



Certificate of Appropriateness 3728 California Avenue

Cultural Heritage Commission
November 24, 2020

VICINITY MAP



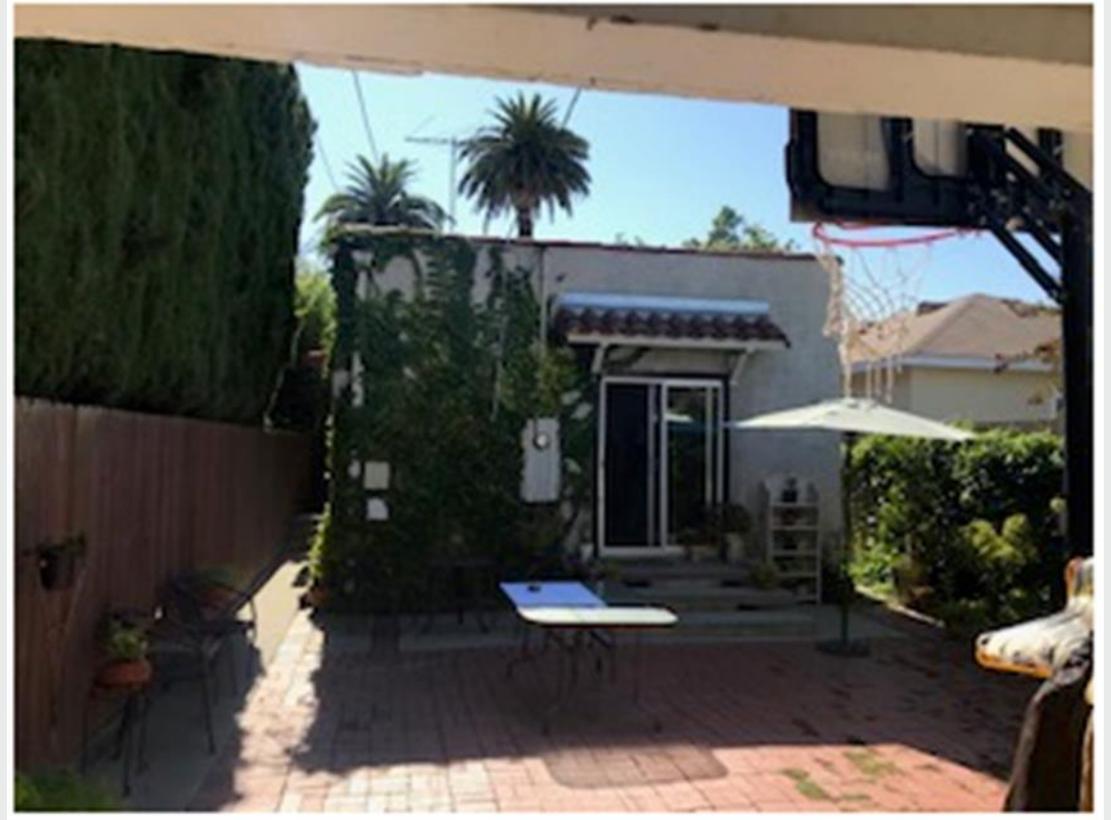
BACKGROUND

- Existing 929-square foot residence and a two-car garage.
- Built in 1929
- Lot Size: 3,187 S.F.
- Zone: R-1-N (Single Family Residential District, Standard Lots) California Heights Historic District – Contributing Structure

