAN

PROJECT NO.
AET-13-082

SCALE **A 01**

gery.lamb Aug 09, 2016 - 9:13am Z:\AETYPIC\project\2013\AET-13-082 Long Beach On-Call Arch\3S Judging Stand_Marine Stadium\6_Production\1_Drawings\2_Sheets\2_A01_SITE.dwg

ISSUE INFORMATION

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05.09.16	PLAN CHECK CLARIFICATIONS
07.28.16	CLIENT REVISIONS

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333 W. OCEAN BOULEVARD
LONG BEACH, CA 90802

PROJECT TITLE

3S JUDGING STAND RENOVATION
5255 E. PAOLI WAY
LONG BEACH, CA 90802

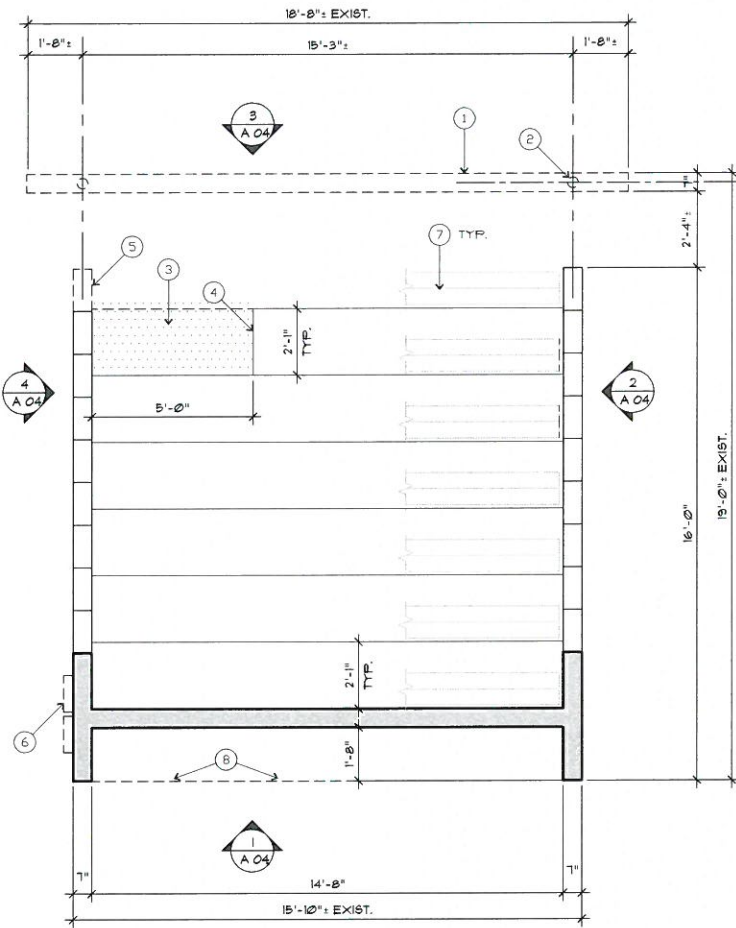
SHEET TITLE

FLOOR PLAN

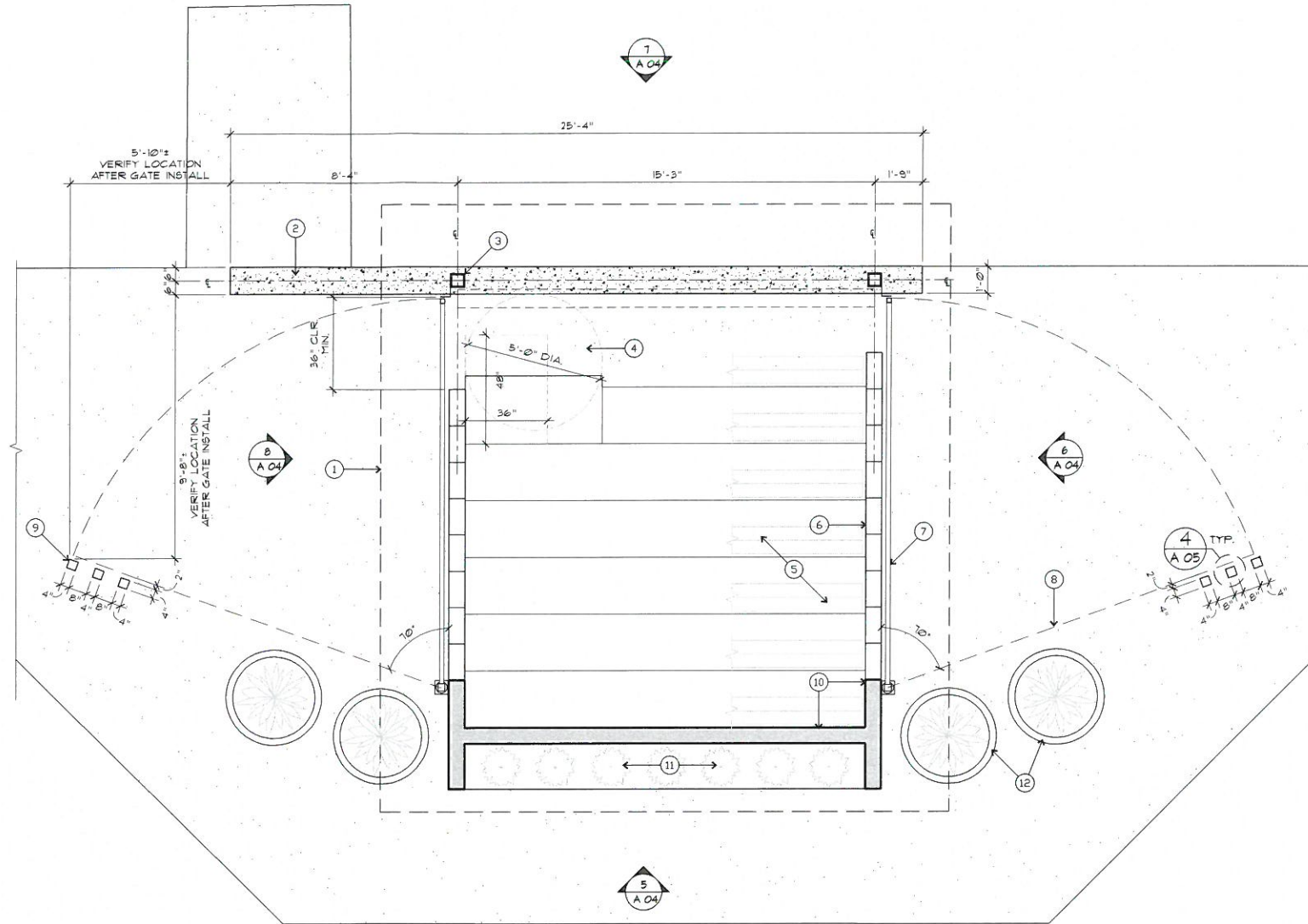
PROJECT NO.
AET-13-082

SCALE
3/8" = 1'-0"

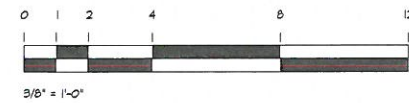
A 02



2 DEMOLITION FLOOR PLAN
SCALE: 3/8" = 1'-0"



1 SITE / FLOOR PLAN
SCALE: 3/8" = 1'-0"



DEMOLITION PLAN SHEET NOTES

- ERECT AND MAINTAIN TEMPORARY BRACINGS, BARRICADES, SIGNS, AND OTHER MEASURES AS NECESSARY TO PROTECT THE PUBLIC, WORKERS, PERSONS, AND ADJOINING PROPERTY FROM DAMAGE FROM DEMOLITION WORK IN ACCORDANCE WITH THE APPLICABLE CODES AND REGULATIONS.

DEMOLITION PLAN KEY NOTES

- (E) CONCRETE MASONRY WALL TO BE REMOVED.
- PORTION OF (E) STEEL COLUMN TO BE REMOVED, SEE STRUCTURAL DRAWINGS.
- PORTION OF (E) CONCRETE STEP TO BE REMOVED TO PROVIDE WHEELCHAIR ACCESSIBLE VIEWING AREA.
- SHORE (E) CONCRETE BENCH/STEP AS REQUIRED WHEN REMOVING PORTION OF ADJACENT CONCRETE.
- PORTION OF (E) CONCRETE MASONRY WALL TO BE REMOVED. SEE EXTERIOR ELEVATIONS, SHEET A 04.
- (E) ELECTRICAL PULL BOXES TO BE REMOVED. SEE ELECTRICAL DRAWINGS.
- (E) WOOD BENCHES TO BE REMOVED. BENCH BRACKETS TO BE PROTECTED FOR REUSE.
- REMOVE PORTION OF (E) SIDEWALK FOR (N) PLANTING AREA.

FLOOR PLAN SHEET NOTES

- CONTRACTOR SHALL REMOVE ALL DEBRIS RELATED TO CONSTRUCTION.
- INSTALL ALL MATERIALS IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.

FLOOR PLAN KEY NOTES

- LINE OF (E) ROOF ABOVE
- NEW POURED-IN-PLACE CONCRETE WALL. SEE STRUCTURAL DRAWINGS.
- NEW STEEL SUPPORT COLUMN. SEE STRUCTURAL DRAWINGS.
- DASHED LINE INDICATES REQUIRED CLEARANCES AT WHEELCHAIR ACCESSIBLE VIEWING AREA. SEE 4/6 02.
- NEW 2 x 6 GUMARU BENCH ANCHORED TO EXISTING STEEL SUPPORTS. EXISTING SUPPORTS TO BE PAINTED.
- EXISTING STEPPED CONCRETE MASONRY WALL TO REMAIN. EXISTING WALLS TO BE PAINTED, SEE FINISH PLAN A 05.
- NEW STEEL SECURITY GATE, SEE I & 2/A 05.
- DASHED LINE INDICATES LOCATION OF GATE IN OPEN POSITION.

