

MAKINENI TOWNHOMES

NEW CONSTRUCTION
 2767 OCEAN BOULEVARD
 LONG BEACH, CA 90803

APPROVED
 Zoning & Development Services
 Department of Planning & Building
 NOV 18 2005

Planner: *BJ*

REGISTERED INSPECTOR REQUIRED

<input type="checkbox"/> Concrete	<input checked="" type="checkbox"/> Steel Moment frame
<input type="checkbox"/> Cast-in-place	<input type="checkbox"/> Fire Proofing
<input type="checkbox"/> Cast-in-place	<input type="checkbox"/> Fire Proofing
<input type="checkbox"/> Welding	<input type="checkbox"/> Fire Proofing
<input type="checkbox"/> U.S. Steel	<input type="checkbox"/> Fire Proofing
<input type="checkbox"/> Masonry	<input type="checkbox"/> Fire Proofing
<input type="checkbox"/> Continuous	<input type="checkbox"/> Fire Proofing
<input type="checkbox"/> Periodic	<input type="checkbox"/> Fire Proofing
<input type="checkbox"/> Annual	<input type="checkbox"/> Fire Proofing

INSPECTOR'S SIGNATURE
 IT: SLSMP
 Plan Checked by *V.E. Vardoulakis*



DESIGN 21, LLC

4240 VIA MARINA #14
 MARINA DEL REY CA 90292
 PHONE / FAX: (310) 574.8805
 EMAIL: ROGER@GODESIGN21.COM
 INFO: HTTP://WWW.GODESIGN21.COM

PLANS APPROVED BY
 EXHIBITS DIVISION
 CITY OF LONG BEACH
 NOV 17 2005

GENERAL CONDITIONS

- 1. THE CONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK USING HIS BEST SKILL AND ATTENTION. THE CONTRACTOR SHALL ENFORCE STRICTLY THE CONTRACT AND GOOD WORKMANSHIP. THE CONTRACTOR SHALL NOT PERMIT EMPLOYMENT OF UNFIT PERSONS OR PERSONS NOT SKILLED IN TASKS ASSIGNED TO THEM. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES. THE CONTRACTOR SHALL PROTECT ALL EXISTING UTILITIES AND STRUCTURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES.

GENERAL NOTES

- 1. WORKING DRAWINGS ARE TO BE SCALED. DIMENSIONS SHALL GOVERN. DIMENSIONS ARE TAKEN AT FACE UNLESS OTHERWISE NOTED. OTHERWISE, ALL MATERIALS AND WORKMANSHIP SHALL BE NEW AND THE BEST. THE CONTRACTOR SHALL COOPERATE WITH THE ARCHITECT AND OTHER PROFESSIONALS. THE CONTRACTOR SHALL COOPERATE WITH THE ARCHITECT AND OTHER PROFESSIONALS. THE CONTRACTOR SHALL COOPERATE WITH THE ARCHITECT AND OTHER PROFESSIONALS. THE CONTRACTOR SHALL COOPERATE WITH THE ARCHITECT AND OTHER PROFESSIONALS.

SITE WORK

- 1. ALL SURFACE DRAINAGE TO BE CONDUCTED TO STREET VIA AN APPROVED DRAINAGE DEVICE. ALL SURFACE DRAINAGE TO BE CONDUCTED TO STREET VIA AN APPROVED DRAINAGE DEVICE. ALL SURFACE DRAINAGE TO BE CONDUCTED TO STREET VIA AN APPROVED DRAINAGE DEVICE. ALL SURFACE DRAINAGE TO BE CONDUCTED TO STREET VIA AN APPROVED DRAINAGE DEVICE.

CONCRETE

- 1. ALL CONCRETE SHALL BE $f_c = 2500$ psi @ 28 DAYS U.N.O. MAXIMUM WATER 7 1/2 GALLONS PER SACK OF CEMENT. ALL CONCRETE SHALL BE $f_c = 2500$ psi @ 28 DAYS U.N.O. MAXIMUM WATER 7 1/2 GALLONS PER SACK OF CEMENT. ALL CONCRETE SHALL BE $f_c = 2500$ psi @ 28 DAYS U.N.O. MAXIMUM WATER 7 1/2 GALLONS PER SACK OF CEMENT. ALL CONCRETE SHALL BE $f_c = 2500$ psi @ 28 DAYS U.N.O. MAXIMUM WATER 7 1/2 GALLONS PER SACK OF CEMENT.

CONCRETE MASONRY

- 1. CONCRETE BLOCK UNITS SHALL BE HOLLOW LOAD BEARING UNITS CONFORMING TO ASTM C90, GRADE 1-N, MINIMUM COMPRESSIVE STRENGTH $f_c = 1500$ PSI. CONCRETE BLOCK UNITS SHALL BE HOLLOW LOAD BEARING UNITS CONFORMING TO ASTM C90, GRADE 1-N, MINIMUM COMPRESSIVE STRENGTH $f_c = 1500$ PSI.

REINFORCED CONCRETE MASONRY CONSTRUCTION

- 1. STRUCTURAL STEEL PER ASTM A36, IDENTIFIED WITH MARK AND MILL CERTIFICATION. MILL CERTIFICATION TO BE SENT TO STRUCTURAL ENGINEER. STRUCTURAL STEEL PER ASTM A36, IDENTIFIED WITH MARK AND MILL CERTIFICATION. MILL CERTIFICATION TO BE SENT TO STRUCTURAL ENGINEER.

MECHANICAL

- 1. HEATING, VENTILATION AND AIR CONDITIONING. HEATING, VENTILATION AND AIR CONDITIONING. HEATING, VENTILATION AND AIR CONDITIONING. HEATING, VENTILATION AND AIR CONDITIONING.

PLUMBING

- 1. COMPLETE PLUMBING SYSTEM IN ACCORDANCE WITH THE LATEST EDITION OF THE UPC AND LOCAL CODES. COMPLETE PLUMBING SYSTEM IN ACCORDANCE WITH THE LATEST EDITION OF THE UPC AND LOCAL CODES. COMPLETE PLUMBING SYSTEM IN ACCORDANCE WITH THE LATEST EDITION OF THE UPC AND LOCAL CODES.

ELECTRICAL

- 1. ALL WORK SHALL BE IN FULL CONFORMANCE WITH ALL CODES, RULES, AND REGULATIONS OF GOVERNING AGENCIES HAVING JURISDICTION OVER THE PROJECT AND SHALL COMPLY WITH THE REQUIREMENTS OF THE SERVICE LOADS AND COMMUNICATIONS. ALL WORK SHALL BE IN FULL CONFORMANCE WITH ALL CODES, RULES, AND REGULATIONS OF GOVERNING AGENCIES HAVING JURISDICTION OVER THE PROJECT AND SHALL COMPLY WITH THE REQUIREMENTS OF THE SERVICE LOADS AND COMMUNICATIONS.

SECURITY NOTES

- 1. SWINGING DOORS. SWINGING DOORS. SWINGING DOORS. SWINGING DOORS. SWINGING DOORS.

SECURITY NOTES

- 1. GRADE AND DEVELOP SITE SO THAT ALL PRIMARY BUILDING ENTRANCES ARE ACCESSIBLE TO THE PHYSICALLY DISABLED FROM BOTH THE PUBLIC WAY AND FROM THE SPECIAL PARKING SPACE PROVIDED FOR THE DISABLED. GRADE AND DEVELOP SITE SO THAT ALL PRIMARY BUILDING ENTRANCES ARE ACCESSIBLE TO THE PHYSICALLY DISABLED FROM BOTH THE PUBLIC WAY AND FROM THE SPECIAL PARKING SPACE PROVIDED FOR THE DISABLED.

PLUMBING

- 1. HEATING, VENTILATION AND AIR CONDITIONING. HEATING, VENTILATION AND AIR CONDITIONING. HEATING, VENTILATION AND AIR CONDITIONING. HEATING, VENTILATION AND AIR CONDITIONING.

ELECTRICAL

- 1. ALL WORK SHALL BE IN FULL CONFORMANCE WITH ALL CODES, RULES, AND REGULATIONS OF GOVERNING AGENCIES HAVING JURISDICTION OVER THE PROJECT AND SHALL COMPLY WITH THE REQUIREMENTS OF THE SERVICE LOADS AND COMMUNICATIONS. ALL WORK SHALL BE IN FULL CONFORMANCE WITH ALL CODES, RULES, AND REGULATIONS OF GOVERNING AGENCIES HAVING JURISDICTION OVER THE PROJECT AND SHALL COMPLY WITH THE REQUIREMENTS OF THE SERVICE LOADS AND COMMUNICATIONS.

MECHANICAL

- 1. HEATING, VENTILATION AND AIR CONDITIONING. HEATING, VENTILATION AND AIR CONDITIONING. HEATING, VENTILATION AND AIR CONDITIONING. HEATING, VENTILATION AND AIR CONDITIONING.