EXISTING RESIDENCE



Front View



Rear View

EXISTING GARAGE



Front View



Rear View

EXISTING GARAGE

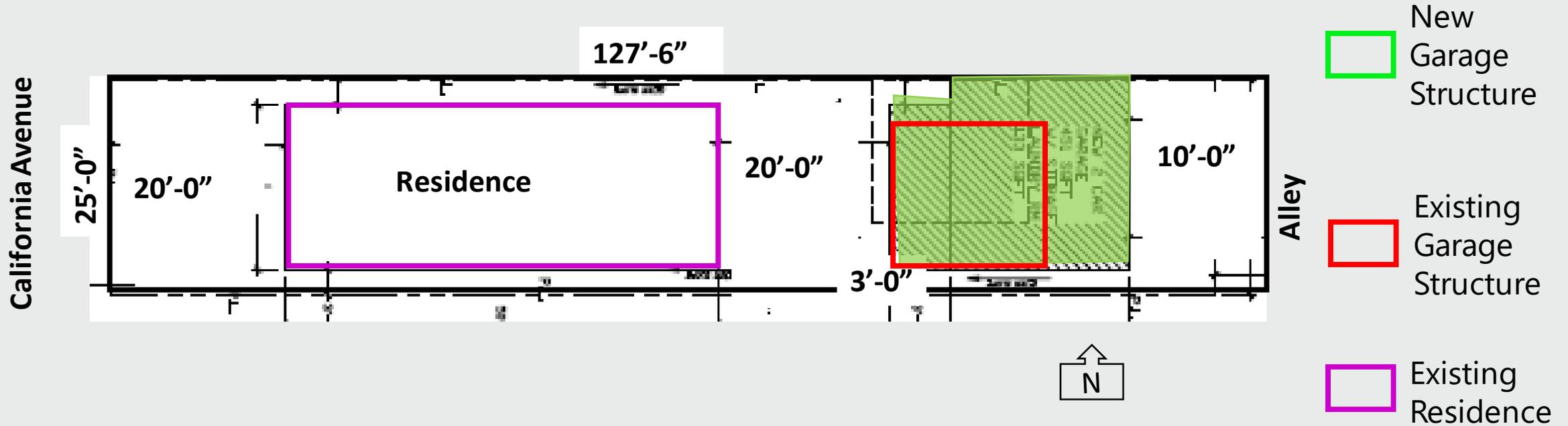


Cracked concrete slab

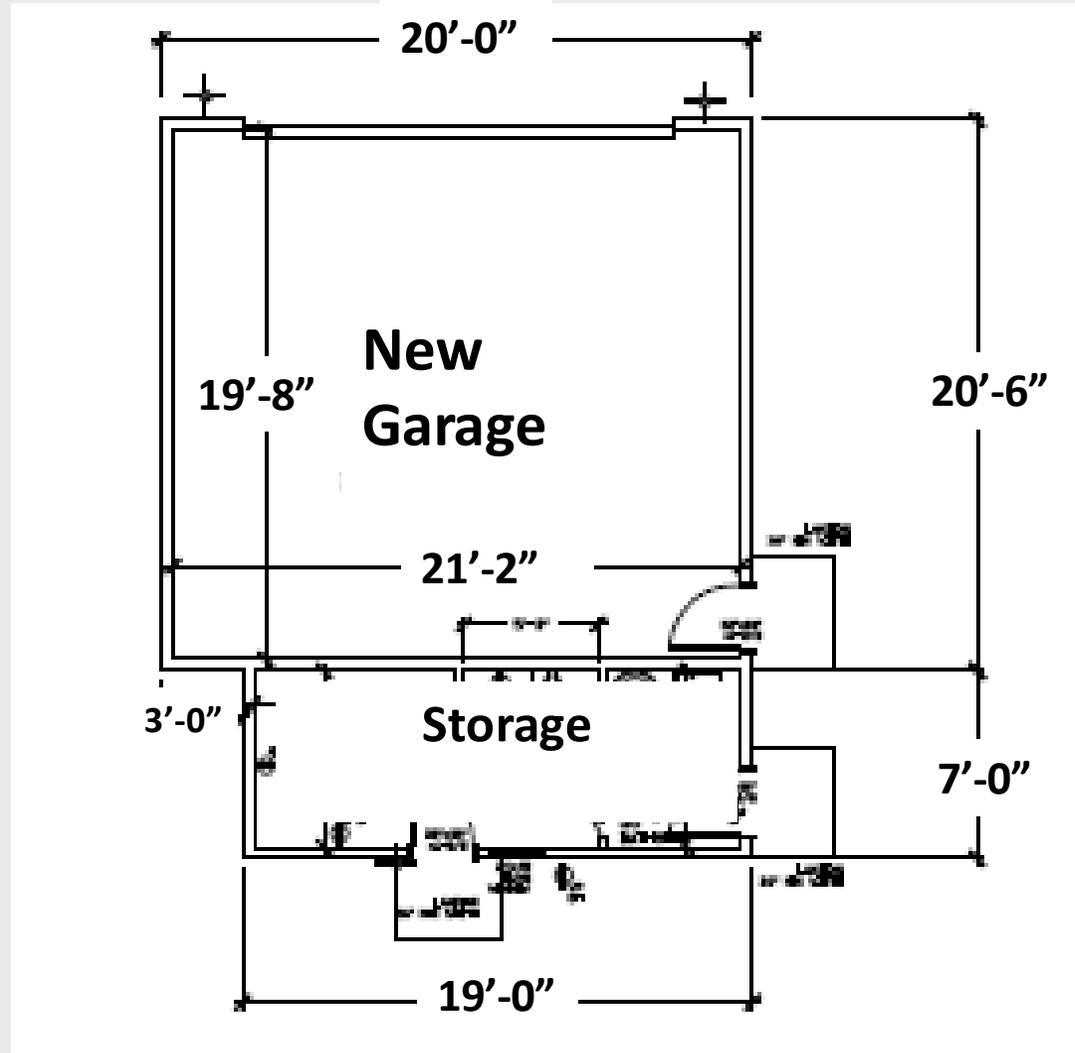


Dry Rot

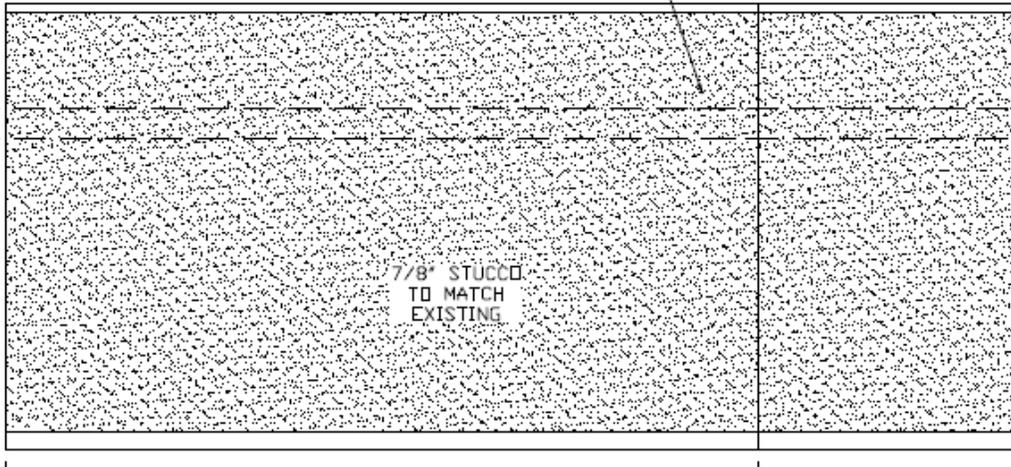
PROPOSED SITE PLAN



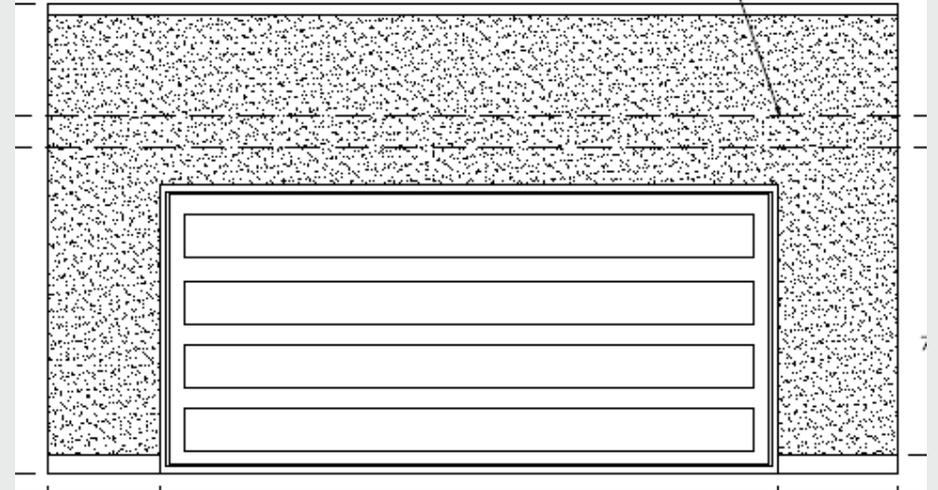
PROPOSED FLOOR PLAN



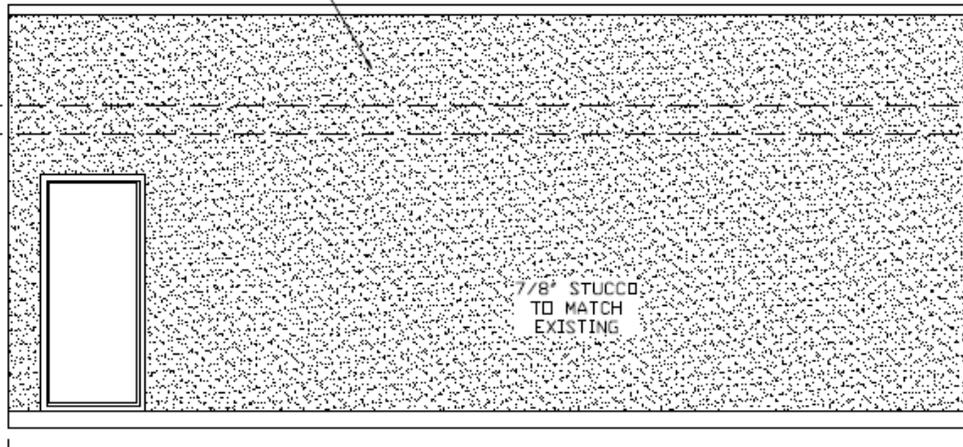