PLAN LEGEND

- EXISTING TO BE REMOVED
- EXISTING TO REMAIN

gerry.lamb Aug 02, 2016 - 2:57pm Z:\AETYPIC\project\2013\AET-13-082 Long Beach 0n-Call Arch\35 Judging Stand_Marine Stadium\6_Production\1_Drawings\2_Sheets\2_A02-03_FLOOR.dwg

ISSUE INFORMATION

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CLIENT

CITY OF LONG BEACH
333 W. OCEAN BOULEVARD
LONG BEACH, CA 90802

PROJECT TITLE

3S JUDGING STAND RENOVATION
5255 E. PAOLI WAY
LONG BEACH, CA 90802

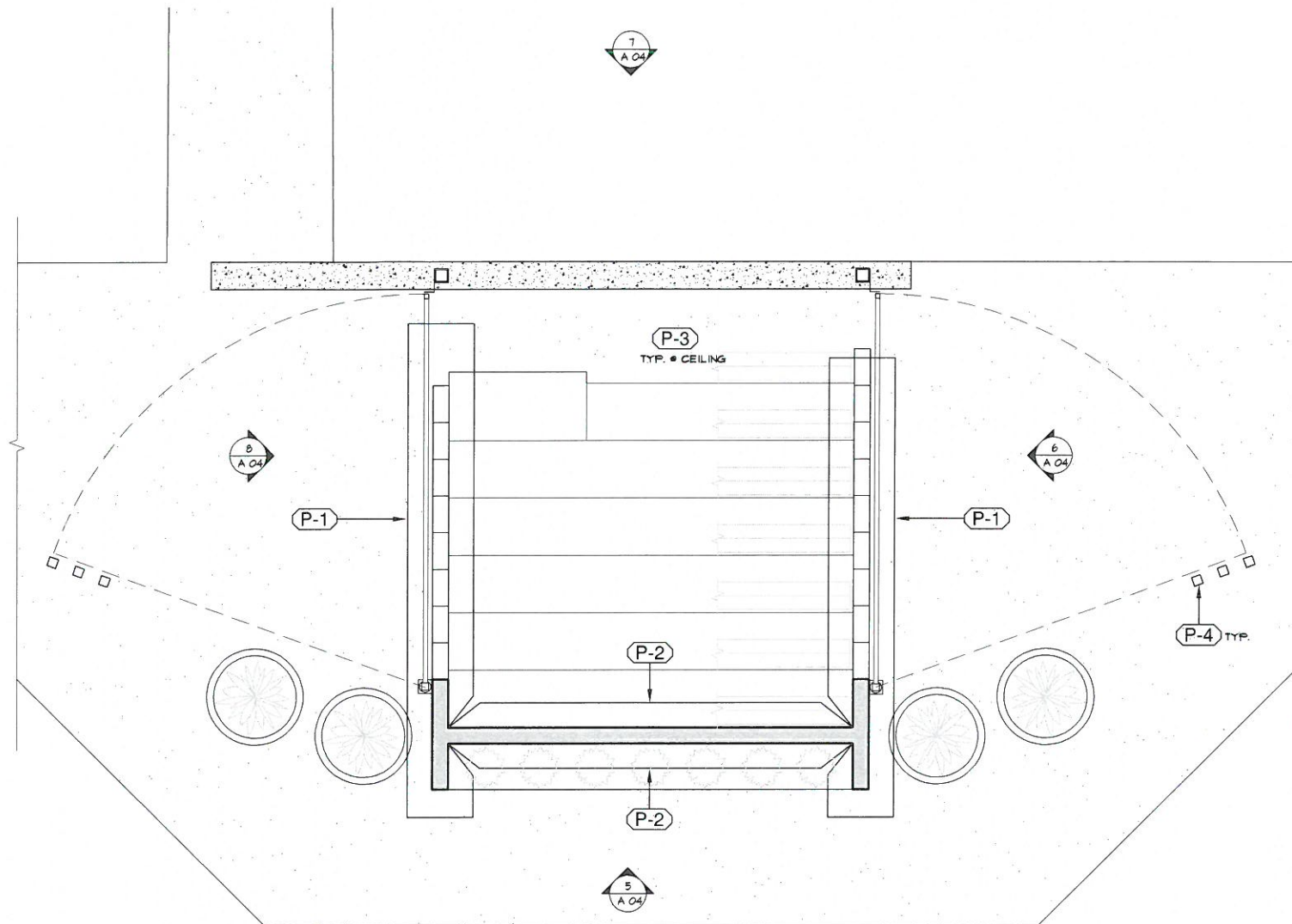
SHEET TITLE

FINISH PLAN

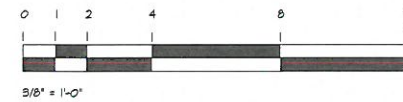
PROJECT NO.
AET-13-082

SCALE
3/8" = 1'-0"

A 03



FINISH PLAN
SCALE: 3/8" = 1'-0"



FINISH PLAN SHEET NOTES

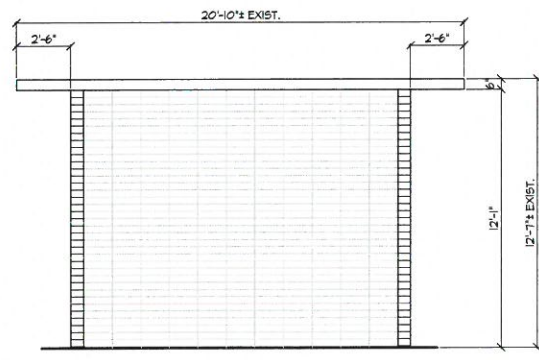
1. ALL EXISTING CONCRETE MASONRY WALLS TO RECEIVE EXTERIOR EGGSHELL FINISH.
2. ALL EXISTING SURFACES TO BE POWER WASHED AND PREPARED FOR APPLICATION OF NEW FINISHES.
3. CONTRACTOR TO PROVIDE ARCHITECT WITH A MINIMUM OF THREE SAMPLES OF EACH FINISH/MATERIAL FOR APPROVAL PRIOR TO ORDERING AND INSTALLATION.
4. ALL DARK PAINT COLORS TO RECEIVE UNDERCOAT.
5. CONTRACTOR TO PROVIDE MANUFACTURER'S USE AND CARE MANUALS FOR ALL FINISH PRODUCTS.

FINISH PLAN KEY NOTES

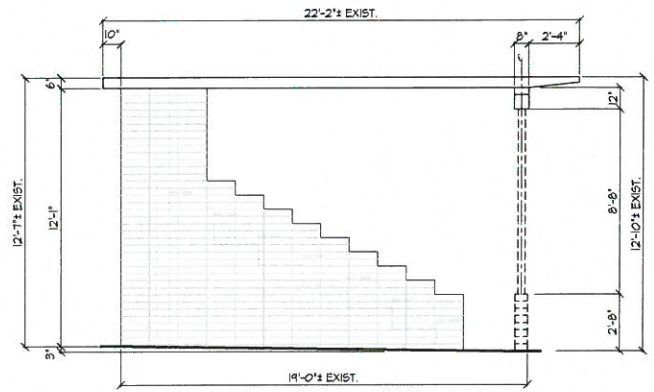
1. EXISTING BENCH BRACKETS TO BE CLEANED AND PAINTED WITH SEMI-GLOSS PAINT.
2. FINISHES AT EXISTING CONCRETE WALKWAY TO BE CLEANED AS REQUIRED.
3. CONCRETE FINISH AT (N) WHEELCHAIR ACCESSIBLE AREA TO MATCH EXISTING.
4. ALL (N) EXPOSED STEEL TO BE GALVANIZED, U.N.O.

FINISH SCHEDULE

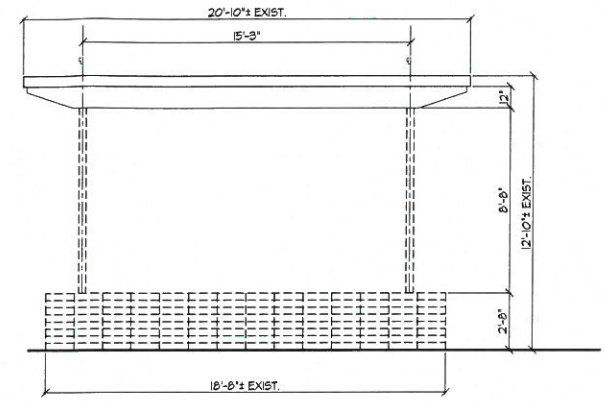
MATERIAL	ITEM	MANUFACTURER	STYLE / COLOR	NOTES
PAINT	(P-1)	SHERWIN WILLIAMS	SW 7046 - ANONYMOUS	MASONRY WALLS
PAINT	(P-2)	SHERWIN WILLIAMS	SW 7042 - WORLDLY GRAY	MASONRY WALLS
PAINT	(P-3)	SHERWIN WILLIAMS	SW 7042 - SHOJI WHITE	CEILING, CONCRETE BEAM
PAINT (GALVANIZING COMPOUND)	(P-4)	ZRC WORLDWIDE www.zrcworldwide.com	ZRC 221 COLD GALVANIZING COMPOUND	MISCELLANEOUS STEEL



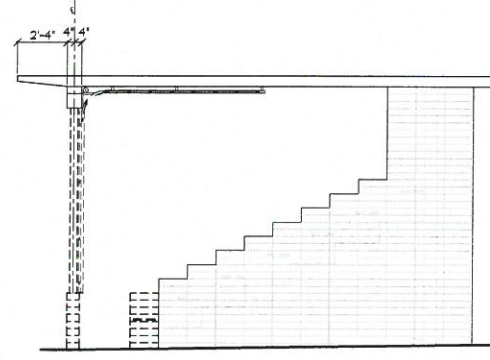
1 SOUTH ELEVATION (DEMOLITION)
SCALE: 1/4" = 1'-0"