PLUMBING

- 1. COMPLETE PLUMBING SYSTEM IN ACCORDANCE WITH THE LATEST EDITION OF THE UPC AND LOCAL CODES. COMPLETE PLUMBING SYSTEM IN ACCORDANCE WITH THE LATEST EDITION OF THE UPC AND LOCAL CODES.

ELECTRICAL

- 1. ALL WORK SHALL BE IN FULL CONFORMANCE WITH ALL CODES, RULES, AND REGULATIONS OF GOVERNING AGENCIES HAVING JURISDICTION OVER THE PROJECT AND SHALL COMPLY WITH THE REQUIREMENTS OF THE SERVICE LOADS AND COMMUNICATIONS. ALL WORK SHALL BE IN FULL CONFORMANCE WITH ALL CODES, RULES, AND REGULATIONS OF GOVERNING AGENCIES HAVING JURISDICTION OVER THE PROJECT AND SHALL COMPLY WITH THE REQUIREMENTS OF THE SERVICE LOADS AND COMMUNICATIONS.

SECURITY NOTES

- 1. SWINGING DOORS. SWINGING DOORS. SWINGING DOORS. SWINGING DOORS. SWINGING DOORS.

SECURITY NOTES

- 1. GRADE AND DEVELOP SITE SO THAT ALL PRIMARY BUILDING ENTRANCES ARE ACCESSIBLE TO THE PHYSICALLY DISABLED FROM BOTH THE PUBLIC WAY AND FROM THE SPECIAL PARKING SPACE PROVIDED FOR THE DISABLED. GRADE AND DEVELOP SITE SO THAT ALL PRIMARY BUILDING ENTRANCES ARE ACCESSIBLE TO THE PHYSICALLY DISABLED FROM BOTH THE PUBLIC WAY AND FROM THE SPECIAL PARKING SPACE PROVIDED FOR THE DISABLED.

PLUMBING

- 1. HEATING, VENTILATION AND AIR CONDITIONING. HEATING, VENTILATION AND AIR CONDITIONING. HEATING, VENTILATION AND AIR CONDITIONING. HEATING, VENTILATION AND AIR CONDITIONING.

ELECTRICAL

- 1. ALL WORK SHALL BE IN FULL CONFORMANCE WITH ALL CODES, RULES, AND REGULATIONS OF GOVERNING AGENCIES HAVING JURISDICTION OVER THE PROJECT AND SHALL COMPLY WITH THE REQUIREMENTS OF THE SERVICE LOADS AND COMMUNICATIONS. ALL WORK SHALL BE IN FULL CONFORMANCE WITH ALL CODES, RULES, AND REGULATIONS OF GOVERNING AGENCIES HAVING JURISDICTION OVER THE PROJECT AND SHALL COMPLY WITH THE REQUIREMENTS OF THE SERVICE LOADS AND COMMUNICATIONS.

MECHANICAL

- 1. HEATING, VENTILATION AND AIR CONDITIONING. HEATING, VENTILATION AND AIR CONDITIONING. HEATING, VENTILATION AND AIR CONDITIONING. HEATING, VENTILATION AND AIR CONDITIONING.

PLUMBING

- 1. COMPLETE PLUMBING SYSTEM IN ACCORDANCE WITH THE LATEST EDITION OF THE UPC AND LOCAL CODES. COMPLETE PLUMBING SYSTEM IN ACCORDANCE WITH THE LATEST EDITION OF THE UPC AND LOCAL CODES.

ELECTRICAL

- 1. ALL WORK SHALL BE IN FULL CONFORMANCE WITH ALL CODES, RULES, AND REGULATIONS OF GOVERNING AGENCIES HAVING JURISDICTION OVER THE PROJECT AND SHALL COMPLY WITH THE REQUIREMENTS OF THE SERVICE LOADS AND COMMUNICATIONS. ALL WORK SHALL BE IN FULL CONFORMANCE WITH ALL CODES, RULES, AND REGULATIONS OF GOVERNING AGENCIES HAVING JURISDICTION OVER THE PROJECT AND SHALL COMPLY WITH THE REQUIREMENTS OF THE SERVICE LOADS AND COMMUNICATIONS.

SECURITY NOTES

- 1. SWINGING DOORS. SWINGING DOORS. SWINGING DOORS. SWINGING DOORS. SWINGING DOORS.

SECURITY NOTES

- 1. GRADE AND DEVELOP SITE SO THAT ALL PRIMARY BUILDING ENTRANCES ARE ACCESSIBLE TO THE PHYSICALLY DISABLED FROM BOTH THE PUBLIC WAY AND FROM THE SPECIAL PARKING SPACE PROVIDED FOR THE DISABLED. GRADE AND DEVELOP SITE SO THAT ALL PRIMARY BUILDING ENTRANCES ARE ACCESSIBLE TO THE PHYSICALLY DISABLED FROM BOTH THE PUBLIC WAY AND FROM THE SPECIAL PARKING SPACE PROVIDED FOR THE DISABLED.

PLUMBING

- 1. HEATING, VENTILATION AND AIR CONDITIONING. HEATING, VENTILATION AND AIR CONDITIONING. HEATING, VENTILATION AND AIR CONDITIONING. HEATING, VENTILATION AND AIR CONDITIONING.

ELECTRICAL

- 1. ALL WORK SHALL BE IN FULL CONFORMANCE WITH ALL CODES, RULES, AND REGULATIONS OF GOVERNING AGENCIES HAVING JURISDICTION OVER THE PROJECT AND SHALL COMPLY WITH THE REQUIREMENTS OF THE SERVICE LOADS AND COMMUNICATIONS. ALL WORK SHALL BE IN FULL CONFORMANCE WITH ALL CODES, RULES, AND REGULATIONS OF GOVERNING AGENCIES HAVING JURISDICTION OVER THE PROJECT AND SHALL COMPLY WITH THE REQUIREMENTS OF THE SERVICE LOADS AND COMMUNICATIONS.

MECHANICAL

- 1. HEATING, VENTILATION AND AIR CONDITIONING. HEATING, VENTILATION AND AIR CONDITIONING. HEATING, VENTILATION AND AIR CONDITIONING. HEATING, VENTILATION AND AIR CONDITIONING.

PLUMBING

- 1. COMPLETE PLUMBING SYSTEM IN ACCORDANCE WITH THE LATEST EDITION OF THE UPC AND LOCAL CODES. COMPLETE PLUMBING SYSTEM IN ACCORDANCE WITH THE LATEST EDITION OF THE UPC AND LOCAL CODES.

ELECTRICAL

- 1. ALL WORK SHALL BE IN FULL CONFORMANCE WITH ALL CODES, RULES, AND REGULATIONS OF GOVERNING AGENCIES HAVING JURISDICTION OVER THE PROJECT AND SHALL COMPLY WITH THE REQUIREMENTS OF THE SERVICE LOADS AND COMMUNICATIONS. ALL WORK SHALL BE IN FULL CONFORMANCE WITH ALL CODES, RULES, AND REGULATIONS OF GOVERNING AGENCIES HAVING JURISDICTION OVER THE PROJECT AND SHALL COMPLY WITH THE REQUIREMENTS OF THE SERVICE LOADS AND COMMUNICATIONS.

SECURITY NOTES

- 1. SWINGING DOORS. SWINGING DOORS. SWINGING DOORS. SWINGING DOORS. SWINGING DOORS.

SECURITY NOTES

- 1. GRADE AND DEVELOP SITE SO THAT ALL PRIMARY BUILDING ENTRANCES ARE ACCESSIBLE TO THE PHYSICALLY DISABLED FROM BOTH THE PUBLIC WAY AND FROM THE SPECIAL PARKING SPACE PROVIDED FOR THE DISABLED. GRADE AND DEVELOP SITE SO THAT ALL PRIMARY BUILDING ENTRANCES ARE ACCESSIBLE TO THE PHYSICALLY DISABLED FROM BOTH THE PUBLIC WAY AND FROM THE SPECIAL PARKING SPACE PROVIDED FOR THE DISABLED.

PLUMBING

- 1. HEATING, VENTILATION AND AIR CONDITIONING. HEATING, VENTILATION AND AIR CONDITIONING. HEATING, VENTILATION AND AIR CONDITIONING. HEATING, VENTILATION AND AIR CONDITIONING.

ELECTRICAL

- 1. ALL WORK SHALL BE IN FULL CONFORMANCE WITH ALL CODES, RULES, AND REGULATIONS OF GOVERNING AGENCIES HAVING JURISDICTION OVER THE PROJECT AND SHALL COMPLY WITH THE REQUIREMENTS OF THE SERVICE LOADS AND COMMUNICATIONS. ALL WORK SHALL BE IN FULL CONFORMANCE WITH ALL CODES, RULES, AND REGULATIONS OF GOVERNING AGENCIES HAVING JURISDICTION OVER THE PROJECT AND SHALL COMPLY WITH THE REQUIREMENTS OF THE SERVICE LOADS AND COMMUNICATIONS.