PROPOSED ELEVATIONS



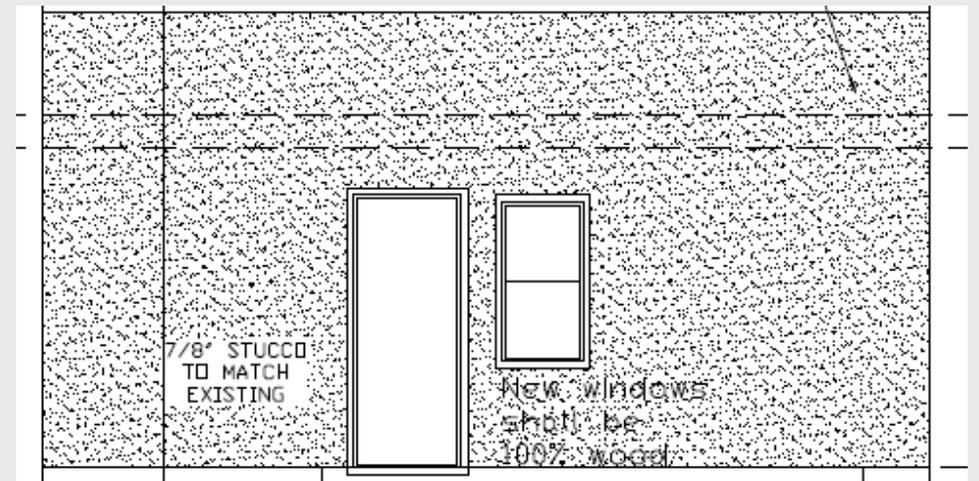
North Elevation



Rear Elevation / Alley facing



South Elevation



West Elevations

As proposed, the new primary residence is:

1. In compliance with the Zoning Code;
2. California Heights Historic District Design Guidelines;
3. Secretary of Interior's Standards;
4. Ordinances C-7702 – California Heights Historic District
5. Spanish Colonial Architectural Style Guide
6. Certificate of Appropriateness Findings

RECOMMENDATION

Staff recommends approval of the Certificate of Appropriateness to:

- Demolish the existing garage.
- Construct a new 451-square-foot, two-car garage with an attached 133-square-foot storage room.

Thank you

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