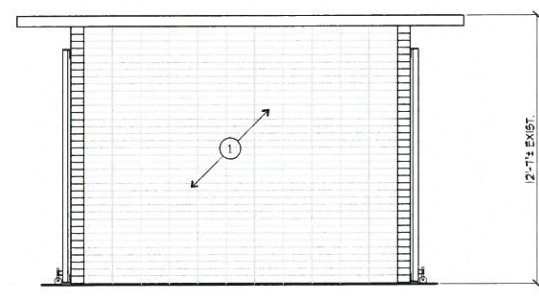
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SCALE: 1/4" = 1'-0"



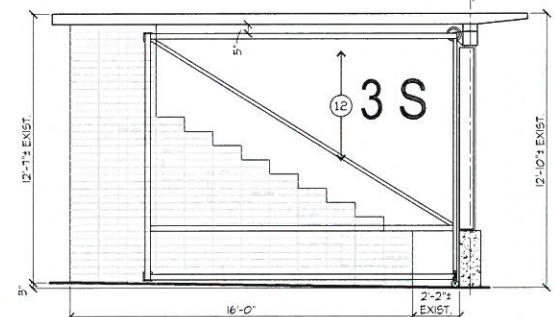
3 NORTH ELEVATION (DEMOLITION)
SCALE: 1/4" = 1'-0"



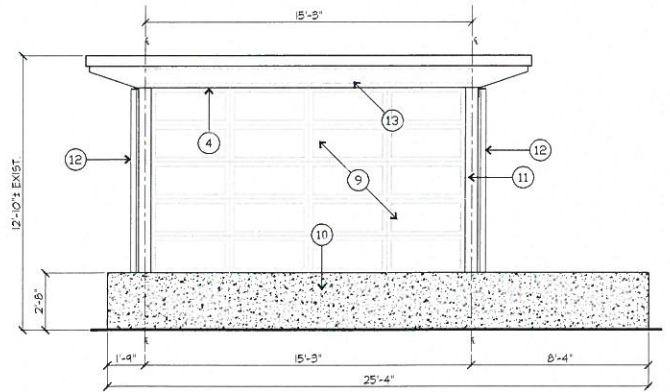
4 WEST ELEVATION (DEMOLITION)
SCALE: 1/4" = 1'-0"



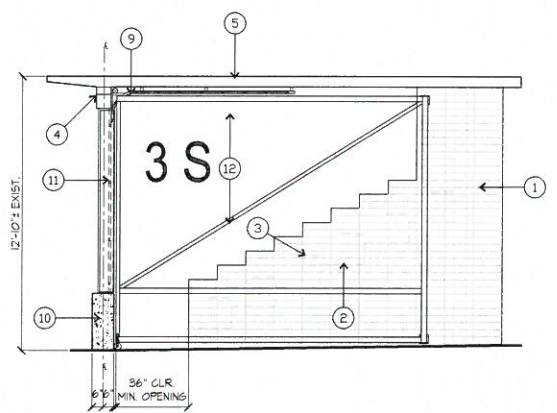
5 SOUTH ELEVATION (NEW)
SCALE: 1/4" = 1'-0"



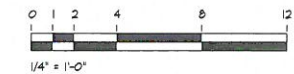
6 EAST ELEVATION (NEW)
SCALE: 1/4" = 1'-0"



7 NORTH ELEVATION (NEW)
SCALE: 1/4" = 1'-0"



8 WEST ELEVATION (NEW)
SCALE: 1/4" = 1'-0"



ELEVATION SHEET NOTES

- ERECT AND MAINTAIN TEMPORARY BRACINGS, BARRICADES, SIGNS, AND OTHER MEASURES AS NECESSARY TO PROTECT THE PUBLIC, WORKERS, PERSONS, AND ADJOINING PROPERTY FROM DAMAGE FROM DEMOLITION WORK IN ACCORDANCE WITH THE APPLICABLE CODES AND REGULATIONS.

ELEVATION KEY NOTES

- (E) CONCRETE MASONRY WALL TO REMAIN.
- LINE OF (E) CONCRETE STEP BEYOND.
- LINE OF (E) BENCH SEAT BEYOND.
- (E) CONCRETE BEAM TO REMAIN.
- (E) CONCRETE ROOF TO REMAIN.
- PORTION OF (E) STEPPED CONCRETE MASONRY WALL TO BE REMOVED AT GROUT LINE.
- (E) CONCRETE MASONRY WALL TO BE REMOVED COMPLETELY.
- PORTION OF (E) STEEL COLUMN TO BE REMOVED. SEE STRUCTURAL DRAWINGS FOR EXTENT.
- (N) ROLL-UP GARAGE DOOR, SEE 1/A 06.
- (N) POURED-IN-PLACE CONCRETE WALL, SEE STRUCTURAL DRAWINGS.
- (N) STEEL COLUMN AND GATE CLOSURE ANGLES, SEE 1 & 2/A 02 AND STRUCTURAL DRAWINGS.
- (N) STEEL SECURITY GATE, TYPICAL. SEE 1 & 2/A 02.
- DASHED LINE INDICATES LINE OF (N) ROLL-UP GARAGE DOOR BEYOND.

ISSUE INFORMATION

Date	Issue
05.05.16	PLAN CHECK SUBMITTAL
07.28.16	CLIENT REVISIONS

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CLIENT
CITY OF LONG BEACH
333 W. OCEAN BOULEVARD
LONG BEACH, CA 90802

PROJECT TITLE
3S JUDGING STAND RENOVATION
5255 E. PAOLI WAY
LONG BEACH, CA 90802

SHEET TITLE
ELEVATIONS

PROJECT NO.
AET-13-082

SCALE
1/4" = 1'-0"

A 04

gery.lamb Aug 02, 2016 - 3:41pm Z:\AETYPIC\project\2013\AET-13-082 Long Beach On-Call Arch\3S Judging Stand_Marine Stadium\6_Production\1_Drawings\2_Sheets\2_A04_ELEV.dwg