PROJECT TITLE: MAKINEN Townhomes
NEW CONSTRUCTION
4240 VIA MARINA #14
MARINA DEL REY, CA 90292
Tel / Fax: 310.574.8745

DATE: September 27, 200
Scale: N.T.S.
Drawn: L.E.

DATE: September 27, 200
Scale: N.T.S.
Drawn: L.E.

DATE: September 27, 200
Scale: N.T.S.
Drawn: L.E.

DATE: September 27, 200
Scale: N.T.S.
Drawn: L.E.

DATE: September 27, 200
Scale: N.T.S.
Drawn: L.E.

DATE: September 27, 200
Scale: N.T.S.
Drawn: L.E.

CONDITIONS OF APPROVAL

Multiple columns of text detailing various conditions of approval for a project, including sections for 'CONTRACTOR'S RESPONSIBILITIES' and 'CITY OF LONG BEACH'.

REVISIONS BY 11-07-05 LE

SHEET CONTENTS: CONDITIONS OF APPROVAL PERMITS PACKAGE NAME: CONSTRUCTION DOCUMENTS

Continuation of the 'CONDITIONS OF APPROVAL' section, containing multiple columns of detailed text and conditions.

BEST MANAGEMENT PRACTICES APPLY TO THE PROJECTS 436595 ON 2767 OCEAN BOULEVARD AND 436573 ON 9 + 11 TEMPLE AVENUE

Form detailing Best Management Practices (BMP) for the specified projects, including a checklist of requirements.

PERMIT TO PLANT STREET TREE

Form for a permit to plant a street tree, including fields for tree type, location, and other details.

SUMP PUMP INFORMATION

Form for sump pump information, featuring technical diagrams, specifications, and a table of pump models.

Form for engineering specifications, including a 'SUMP PUMP INFORMATION' table and a 'SUMP PERFORMANCE CURVE' graph.

APPROVED Zoning & Development Services Department of Planning & Building NOV 18 2006

DRIVEWAY APPROACH CONSTRUCTION APPROVAL REQUEST

Form for a driveway approach construction approval request, including project details and applicant information.

Form containing technical drawings and diagrams related to the driveway approach construction request.

Form containing technical drawings and diagrams related to the driveway approach construction request.

CAL / OSHA PERMIT

Form for a California / OSHA permit, including safety requirements and project details.

ADDENDUM LETTER TO SOILS REPORT

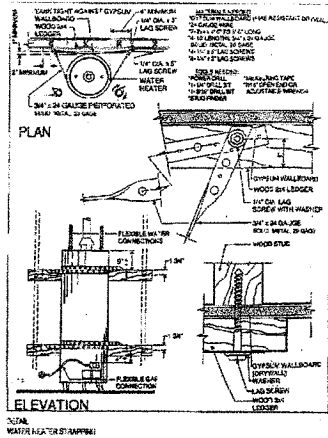
Form for an addendum letter to a soils report, including a table of soil test results and a signature block.

PROJECT TITLE: MAKINENI Townhomes NEW CONSTRUCTION 9, 11 Temple Avenue Long Beach, CA 90803

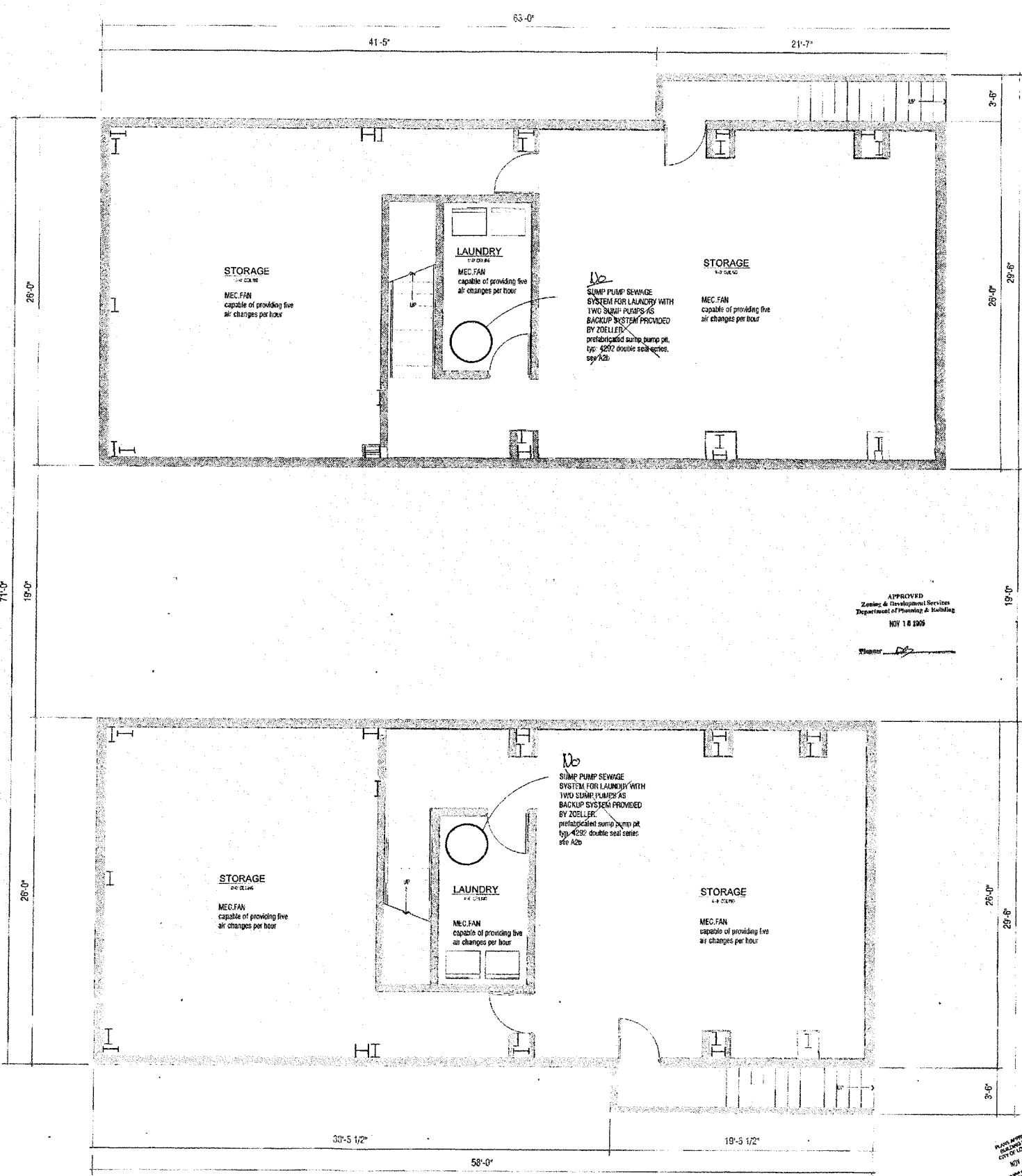
design*21 14240 VIA MARINA #14 MARINA DEL REY, CA 90232 TEL / FAX 310.574.8805