ISSUE INFORMATION

Date	Issue
05.05.16	PLAN CHECK SUBMITTAL
07.28.16	CLIENT REVISIONS

CLIENT

CITY OF LONG BEACH
333 W. OCEAN BOULEVARD
LONG BEACH, CA 90802

PROJECT TITLE

3S JUDGING STAND RENOVATION
5255 E. PAOLI WAY
LONG BEACH, CA 90802

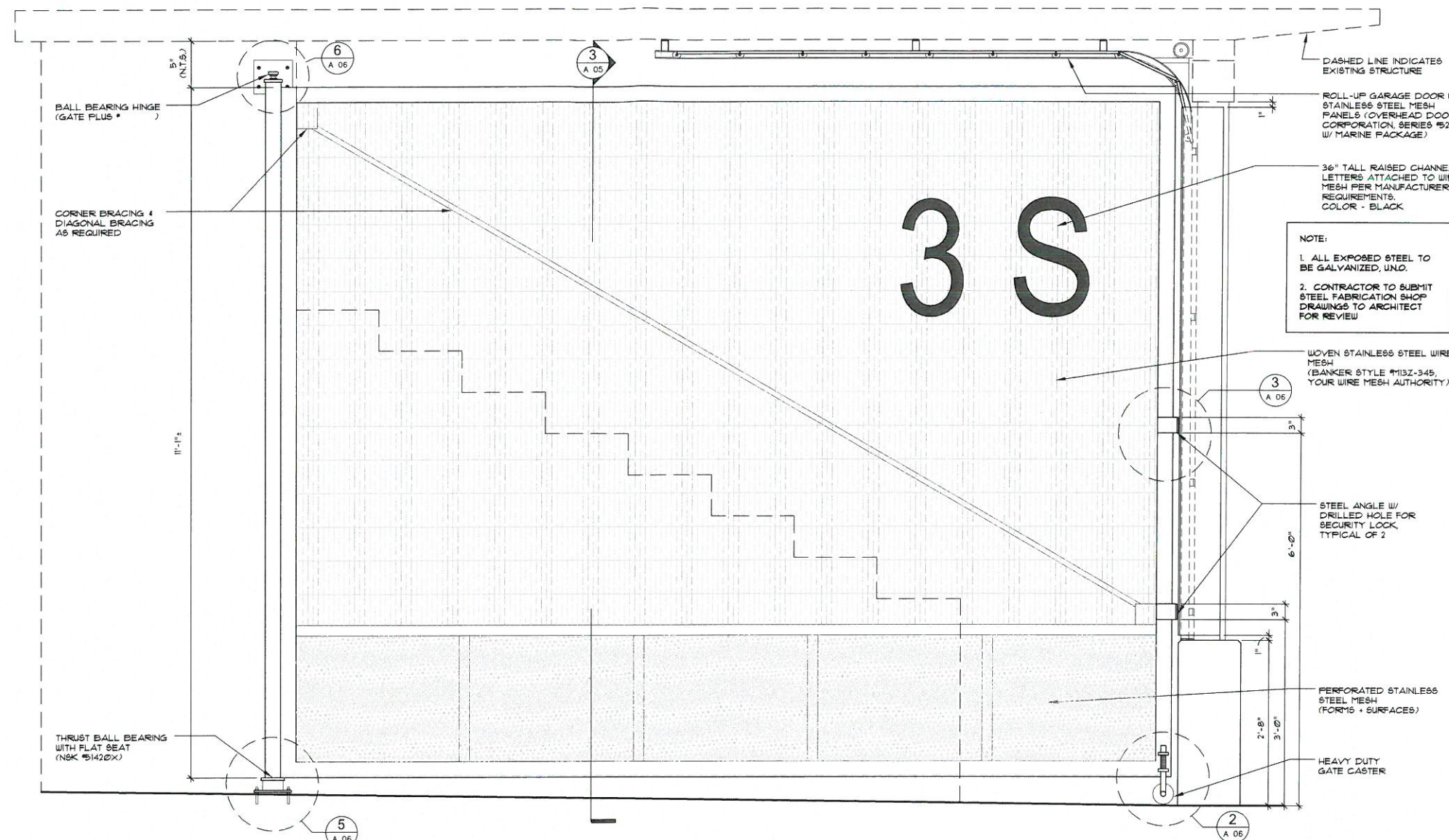
SHEET TITLE

ENLARGED GATE PLAN, ELEVATION & SECTION

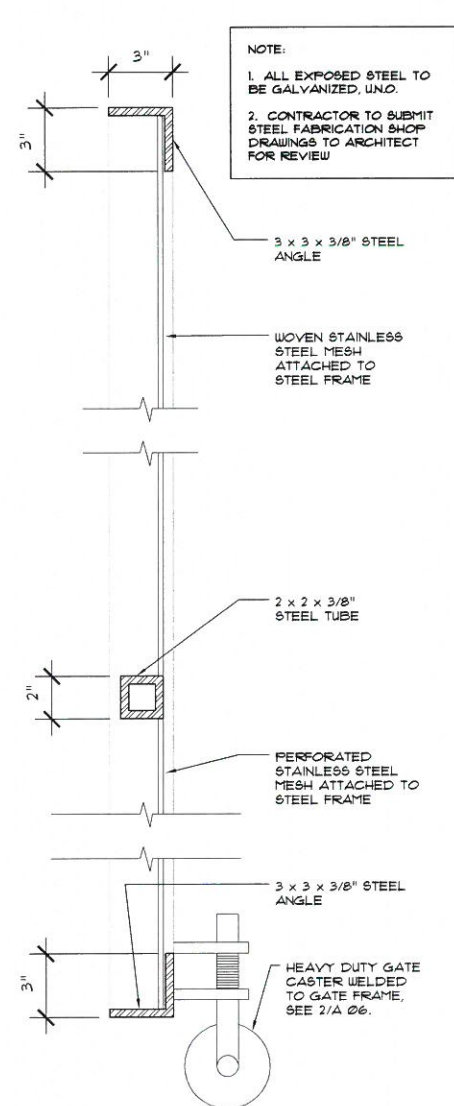
PROJECT NO.
AET-13-082

SCALE
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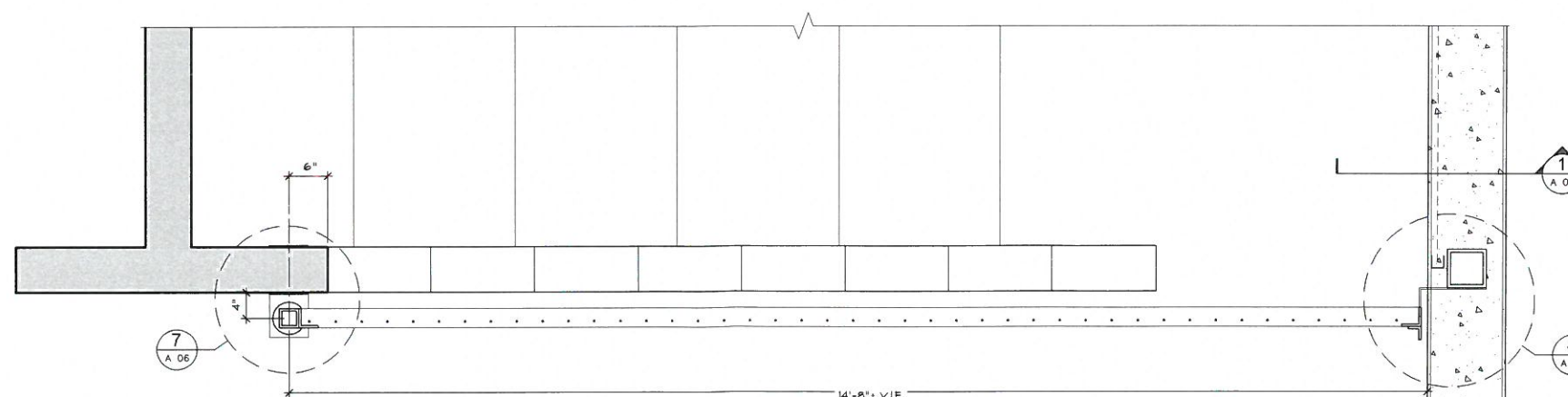
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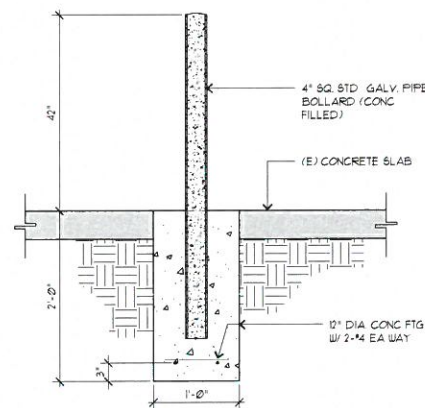
2 GATE ELEVATION
SCALE: 1" = 1'-0"



3 GATE SECTION
SCALE: 3" = 1'-0"



1 GATE PLAN
SCALE: 1" = 1'-0"



4 BOLLARD
SCALE: 3" = 1'-0"

NOTE: 1. ENTIRE ASSEMBLY TO BE GALV. AFTER FABRICATION
2. SET PLUMB AND TRUE TO INTENDED LOCATION

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LONG BEACH, CA 90802

PROJECT TITLE

3S JUDGING STAND RENOVATION
5255 E. PAOLI WAY
LONG BEACH, CA 90802

SHEET TITLE

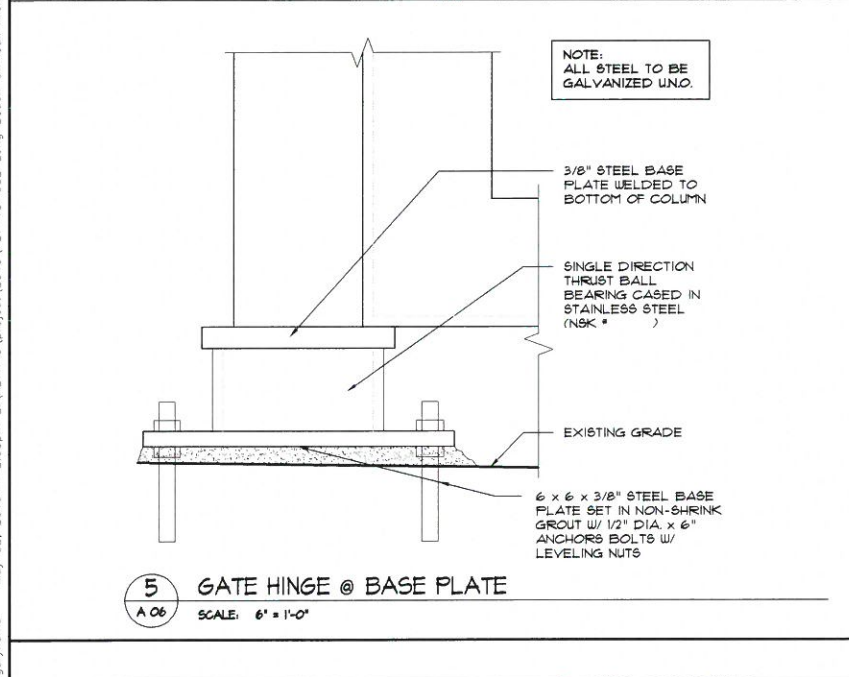
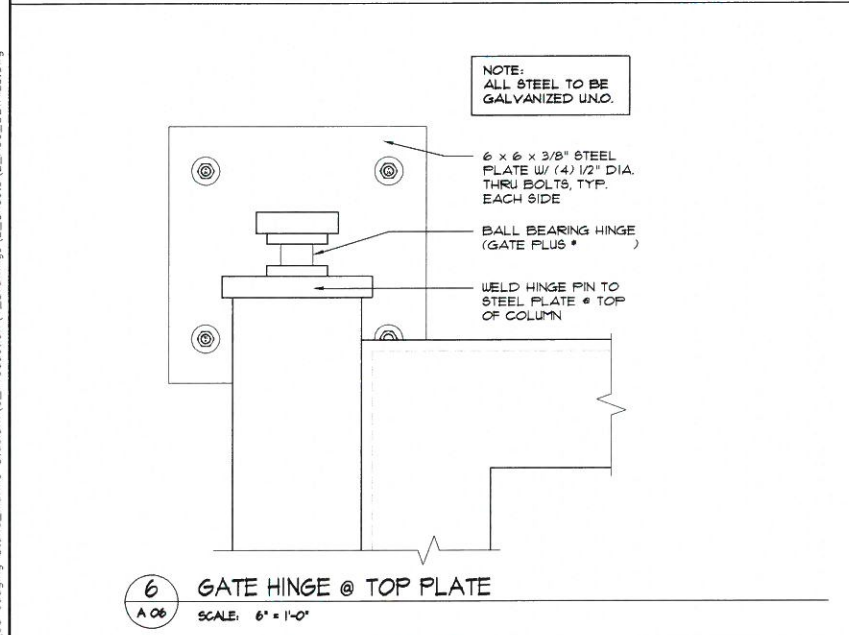
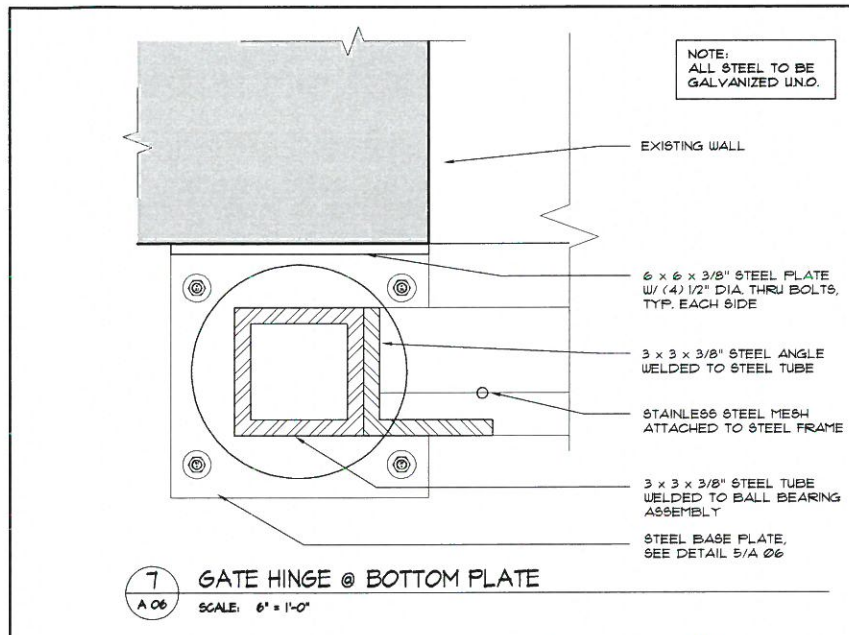
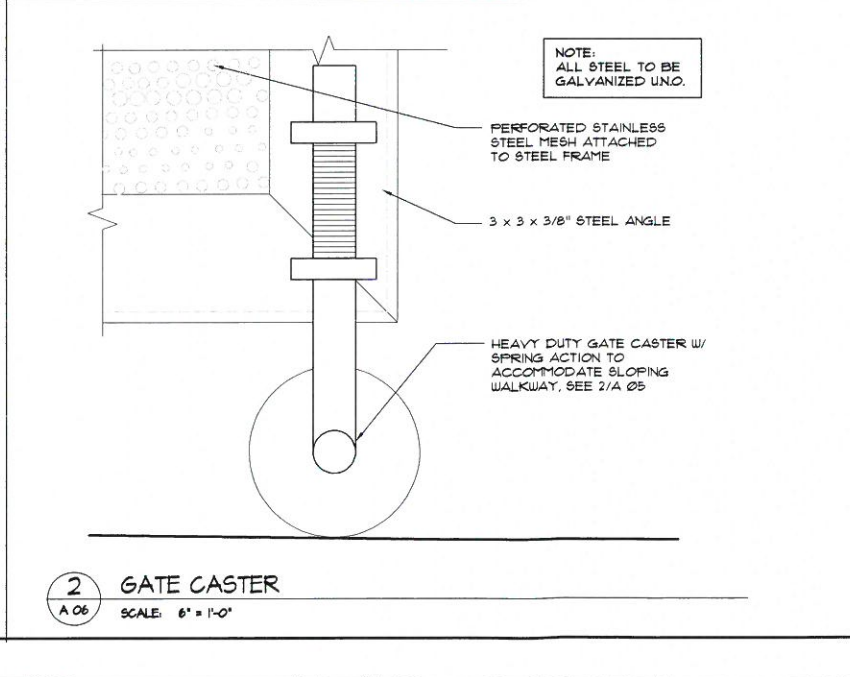
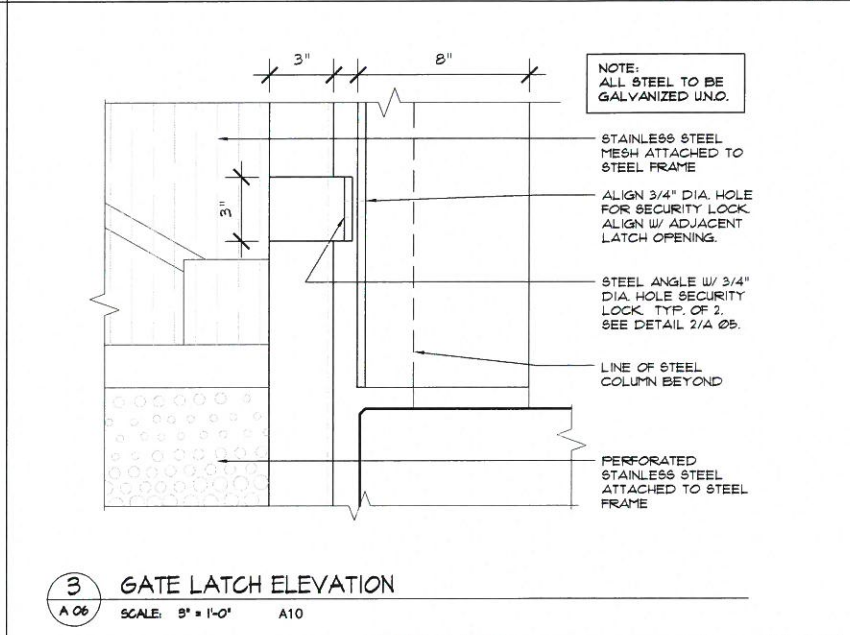
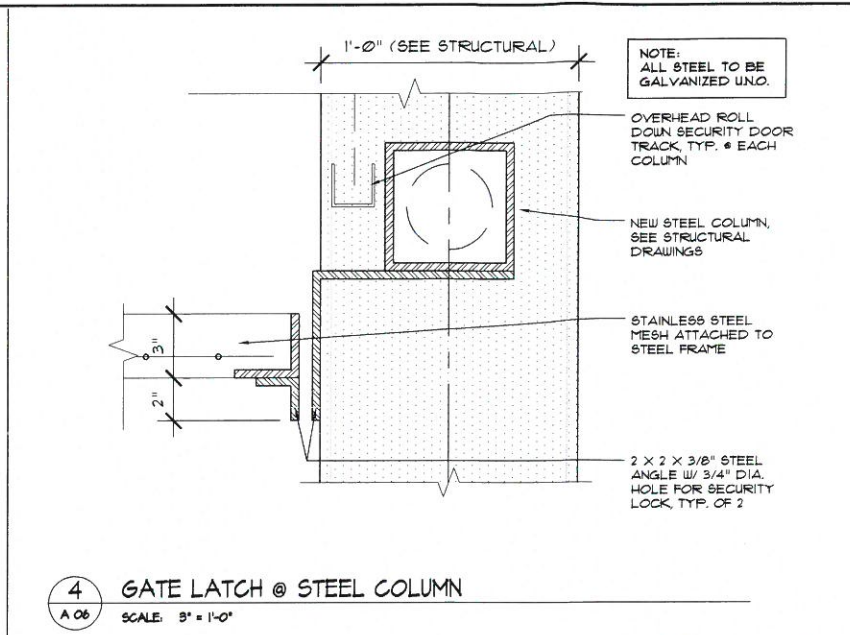
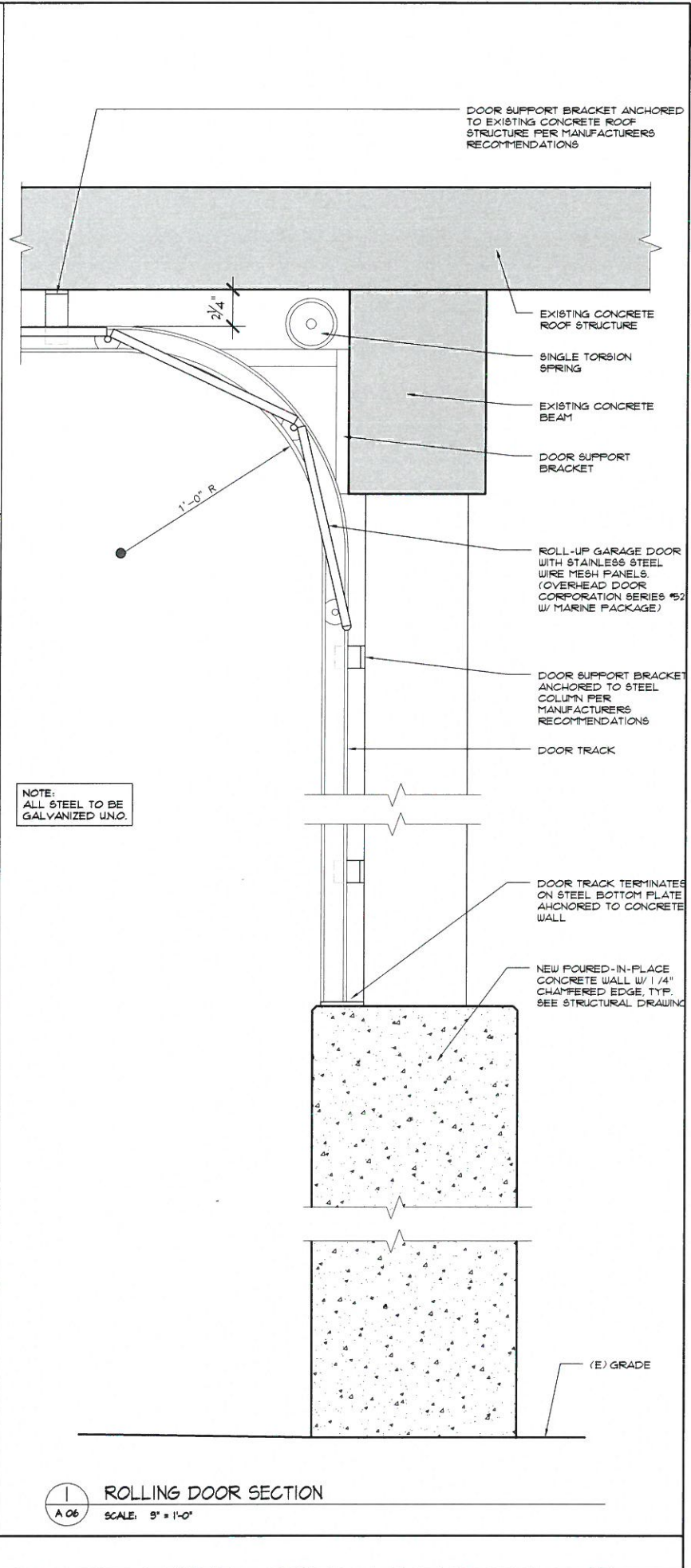
DETAILS

PROJECT NO.