Date September 27, 2006 Scale Drawn L.E. Job Sheet A2B of 14 sheets

PLANS APPROVED BY THE CITY OF LONG BEACH NOV 17 2006



- NOTES:
1. ALL DIMENSIONS SHALL BE VERIFIED ON SITE.
 2. PROVIDE GENERAL NOTES THAT DETAIL THE NECESSARY PROCEDURES AND INSTALLATION INSTRUCTIONS FOR ALL ALTERNATE MATERIALS. EVALUATED UNDER AN ISO EVALUATION REPORT OR LOS ANGELES RESEARCH REPORT.
 3. PROVIDE HARD WIRED INTERCONNECTED SMOKE DETECTORS WITH BATTERY BACKUP. SMOKE DETECTORS WILL BE LOCATED IN EACH SLEEPING ROOM, CENTRALLY LOCATED IN COMMONS GRADING ACCESS TO EACH SLEEPING ROOM, ON EACH STORY OF MULTISTORY DWELLING AND IN BASEMENTS IN SPLIT LEVELS ON THE UPPER LEVEL. DETECTORS SHALL SOUND AN ALARM AUDIBLE IN ALL SLEEPING AREAS OF THE DWELLING.
 4. ALL WATER HEATERS SHALL BE BRACED IN CONFORMANCE WITH THE MINIMUM STANDARDS ESTABLISHED BY THE DIVISION OF THE STATE ARCHITECT OR C.S.D. WATER HEATER SHALL BE ANCHORED OR STRAPPED TO REINFORCED CONCRETE OR TO CONCRETE MASONRY. SEE DETAIL SHEET AS.
 5. NEW WATER HEATER SHALL BE STRAPPED TO THE WALL IN TWO PLACES, ONE IN THE UPPER 1/3 OF THE TANK AND ONE IN THE LOWER 2/3 OF THE TANK. THE LOWER POINT SHALL BE A MINIMUM OF 4 INCHES ABOVE THE CONTROL. (P.C. 510.5)
 6. ALL WOOD DOORS SHALL BE SOLID CORE CONSTRUCTION WITH A MINIMUM THICKNESS OF ONE AND THREE-FOURTHS INCHES OR WITH PANELS NOT LESS THAN NINE SEVENTH OF AN INCH THICK. SAVING DOORS SHALL COMPLY WITH UNIFORM BUILDING CODE STANDARD 10-5, PART 1. DOORS IN PAIRS SHALL BE TESTED IN PAIRS.
 7. PROVIDE EMERGENCY ESCAPE IN BASEMENTS AND IN EVERY SLEEPING ROOM BELOW THE FOURTH STORY. EMERGENCY ESCAPE SHALL OPEN DIRECTLY INTO A PUBLIC WAY, ALLEY, AND YARD OR OUT COURT AND SHALL BE OPERABLE FROM THE INSIDE WITHOUT THE USE OF TOOLS. ESCAPE OR RESCUE WINDOWS SHALL HAVE A MINIMUM NET CLEAR OPENABLE AREA OF 5.7 SQUARE FEET, MINIMUM NET CLEAR OPENABLE HEIGHT OF 20" AND MINIMUM NET CLEAR OPENABLE WIDTH 20" AND HAVE A GULL HEIGHT NOT MORE THAN 1/4" ABOVE THE FLOOR JOIST.
 8. PROVIDE EXTERIOR OPENINGS FOR NATURAL LIGHT (1/10 OF FLOOR AREA - MIN TO SQUARE FEET) AND VENTILATION (2/20 OF FLOOR AREA - MIN TO SQUARE FEET) FOR ALL HABITABLE ROOMS AND SLEEP ROOMS.
 9. ALL RESIDENTIAL DWELLINGS SHALL DISPLAY A DIRECT NUMBER IN A PROMINENT LOCATION ON BOTH THE STREET SIDE OF THE RESIDENCE AND ON THE REAR SIDE OF THE PROPERTY IN SUCH A POSITION THAT THE NUMBERS ARE EASILY VISIBLE TO APPROACHING EMERGENCY VEHICLES. THE NUMBERS SHALL BE NO LESS THAN FOUR INCHES IN HEIGHT AND SHALL BE OF A CONTRASTING COLOR TO THE BACKGROUND TO WHICH THEY ARE ATTACHED.
 10. PROVIDE GUARDRAILS AT FLOOR AND ROOF OPENINGS, LANDINGS, BALCONIES, AND AT OPEN SIDES OF STAIRS, WINDY AREAS MORE THAN 30" ABOVE GRADE, OR FLOOR BELOW. GUARDRAILS SHALL BE NOT LESS THAN 36" IN HEIGHT. OPEN GUARDRAILS SHALL HAVE INTERMEDIATE RAILS OR AN ORNAMENTAL PATTERN SUCH THAT A SPHERE 4" IN DIAMETER CANNOT PASS THROUGH. (C.C. 510.3)
 11. PROVIDE FIRE BLOCKING IN CONCEALED SPACES OF STUD WALLS AND PARTITIONS AT 10'-0" INTERVALS BOTH VERTICALLY AND HORIZONTALLY AND IN OPENINGS AROUND VENTS, PIPES, DUCTS, CHIMNEYS, BETWEEN ATTIC AND CHIMNEY CHASE FOR E.I.
 12. PROVIDE ONE HOUR FIRE RESISTIVE CONSTRUCTION (2" TYPE "X" Gypsum wall board) ON THE GARAGE SIDE OF THE WALL AND CEILING SEPARATING THE GARAGE FROM THE RESIDENCE, AND ON ENCLOSED USABLE SPACE OF INTERIOR STAIR.
 13. PROVIDE CEILING AND ROOF R-30 INSULATION FLOOR R-19 INSULATION WALLS R-13 INSULATION.
 14. PROVIDE A 1/4" SELF-CLOSING, TIGHT-FITTING SOLID-CORE DOOR BETWEEN THE GARAGE AND THE RESIDENCE. (C.C. SECTION 502.4 (EXCEPTION))
 15. PROVIDE AN APPROVED SPARK ARRESTER. THE NET FREE AREA OF THE SPARK ARRESTER SHALL BE NOT LESS THAN FOUR TIMES THE NET FREE AREA OF THE OUTLET OF THE CHIMNEY. (C.C. 510.3.8)
 16. ALL HARD SURFACE FLOORING TO BE SEAL WITH WATERPROOF SEALANT.
 17. PROVIDE TO HIGH NONSUBSCRIPT WALL ADJACENT TO ALL SHOWERS. FOR ALL STRUCTURAL MEMBERS, DIMENSIONS ETC. SEE STRUCTURAL.
 18. PROVIDE SAFETY GLAZING IN THE FOLLOWING LOCATIONS: GLAZING IN HALLS AND ENTRY DOORS; GLAZING IN FIRE AND SLEEPING PANELS OF SLEEPING DOORS AND PANELS IN SWIRLING DOORS; GLAZING IN DOORS AND ENCLOSURES FOR HOT TUBS, BATHTUBS, SHOWERS, STEAM ROOMS WITHIN 9'-0" OF STANDING SURFACE AND OPEN OUTLET; GLAZING WITHIN 2'-0" VERTICAL EDGE OF CLOSED DOOR AND WITHIN 9'-0" OF UNGLAZED SURFACE; GLAZING IN HALLS AND STAIR LANDINGS; GLAZING IN WALLS AND FENCES USED AS THE BARRIER FOR SWIMMING POOLS AND SPAS.
 19. NEW WINDOWS AND DOORS ACCORDING TO WINDLOAD AND DOOR SCHEDULES.
 20. APPLIANCES SUCH AS KITCHEN SINK FOOD GRINDERS, DISHWASHERS, MICROWAVE OVEN, WASHING MACHINES, DRYERS, REFRIGERATORS, FREEZERS, BUILT IN HEATERS OR ANY OTHER FIXED APPLIANCE WITH A WEIGHT MORE THAN 14 LBS SHALL BE ON SEPARATE BRANCH CIRCUIT SUPPLIED BY A MINIMUM NUMBER 15 AMP WIRE.
 21. ALL WORK SHALL COMPLY WITH THE 2001 CALIFORNIA BUILDING CODE.
 22. PROVIDE A SLOPED LANDING AT EXTERIOR DOORS. DOORS FULLY OPEN SHALL NOT REDUCE THE WIDTH OF THE LANDING BY MORE THAN 7".
 23. PROVIDE A CLEAR SPACE NOT LESS THAN 30" IN WIDTH TOLLET COMPARTMENT, AND CLEAR SPACE OF 24" IN FRONT OF THE WATER CLOSET BOWL.
 24. PROVIDE A 12" MINIMUM ACCESS PANEL TO BATHROOM TRAP CONNECTION UNLESS FLOORING IS WITHOUT SLIP JOINTS.
 25. PROVIDE LOW FLOW TOILETS (1.6 GALLON FLUSH), SHOWER HEADS (2.5 GPM) AND FAUCETS (2.0 GPM) @ 60 PSI. (C.C. 510.5.4 AND 510.5.5)
 26. PROVIDE INDIVIDUAL CONTROL VALVES OF THE PRESSURE BALANCE OR THE THERMOSTATIC MIXING VALVE TYPE FOR SHOWERS AND TUB SHOWERS.
 27. FOR GAS-BURNING WATER HEATERS PROVIDE TWO 100 SQUARE INCHES NET AIR OPENINGS DIRECTLY TO THE OUTSIDE. FUEL BURNING WATER HEATERS SHALL NOT BE INSTALLED IN RESIDENTIAL BATHROOMS.
 28. CLOSETS OPENING INTO A BEDROOM OR BATHROOM 502.2 (CFC)
 29. ELEMENTS OF APPLIANCE GENERATING GLOW, SPARK OR FLAME MUST BE LOCATED A MINIMUM OF 18" ABOVE THE GARAGE FLOOR. (C.C. 510.3.1 (CFC))
 30. PROVIDE 30" VERTICAL CLEARANCE ABOVE COOKING TOP TO UNPROTECTED COMBUSTIBLE MATERIALS 502.1 (CFC)
 31. PROVIDE A MECHANICAL VENTILATION SYSTEM IN BATHROOMS CONTAINING A BATHING AREA OR SHOWER, LAUNDRY ROOMS. MECHANICAL SYSTEM MUST BE CAPABLE OF PROVIDING FIVE AIR CHANGES PER HOUR AND EXHAUSTING DIRECTLY TO THE OUTSIDE. (C.C. 510.3.2)
 32. PROVIDE GROUND FAULT CIRCUIT INTERRUPTER (GFCI) PROTECTION FOR ALL 120-VOLT, SINGLE PHASE, 15 AND 20-AMPERE RECEPTACLES INSTALLED IN BATHROOMS, GARAGES, OUTDOORS, CRAWL SPACES, BASEMENTS AND COUNTERTOP RECEPTACLES WITHIN 6'-0" OF A KITCHEN SINK WITHIN 210.6 (CFC).
 33. RECEPTACLE OUTLETS SHALL BE INSTALLED WITHIN CHAILING LIMITS SO THAT NO POINT ALONG THE FLOOR LINE IS MORE THAN 6 FT FROM AN OUTLET IN THAT SPACE. (C.C. SECT. 210.52(A) AT WALL COUNTERS WITHIN KITCHENS SO THAT NO POINT ALONG THE WALL LINE IS MORE THAN 24 INCHES FROM AN OUTLET IN THAT SPACE. (C.C. SECT. 210.52(B); AT LEAST ONE WITHIN A BATHROOM OR LAUNDRY AREA. (C.C. SECT. 210.52(C) AND F)
 34. PROVIDE SWITCH CONTROLLED LIGHTING IN EVERY HABITABLE ROOM AND / OR OUTDOOR ENTRANCES (EXCEPT C.E.C. SECT. 210.70(A) C.
 35. PROVIDE MULTIPLE OCCUPANT (MOC) SWITCHES FOR ALL SLEEPING ROOM RECEPTACLE OUTLETS. (C.C. SECT. 210.12)
 36. BATHROOM RECEPTACLES SHALL BE SERVED BY DEDICATED 20 AMP 60 HZ CIRCUIT - N.E.C. SECT 210.52(D).
 37. ALL LIGHTS SHALL COMPLY WITH THE MANDATORY MEASURES CHECKLIST "LIGHTING MEASURES" (PART 1) & (PART 2).
 38. LIGHTS SHALL BE SIZED PER CHAPTER 6 OF MECHANICAL CODE.
 39. THE LAUNDRY CHUTE SHALL HAVE 16.25 GALVANIZED SHEET GAGE METAL WITH ALL JOINTS LOCKWELDED. ALL OPENINGS PROVIDE A SELF CLOSING SOLID WOOD DOOR 1 3/8" INCHES THICK.
 40. FIRE SPRINKLERS PROVIDED AT THE TOP OF RUBBER AND LINEN CHUTES AND IN THEIR TERMINAL ROOMS AND WALLS EXTENDING THROUGH 3 OR MORE FLOORS, HAVE HORIZONTAL SPRINKLER HEADS INSTALLED WITHIN SUCH CHUTES AT ALTERNATE FLOORS.
 41. SPRINKLER HEADS ACCESSIBLE FOR SERVICING. SECTION 904.2.2
 42. NEW WINDOWS, SKYLIGHTS, GLASS DOORS OR OTHER PENETRATION (GLAZING) PROVIDE PERMANENT LABEL LISTING A U-VALUE OF 0.75 OR LESS.
 43. IN ORDER TO ACHIEVE A U-VALUE COEFFICIENT OF MAXIMUM .40 FOR ALL WEST AND EAST FACING BUILDING, DOUBLE GLAZED WINDOWS IN COLLAGE ON WITH OPACQUE WITH 2" INTERIOR ROLLER SHADERS ARE BEING USED.
 44. DOORS AND WINDOWS BETWEEN CONTIGUOUS AND UNCONDITIONED SPACES MUST BE WEATHER STRIPPED.
 45. CALKING AND SEALANTS MUST BE USED IN THE BUILDING ENVELOPE - AROUND WINDOWS AND DOOR FRAMES - BETWEEN WALL PANELS - OPENINGS IN WALLS, CEILING, AND DOORS FOR PLUMBING, ELECTRICITY AND GAS LINES - OPENINGS IN ATTIC FLOORS - ALL OTHER OPENINGS IN THE BUILDING ENVELOPE.
 46. AUTOMATIC BACKDRAFT DAMPERS MUST BE INSTALLED IN EXHAUST DUCT SYSTEMS.
 47. ALL THE FIRE RAZES ARE PREPARED AND MEET ALL THE SECURITY REQUIREMENTS.
 48. CONTINUOUS BURNING OF OIL LAMPS AND THE USE OF BODILY OIL TO COOL THE FURNACE WHEN THAT MOTOR AIR IS VENTILE TO THE OUTSIDE OF THE BUILDING IS PROHIBITED.
 49. WALL AND CEILING MATERIALS SHALL NOT EXCEED THE FLAME SPREAD CLASSIFICATION IN LIST TABLE 5-8.