AET-13-082

SCALE

A 06



gary.lamb May 02, 2016 2:08pm Z:\AETYPIC\Project\2013\AET-13-082 Long Beach On-Call Arch\3S Judging Stand_Marine Stadium\6_Production\1_Drawings\2_Sheets\2_A06_DETAILS.dwg

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05.09.16	PLAN CHECK CLARIFICATIONS
07.28.16	CLIENT REVISIONS

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CITY OF LONG BEACH
333 W. OCEAN BOULEVARD
LONG BEACH, CA 90802

PROJECT TITLE

3S JUDGING STAND RENOVATION
5255 E. PAOLI WAY
LONG BEACH, CA 90802

SHEET TITLE

COLOR ELEVATIONS

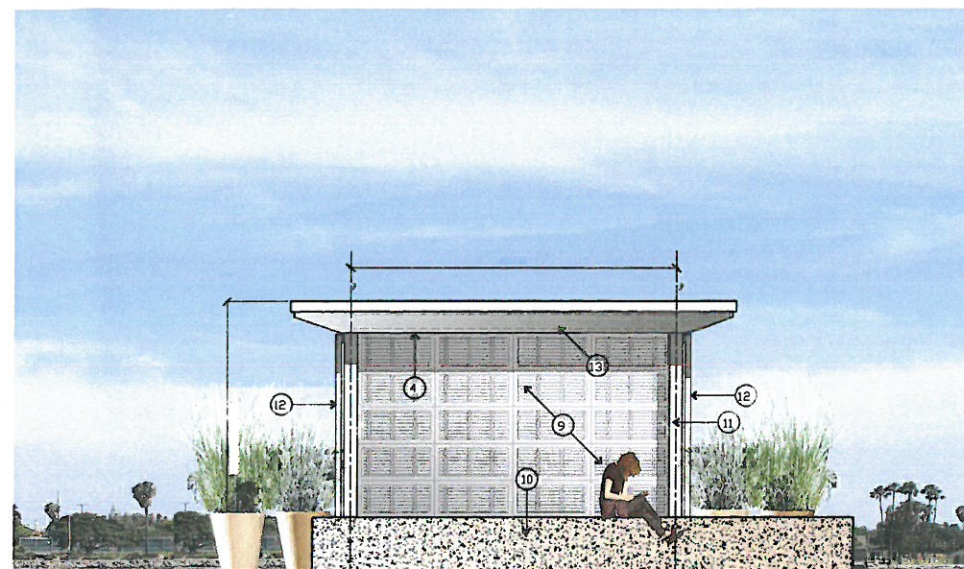
PROJECT NO.
AET-13-082

SCALE
1/4" = 1'-0"

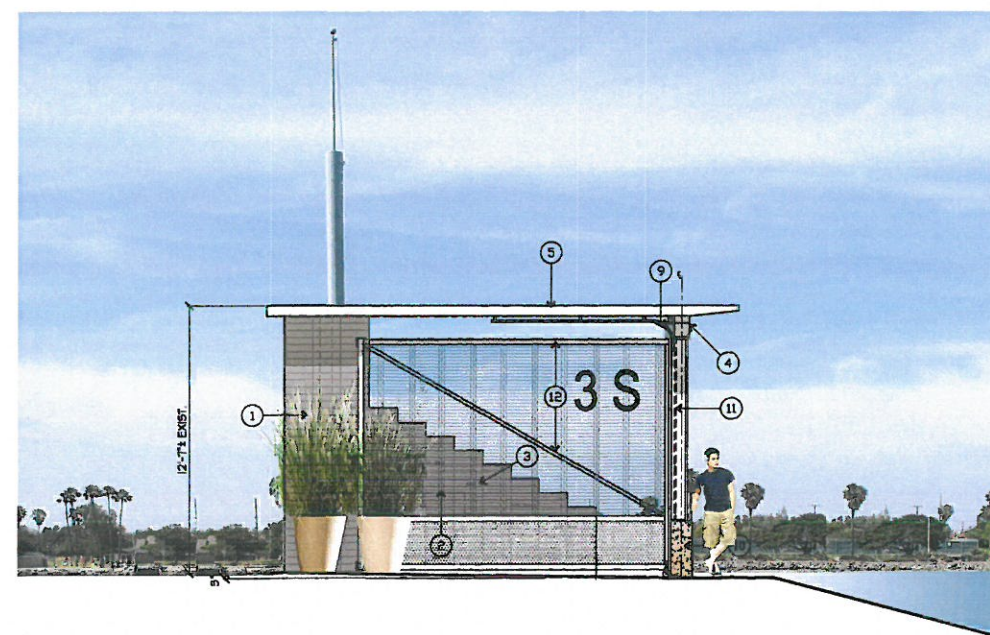
A 07



3 SOUTH ELEVATION
A 07 SCALE: 1/4" = 1'-0"



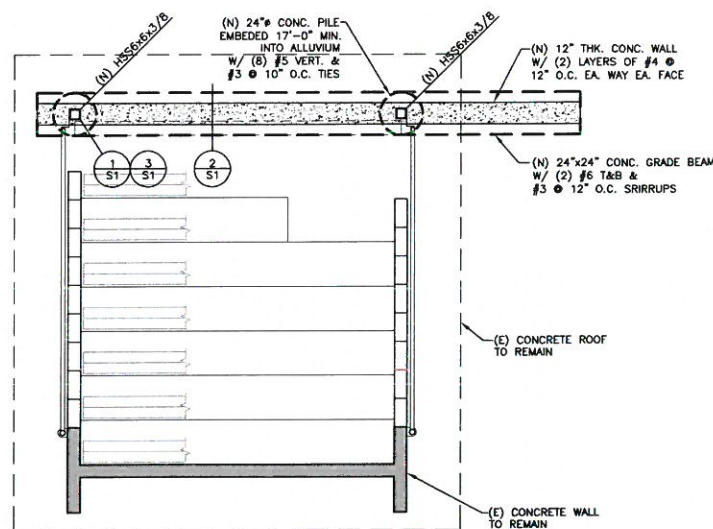
2 NORTH ELEVATION
A 07 SCALE: 1/4" = 1'-0"



1 EAST ELEVATION
A 07 SCALE: 1/4" = 1'-0"

ELEVATION KEY NOTES

- ① (E) CONCRETE MASONRY WALL TO REMAIN.
- ② LINE OF (E) CONCRETE STEP BEYOND.
- ③ LINE OF (E) BENCH SEAT BEYOND.
- ④ (E) CONCRETE BEAM TO REMAIN.
- ⑤ (E) CONCRETE ROOF TO REMAIN.
- ⑥ PORTION OF (E) STEPPED CONCRETE MASONRY WALL TO BE REMOVED AT GROUT LINE.
- ⑦ (E) CONCRETE MASONRY WALL TO BE REMOVED COMPLETELY.
- ⑧ PORTION OF (E) STEEL COLUMN TO BE REMOVED. SEE STRUCTURAL DRAWINGS FOR EXTENT.
- ⑨ (N) ROLL-UP GARAGE DOOR. SEE 1/A 06.
- ⑩ (N) POURED-IN-PLACE CONCRETE WALL. SEE STRUCTURAL DRAWINGS.
- ⑪ (N) STEEL COLUMN AND GATE CLOSURE ANGLES. SEE 1 & 2/A 02 AND STRUCTURAL DRAWINGS.
- ⑫ (N) STEEL SECURITY GATE. TYPICAL. SEE 1 & 2/A 02.
- ⑬ DASHED LINE INDICATES LINE OF (N) ROLL-UP GARAGE DOOR BEYOND.



FRAMING OVER FOUNDATION PLAN
SCALE: 1/4"=1'-0"

CONCRETE AND REINFORCING STEEL NOTES:

- MINIMUM CONCRETE COMPRESSIVE STRENGTH AT 28 DAYS (IF USED IN PROJECT):
 - CONCRETE GRADE BEAMS: 4,500 PSI. MIN.
 - SLAB ON GRADE: 4,500 PSI. MIN.
 - CONCRETE PILES: 4,500 PSI. MIN.
- CEMENT PER ASTM C150, TYPE V (U.N.O.)
- MAXIMUM SLUMPS FOR:
 - SLAB ON GRADE: 4" MAX.
 - ALL OTHER CONCRETE: 5" MAX.
- DIMENSIONS LOCATING REBARS ARE TO THE CENTER OF REBARS (U.N.O.) CONCRETE COVER OF ALL REBARS SHALL BE AS FOLLOWS: (U.N.O.)
 - CONCRETE CAST AGAINST SOIL: 3"
 - CONCRETE EXPOSED TO SOIL OR WEATHER: 2"
- REINFORCING STEEL PER ASTM A615/A615M, GRADE 40 FOR #4 AND SMALLER BARS, GRADE 60 FOR #5 AND LARGER BARS.
- ANCHOR BOLTS, DOWELS AND OTHER EMBEDDED ITEMS SHALL BE SECURED IN THEIR DESIGN LOCATIONS BEFORE PLACING CONCRETE
- REFER TO ARCHITECTURAL DRAWINGS FOR ANY DIMENSIONS NOT SHOWN IN THIS DRAWING

STRUCTURAL STEEL NOTES:

- STRUCTURAL STEEL SHALL CONFORM TO ASTM STANDARDS AS FOLLOWS:
STEEL SHAPES, MISCELLANEOUS IRON, PLATES AND BARS: ASTM A-36
W-SHAPES: ASTM A-992, GRADE 50.
STEEL PIPE: ASTM A-53, GRADE B.
STEEL TUBE: ASTM A 501.
HSS-ROUND: ASTM A-500, GRADE B.
HSS-TUBE: ASTM A-500, GRADE B.
ANCHOR BOLTS: ASTM A-307
ASTM A-53, GRADE B.
- ERECTION AND FABRICATION SHALL BE PER LATEST AISC STEEL CONSTRUCTION MANUAL
- WELDING SHALL BE DONE BY ELECTRIC ARC PROCESS PER AWS STANDARD CODE FOR ARC AND GAS WELDING IN BUILDING CONSTRUCTION. WELDERS SHALL BE CERTIFIED BY THE GOVERNING JURISDICTIONS
- PROVIDE SHOP DRAWINGS FOR REVIEW BY ARCHITECT AND/OR STRUCTURAL ENGINEER PRIOR TO FABRICATING STEEL
- SHOP WELDING SHALL BE PERFORMED IN A SHOP APPROVED BY THE GOVERNING JURISDICTIONS. USE SHIELDED ELECTRIC ARC PROCESS AND E-70 SERIES ELECTRODES. ALL FIELD WELDING SHALL BE PERFORMED BY A CERTIFIED WELDER. ALL WELDING SHALL CONFORM TO LATEST AWS SPECIFICATIONS (U.N.O.)
- SPECIAL INSPECTION BY A CERTIFIED INSPECTOR IS REQUIRED FOR ALL FIELD WELDING
- GALVANIZATION OF STEEL SHALL BE PROVIDED PER PROJECT SPECIFICATIONS