APPROVED
Zoning & Development Services
Department of Planning & Building
NOV 18 1995
[Signature]

REVISIONS BY
11-07-05 LE

SHEET CONTENTS:
BASEMENT PLAN
PACKAGE NAME:
CONSTRUCTION DOCUMENTS

ALL TOTAL SQUARE FOOTAGE SHOWN ON THIS PLAN IS APPROXIMATE AND SUBJECT TO THE PROPERTY OF THE OWNER. THE ARCHITECT ASSUMES NO LIABILITY FOR ANY ERRORS OR OMISSIONS IN THIS PLAN. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR ANY CONSTRUCTION DEFECTS OR DAMAGE TO ANY PERSON OR PROPERTY ARISING FROM THE USE OF THIS PLAN. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR ANY CONSTRUCTION DEFECTS OR DAMAGE TO ANY PERSON OR PROPERTY ARISING FROM THE USE OF THIS PLAN.



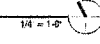
PROJECT TITLE:
MAKINEN Townhomes
NEW CONSTRUCTION
9, 11 Temple Avenue
Long Beach, CA 90803

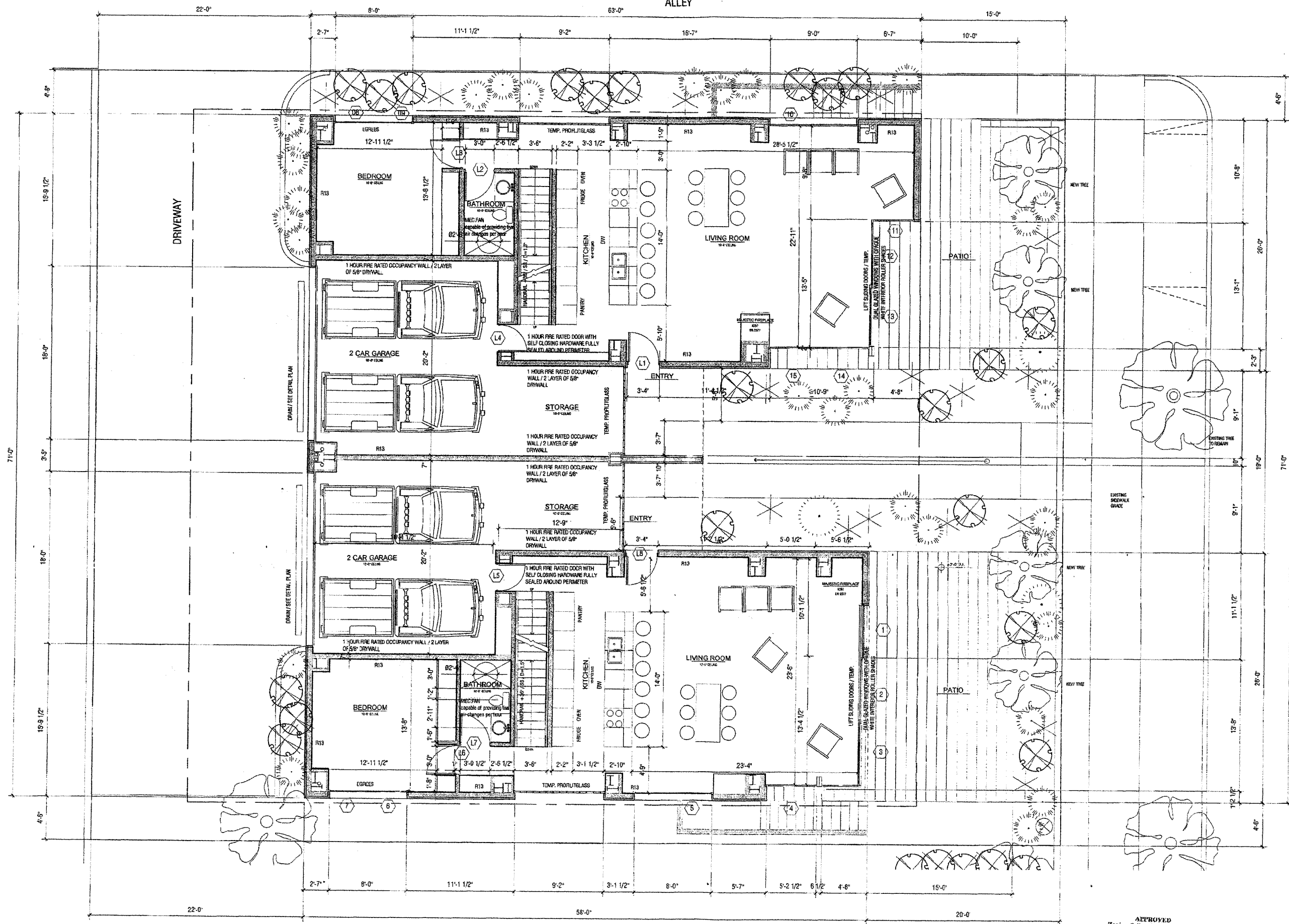
design *21
4240 VIA MARINA #14
MARINA DEL REY, CA 90292
TEL: FAX: 310.574.8895

1" = 10'

SHEET
A3 of 13 Sheets

BASEMENT PLAN





SHEET	FLOOR	PACK	CONC.