FOUNDATION NOTES:

- FOUNDATION HAS BEEN DESIGNED BASED ON SOIL REPORT NUMBER A9383-06-01 PREPARED BY GEOCON WEST, INC DATED 04/05/2016. REFER TO THIS REPORT FOR ANY PERTINENT INFORMATION.
- FILL SHALL BE PLACED IN 6" TO 8" LOOSE LIFTS AND COMPACTED BY MECHANICAL METHODS
- ALL FILL SHALL BE COMPACTED TO 90% OF THE MAXIMUM DENSITY AT OPTIMUM MOISTURE CONTENT AS DETERMINED BY ASTM 1557
- GRADING, SHORING AND FOUNDATION PLANS SHOULD BE REVIEWED BY A REPRESENTATIVE OF GEOCON WEST, INC. PRIOR TO FINALIZATION TO VERIFY THAT THE PLANS HAVE BEEN PREPARED IN SUBSTANTIAL CONFORMANCE WITH THE RECOMMENDATIONS OF THIS REPORT AND TO PROVIDE ADDITIONAL ANALYSES OR RECOMMENDATIONS
- DEEPEDED FOUNDATION INSTALLATION HAS BEEN PREPARED BY SOILS ENGINEER AND CONTRACTOR SHALL BE RESPONSIBLE TO FOLLOW THE RECOMMENDATIONS OF THE REPORT

THE CONTRACT DOCUMENT REPRESENT THE FINISHED STRUCTURE. THEY DO NOT INDICATE THE MEANS AND METHOD OF CONSTRUCTION. THE CONTRACTOR SHALL PROVIDE ALL MEANS NECESSARY TO PROTECT THE STRUCTURE DURING CONSTRUCTION. SUCH MEASURES SHALL INCLUDE, BUT NOT LIMITED TO, BRACING, SHORING AND LOADS DUE TO CONSTRUCTION EQUIPMENT, ETC.

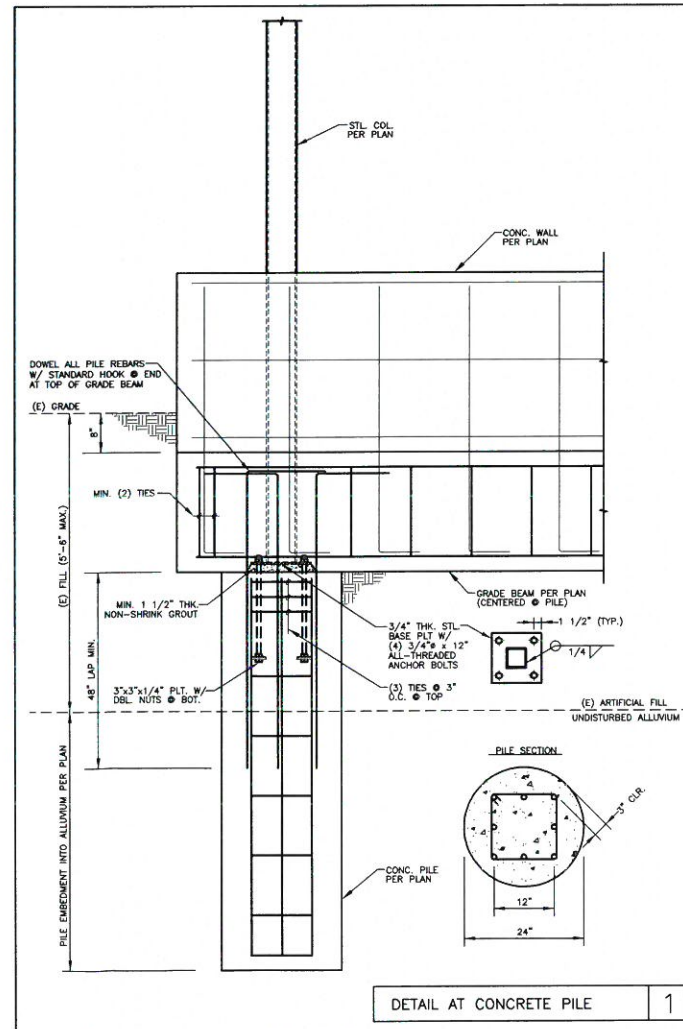
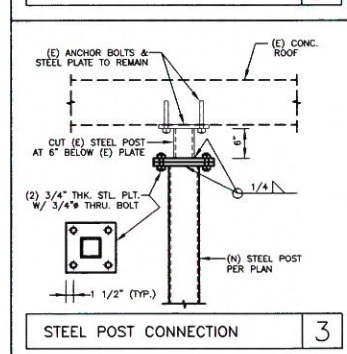
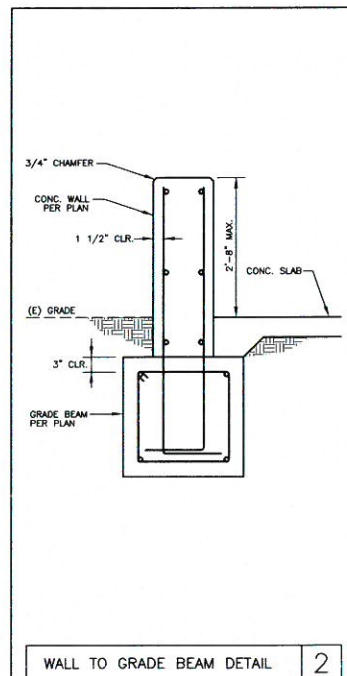
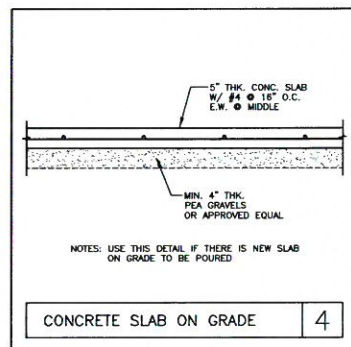
SCHEDULE OF SPECIAL INSPECTION

TASK	FREQUENCY OF INSPECTION	APPROVED AGENCY
PILES & GRADE BEAMS	PERIODIC	N.S. STRUCTURAL ENGINEERING, INC.

NOTES: THE SPECIAL INSPECTOR SHALL BE APPROVED BY THE CITY AND THE OWNER AND SHALL FURNISH INSPECTION REPORTS TO THE CITY AND THE E.O.R.

DESIGN INFORMATION

RDL	FDL	RLL	FLL	V	C _s	R	S _{DI}	S _{DS}	SITE	S ₁	S ₂	O.C.	I	SDC
83 psf	---	20 psf	---	24 psf	0.16	3	0.584g	1.044g	D	0.584g	1.566g	II	1.0	D



IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY ALL GRADES, DIMENSIONS, (E) FRAMING, (E) FOUNDATION AND SITE CONDITIONS AND TO PROVIDE SHORING IF NECESSARY BEFORE REMOVAL OF ANY PART OF THE (E) STRUCTURE. THE CONTRACTOR SHALL READ THE SOILS REPORT PREPARED BY GEOCON WEST, INC. PRIOR TO ANY WORK. THE E.O.R. SHALL BE INFORMED OF ANY CHANGES AND/OR DISCREPANCIES THAT MAY RESULT IN ALTERING THE APPROVED CONDITIONS PRIOR TO COMMENCING OR CONTINUING CONSTRUCTION WORK.

STRUCTURAL OBSERVATION PROGRAM AND DESIGNATION OF THE STRUCTURAL OBSERVER

PROJECT ADDRESS: 5255 EAST PADLI WAY, LONG BEACH, CA
Description of Work: 3S JUDGING STAND RENOVATION
Owner: CITY OF LONG BEACH, Architect: ARTYPIC, Engineer: Mr. Neal Shah, S.E.

STRUCTURAL OBSERVATION (only checked items are required)			
Firm or Individual to be responsible for the Structural Observation:			
Name: NS Structural Engineering	Phone: (626) 840-2338	Calif. Registration: S5107	
<input type="checkbox"/> Foundation	<input type="checkbox"/> Wall	<input type="checkbox"/> Frame	<input type="checkbox"/> Diaphragm
<input type="checkbox"/> Footing, Stem Walls, Piers	<input checked="" type="checkbox"/> Concrete	<input type="checkbox"/> Steel Moment Frame	<input checked="" type="checkbox"/> Concrete
<input type="checkbox"/> Mat Foundation	<input type="checkbox"/> Masonry	<input type="checkbox"/> Steel Braced Frame	<input type="checkbox"/> Steel Deck
<input checked="" type="checkbox"/> Caisson, Piles, Grade Beams	<input type="checkbox"/> Wood	<input type="checkbox"/> Concrete Moment Frame	<input type="checkbox"/> Wood
<input type="checkbox"/> Stepped/Retain Foundation, Hillside Special Anchors	<input type="checkbox"/> Others:	<input type="checkbox"/> Masonry Wall Frame	<input type="checkbox"/> Others:
<input type="checkbox"/> Others:		<input type="checkbox"/> Others:	

DECLARATION BY OWNER
I, the Owner of the project, declare that the above listed firm or individual is hired by me to be the Structural Observer.

Signature _____ Date _____

DECLARATION BY ARCHITECT OR ENGINEER OF RECORD (required if the Structural Observer is different from the Architect or Engineer of Record)
I, the Architect or Engineer of record for the project, declare that the above listed firm or individual is designated by me to be responsible for the Structural Observation.

Signature _____ License No. _____ Date _____

Rudy Borjo Apr 28, 2016 -- 8:54am R:\8042\Elec\8042E2_Site Plan.dwg



DEMOLITION NOTES

D1 DISCONNECT AND REMOVE EXISTING UNDERGROUND CONDUIT INCLUDING ALL ASSOCIATED HARDWARE AND WIRING BACK TO SOURCE. VERIFY EXACT LOCATION IN THE FIELD.