ALL IDEAS, DESIGN ARRANGEMENTS AND PLANS INDICATED OR REPRESENTED BY THIS DRAWING ARE OWNED BY AND ARE THE PROPERTY OF DESIGN 21 AND WERE CREATED, EVOLVED AND DEVELOPED FOR USE ON, AND IN CONNECTION WITH, THE SPECIFIC PROJECT. NONE OF THESE IDEAS, DESIGN ARRANGEMENTS OR PLANS SHALL BE USED BY OR DISCLOSED TO ANY PERSON, FIRM OR CORPORATION FOR ANY PURPOSE WHATSOEVER WITHOUT THE WRITTEN PERMISSION OF DESIGN 21. WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. CONTRACTORS SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB AND THIS OFFICE MUST BE NOTIFIED OF ANY VARIATIONS FROM THE DIMENSIONS AND CONDITIONS SHOWN BY THESE DRAWINGS. SHOP DETAILS MUST BE SUBMITTED TO THIS OFFICE FOR APPROVAL BEFORE PROCEEDING WITH FABRICATION.

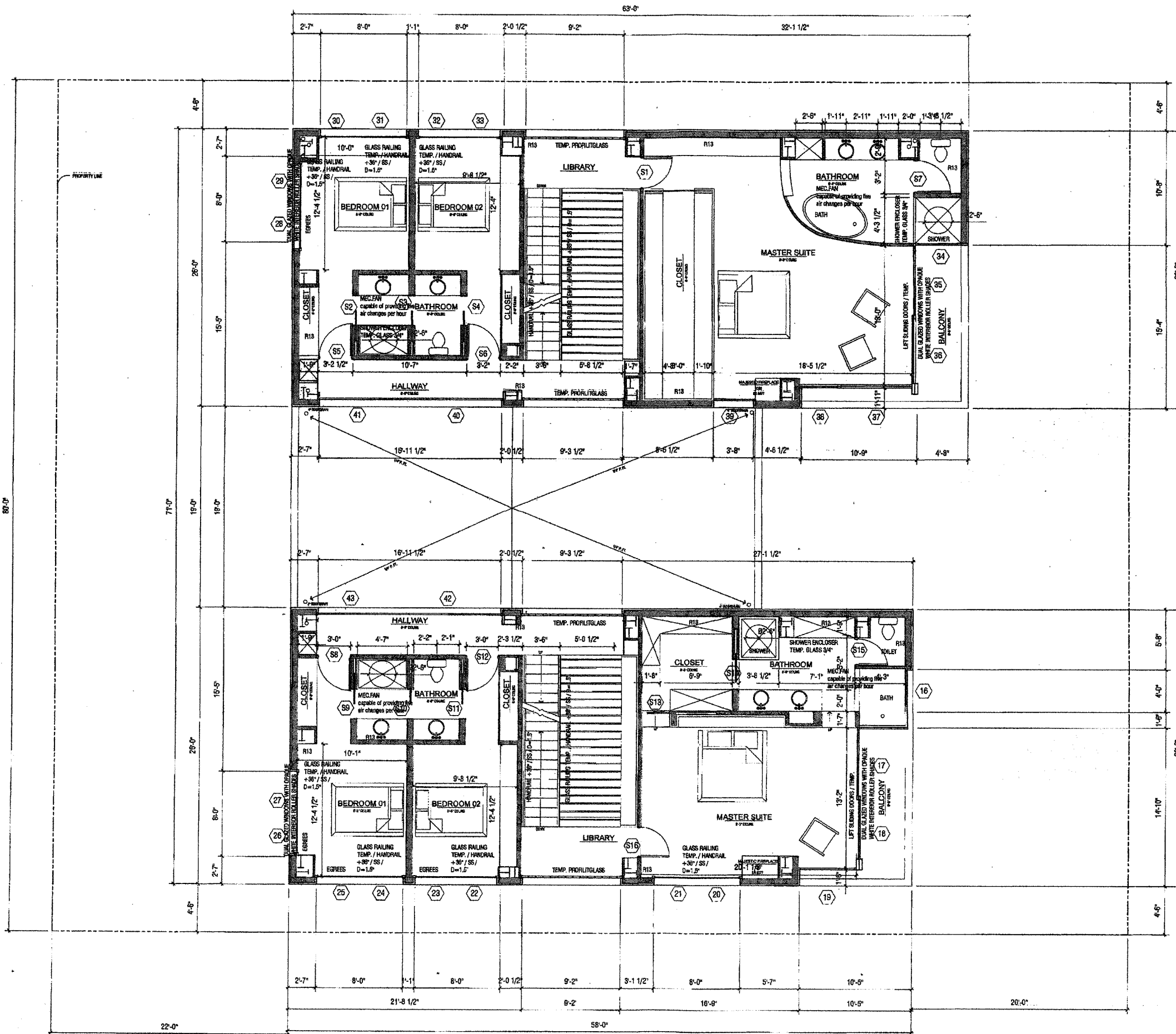


PROJECT TITLE:
MAKINENI Townhomes
NEW CONSTRUCTION
9, 11 Temple Avenue
Long Beach, CA 90803

design*21
4240 VIA MARINA #14
MARINA DEL REY, CA 90292
TEL / FAX 310.574.8805

APPROVED
Zoning & Development Services
Department of Planning & Building
NOV 19 2006

Planner: [Signature]



ALL IDEAS, DESIGN, ARRANGEMENTS AND PLANS INDICATED OR REPRESENTED BY THIS DRAWING ARE OWNED BY AND ARE THE PROPERTY OF DESIGNER AND WERE CREATED, EVOLVED AND DEVELOPED FOR USE ON, AND IN CONNECTION WITH THE SPECIFIC PROJECT. NONE OF THESE IDEAS, DESIGN, ARRANGEMENTS OR PLANS SHALL BE USED BY OR ENCLOSED TO ANY PERSON, FIRM OR CORPORATION FOR ANY PURPOSE WHATSOEVER WITHOUT THE WRITTEN PERMISSION OF DESIGNER. WRITTEN PERMISSION ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER ORAL PERMISSIONS. CONTRACTORS SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB AND THIS OFFICE MUST BE NOTIFIED OF ANY VARIATIONS FROM THE DIMENSIONS AND CONDITIONS SHOWN BY THESE DRAWINGS. SHOP DETAILS MUST BE SUBMITTED TO THIS OFFICE FOR APPROVAL BEFORE PROCEEDING WITH FABRICATION.



PROJECT TITLE:
MAKINENI Townhomes
NEW CONSTRUCTION
9, 11 Temple Avenue
Lido Beach, CA 90803

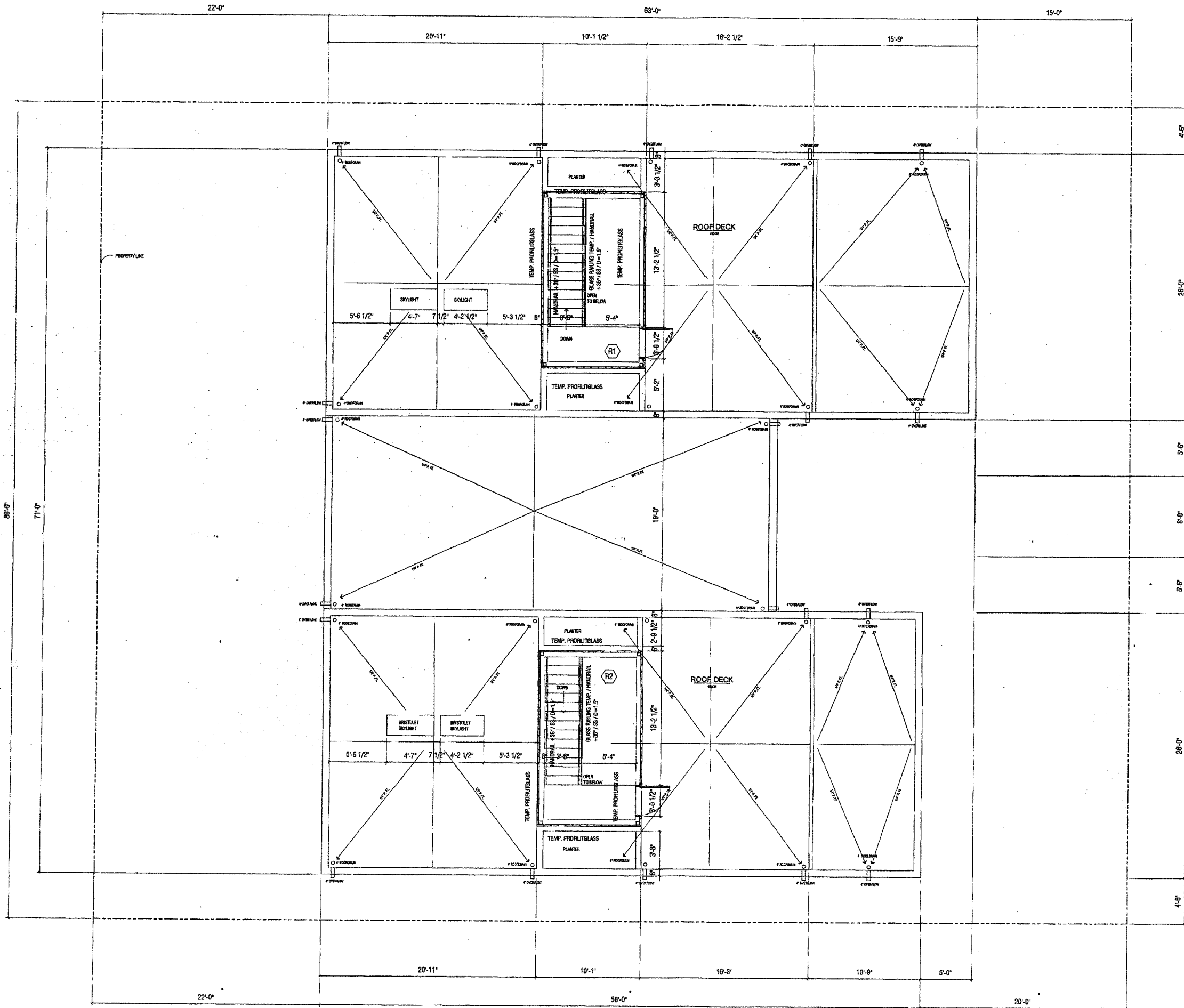
design*21
4240 VIA MARINA #14
MARINA DEL REY, CA 90292
TEL / FAX 310 574 8815

APPROVED
Zoning & Development Services
Department of Planning & Building
NOV 18 2005

PLANS APPROVED BY
BUILDING DEPARTMENT
CITY OF LIDO BEACH
NOV 17 2005

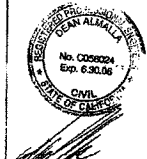
Date September 27, 2005

Scale 1/4" = 1'-0"



SHEET C1
ROOF PL
PACKAGE
CONSTR1

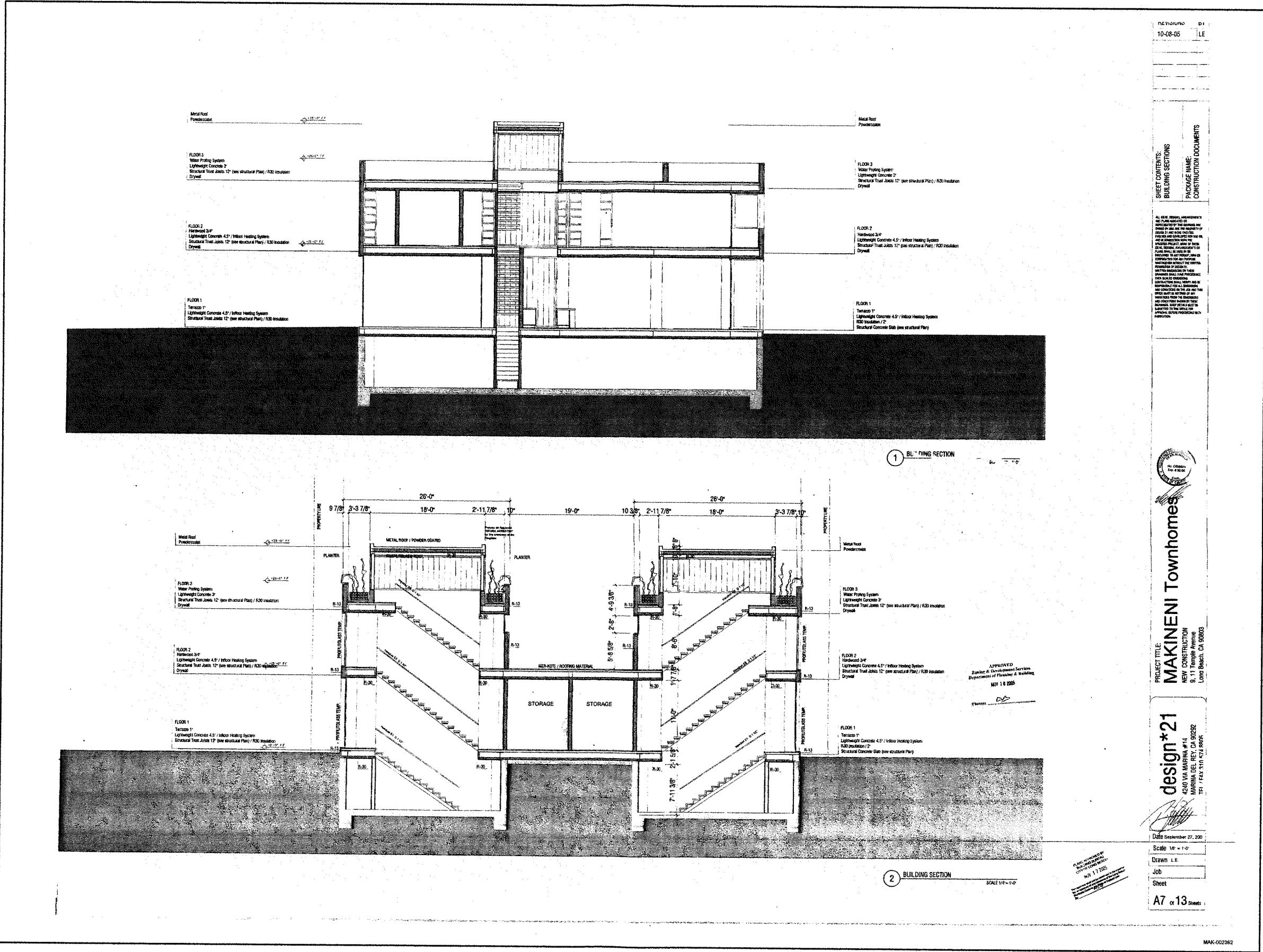
ALL IDEAS, DESIGNS, ARRANGEMENTS AND PLANS INDICATED OR REFERENCED BY THIS DRAWING ARE OWNED BY AND ARE THE PROPERTY OF DESIGNER AND WERE CREATED, DEVELOPED AND REVISED FOR THE USE OF AND IN CONNECTION WITH THE SPECIFIED PROJECT. NONE OF THESE IDEAS, DESIGNS, ARRANGEMENTS OR PLANS SHALL BE USED BY OR DISCLOSED TO ANY PERSON, FIRM OR CORPORATION FOR ANY PURPOSE WHATSOEVER WITHOUT THE WRITTEN PERMISSION OF DESIGNER. ANY REVISIONS OR CHANGES TO THESE DRAWINGS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. CONTRACTORS SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB AND THIS OFFICE MUST BE NOTIFIED OF ANY VARIATIONS FROM THE DIMENSIONS AND CONDITIONS SHOWN BY THESE DRAWINGS. SHOP DETAILS MUST BE SUBMITTED TO THIS OFFICE FOR APPROVAL BEFORE PROCEEDING WITH FABRICATION.



PROJECT TITLE:
MAKINENI Townhomes
NEW CONSTRUCTION
9, 11 Temple Avenue
Long Beach, CA 90803

design *21
4240 VIA MARINA #14
MARINA DEL REY, CA 90232
TEL / FAX 310.574.8805

APPROVED
Zoning & Development Services
Department of Planning & Building
NOV 18 2005



REVISIONS
10-08-05

SHEET CONTENTS:
BUILDING SECTIONS
PACKAGE NAME:
CONSTRUCTION DOCUMENTS

ALL USE OF THIS DRAWING IS LIMITED TO THE PROJECT AND SITE SPECIFIC TO THE PROJECT AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECT. THE ARCHITECT'S LIABILITY IS LIMITED TO THE PROFESSIONAL SERVICES PROVIDED AND DOES NOT INCLUDE CONSTRUCTION ADMINISTRATION OR ANY OTHER SERVICES. THE ARCHITECT'S LIABILITY IS LIMITED TO THE PROFESSIONAL SERVICES PROVIDED AND DOES NOT INCLUDE CONSTRUCTION ADMINISTRATION OR ANY OTHER SERVICES.