RENOVATION NOTES

R1 PROVIDE NEW 1" PVC SCHEDULE 40 UNDERGROUND CONDUIT FROM JUDGING STAND TO EXISTING PANEL "R3" INSIDE MAINTENANCE SHOP. TRANSITION STUB-UP SHALL BE PVC COATED RGS.

R2 USE SAME CONDUIT ROUTE OF DEMOLISHED UNDERGROUND CONDUIT TO MINIMIZE TRENCHING.

R3 PROVIDE NEW 20A, 1P BRANCH CIRCUIT BREAKER IN EXISTING PANEL "R3" SPACE INSIDE MAINTENANCE SHOP. CONTRACTOR SHALL MATCH EXISTING MAKE, TYPE AND AIC RATING. CONTRACTOR SHALL VERIFY EXACT PANEL LOCATION IN THE FIELD.

GENERAL NOTES

1. CONTRACTOR SHALL VERIFY FIELD CONDITION PRIOR TO DEMOLITION AND RENOVATION.
2. ALL UNDERGROUND CONDUIT SHALL BE MINIMUM 1" PVC, SCHEDULE 40, UNLESS OTHERWISE NOTED WITH COATING.
3. ALL 90 DEGREE ELBOWS AND BELOW GRADE TO ABOVE GRADE TRANSITIONS SHALL BE PVC.
4. A #8 GREEN GROUND WIRE SHALL BE INSTALLED THROUGHOUT THE CONDUIT SYSTEM IN ORDER TO MAINTAIN GROUNDING CONTINUITY.
5. ALL WIRING SHOWN ON THIS PLAN SHALL BE #8 MINIMUM UNLESS OTHERWISE NOTED.



425 E. 4TH STREET, UNIT C
LONG BEACH CA, 90802
PHONE: (562) 733-3637

7 FREELON STREET
SAN FRANCISCO, CA 94107
PHONE: (415) 762-8388
www.aetypic.com



P2S Engineering, Inc.
5000 East Spring Street, 8th Floor
Long Beach, CA 90815-5218
T 562.497.2999 F 562.497.2990
www.p2seng.com

ISSUE INFORMATION

Date	Issue
05-05-16	PLAN CHECK SUBMITTAL

THESE DRAWINGS AND SPECIFICATIONS AND THE CONCEPTS EMBODIED IN THEM ARE ORIGINAL UNPUBLISHED WORK OF AETYPIC, INC. AND MAY NOT BE USED, DISCLOSED, OR DUPLICATED WITHOUT WRITTEN CONSENT.

FACILITY

CITY OF LONG BEACH
333 W. OCEAN BOULEVARD
LONG BEACH, CA 90802

PROJECT TITLE

3S JUDGING STAND RENOVATION
5255 E. PAOLI WAY
LONG BEACH, CA 90802

SHEET TITLE

SITE PLAN DEMOLITION AND RENOVATION PLAN

PROJECT NO.

AET-13-082

SCALE

1" = 20'

E-2

PLANS PREPARED BY

JMC²
Civil Engineering & Surveying
John M. Crivichenski Consultants, Inc.
411 N. Harbor Blvd., Suite 201
San Pedro, CA 90731
P: 310.241.6550 / F: 310.833.6555
www.jmc-2.com



ISSUE INFORMATION

Date	Issue
05-05-16	PLAN CHECK SUBMITTAL

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CLIENT

CITY OF LONG BEACH
333 W. OCEAN BOULEVARD
LONG BEACH, CA 90802

PROJECT TITLE

3S JUDGING STAND RENOVATION
5255 E. PAOLI WAY
LONG BEACH, CA 90802

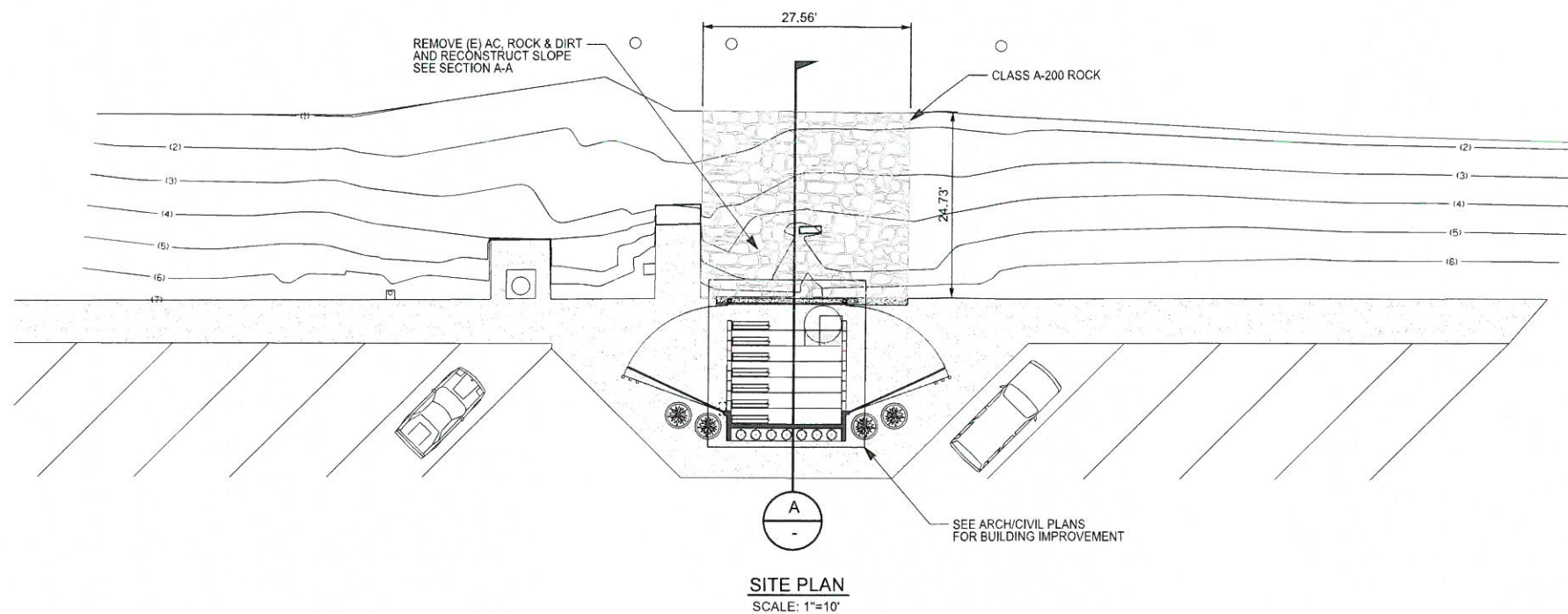
SHEET TITLE

RIP RAP PLAN

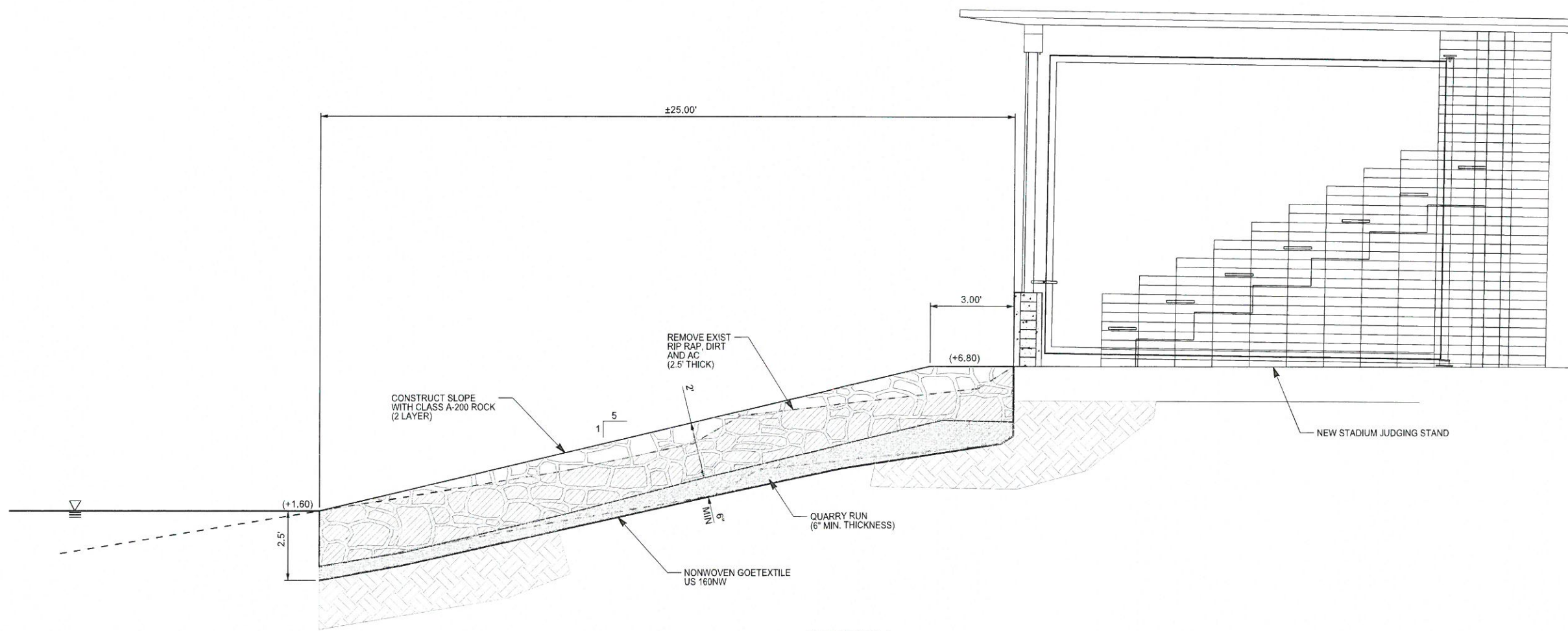
C 1

PROJECT NO.
AET-13-082

SCALE
AS NOTED



SITE PLAN
SCALE: 1"=10'



SECTION A-A
SCALE: 1"=2'