PROJECT TITLE:
MAKINENI Townhomes
NEW CONSTRUCTION
9, 11 Temple Avenue
Loma Blanca, CA 90803

design *21
4240 VIA MARINA #14
MARINA DEL REY, CA 90292
TEL / FAX: 310 474 8996

Date September 27, 200

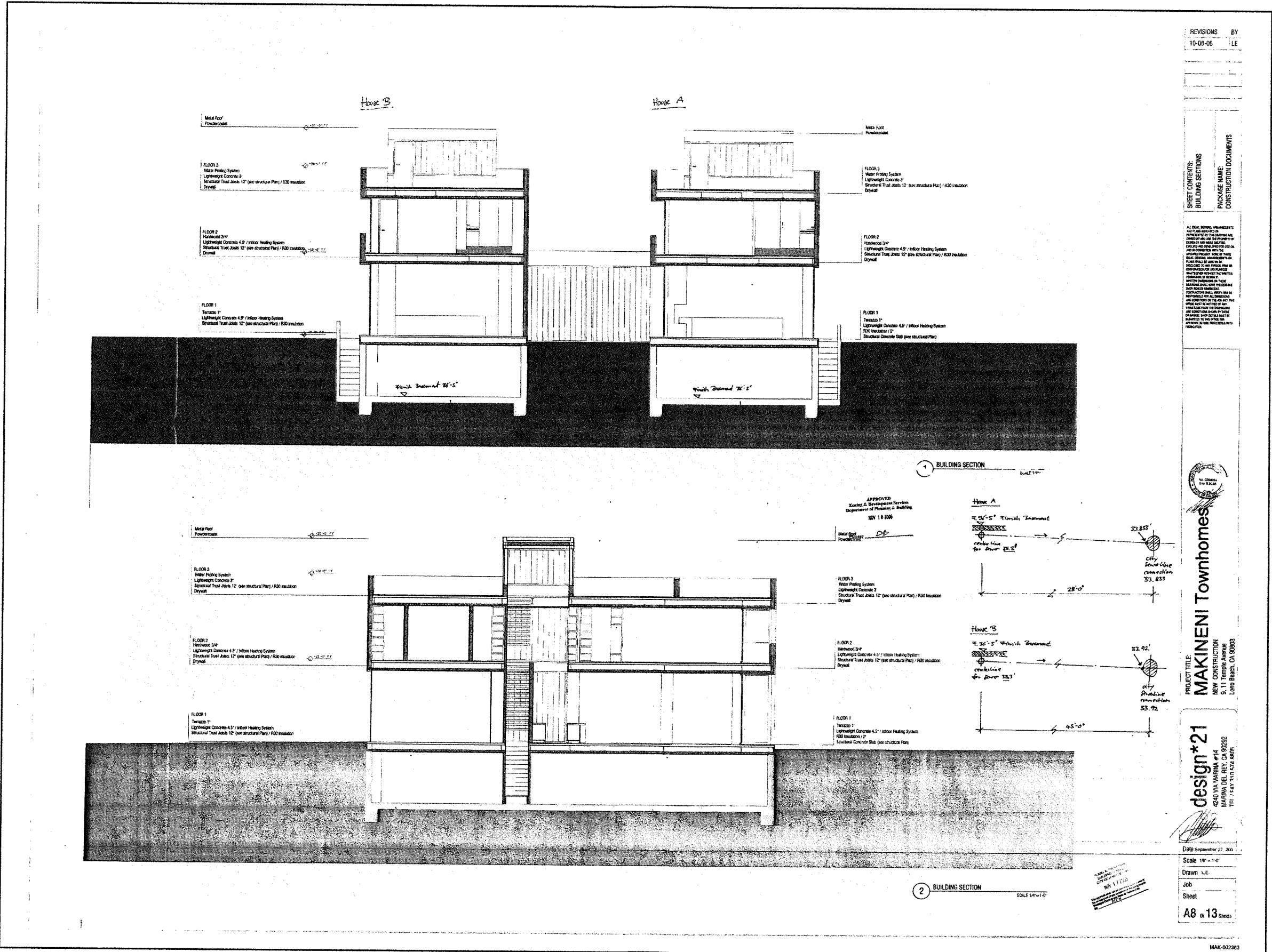
Scale 1/8" = 1'-0"

Drawn L.E.

Job

Sheet

A7 of 13 Sheets



REVISIONS	BY
10-08-05	LE

SHEET CONTENTS:
BUILDING SECTIONS
PACKAGE NAME:
CONSTRUCTION DOCUMENTS

ALL DIMENSIONS UNLESS OTHERWISE NOTED ARE TO FACE UNLESS INDICATED OTHERWISE. THE DRAWING IS FOR INFORMATION ONLY AND IS NOT TO BE USED FOR CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS AND CONDITIONS ON THE JOB SITE. THE ARCHITECT SHALL BE RESPONSIBLE FOR ANY CHANGES TO THE DRAWING. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS. THE ARCHITECT SHALL BE RESPONSIBLE FOR ANY CHANGES TO THE DRAWING. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS.

PROJECT TITLE:
MAKINENI Townhomes
NEW CONSTRUCTION
9, 11 Temple Avenue
Loma Beach, CA 90603

design *21
4240 VIA MARINA #14
MARINA DEL REY, CA 90292
TEL / FAX 310 574 8878

Date September 27, 2005
Scale 1/8" = 1'-0"
Drawn L.E.
Job
Sheet
A8 of 13 sheets

WINDOW SCHEDULE: EXTERNAL FRAMEWORK DIMENSIONS

NO.	LOCATION	DIMENSION W/H (inches)	FRAME	GLASS	NOTES
BASEMENT					
LEVEL 01					
01	LIVING	9'-0" / 10'-0"	WOOD / ALUMINUM	DUAL GLASS / TEMP. / FX	
02	LIVING	9'-0" / 10'-0"	WOOD / ALUMINUM	DUAL GLASS / TEMP. / LIFT-SLIDING	
03	LIVING	9'-0" / 10'-0"	WOOD / ALUMINUM	DUAL GLASS / TEMP. / LIFT-SLIDING	
04	LIVING	9'-0" / 10'-0"	WOOD / ALUMINUM	DUAL GLASS / TEMP. / FX	
05	LIVING	9'-0" / 10'-0"	WOOD / ALUMINUM	DUAL GLASS / TEMP. / LIFT-SLIDING	
06	BEDROOM	6'-0" / 10'-0"	WOOD / ALUMINUM	DUAL GLASS / TEMP. / LIFT-SLIDING	
07	BEDROOM	6'-0" / 10'-0"	WOOD / ALUMINUM	DUAL GLASS / TEMP. / FX	
08	BEDROOM	6'-0" / 10'-0"	WOOD / ALUMINUM	DUAL GLASS / TEMP. / LIFT-SLIDING	
09	BEDROOM	6'-0" / 10'-0"	WOOD / ALUMINUM	DUAL GLASS / TEMP. / FX	
10	LIVING	9'-0" / 10'-0"	WOOD / ALUMINUM	DUAL GLASS / TEMP. / LIFT-SLIDING	
11	LIVING	9'-0" / 10'-0"	WOOD / ALUMINUM	DUAL GLASS / TEMP. / FX	
12	LIVING	9'-0" / 10'-0"	WOOD / ALUMINUM	DUAL GLASS / TEMP. / LIFT-SLIDING	
13	LIVING	9'-0" / 10'-0"	WOOD / ALUMINUM	DUAL GLASS / TEMP. / LIFT-SLIDING	
14	LIVING	9'-0" / 10'-0"	WOOD / ALUMINUM	DUAL GLASS / TEMP. / LIFT-SLIDING	
15	LIVING	9'-0" / 10'-0"	WOOD / ALUMINUM	DUAL GLASS / TEMP. / FX	

WINDOW SCHEDULE: EXTERNAL FRAMEWORK DIMENSIONS

NO.	LOCATION	DIMENSION W/H (inches)	FRAME	GLASS	NOTES
LEVEL 02					
16	BATHROOM	5'-0" / 8'-0"	WOOD / ALUMINUM	DUAL GLASS / FX	
17	MASTER BEDROOM	7'-0" / 8'-0"	WOOD / ALUMINUM	DUAL GLASS / TEMP. / FX	
18	MASTER BEDROOM	7'-0" / 8'-0"	WOOD / ALUMINUM	DUAL GLASS / TEMP. / LIFT-SLIDING	
19	MASTER BEDROOM	7'-0" / 8'-0"	WOOD / ALUMINUM	DUAL GLASS / TEMP. / FX	
20	MASTER BEDROOM	7'-0" / 8'-0"	WOOD / ALUMINUM	DUAL GLASS / TEMP. / FX	
21	MASTER BEDROOM	7'-0" / 8'-0"	WOOD / ALUMINUM	DUAL GLASS / TEMP. / LIFT-SLIDING	
22	BEDROOM 02	6'-0" / 8'-0"	WOOD / ALUMINUM	DUAL GLASS / TEMP. / FX	
23	BEDROOM 02	6'-0" / 8'-0"	WOOD / ALUMINUM	DUAL GLASS / TEMP. / LIFT-SLIDING	
24	BEDROOM 01	6'-0" / 8'-0"	WOOD / ALUMINUM	DUAL GLASS / TEMP. / FX	
25	BEDROOM 01	6'-0" / 8'-0"	WOOD / ALUMINUM	DUAL GLASS / TEMP. / LIFT-SLIDING	
26	BEDROOM 01	6'-0" / 8'-0"	WOOD / ALUMINUM	DUAL GLASS / TEMP. / FX	
27	BEDROOM 01	6'-0" / 8'-0"	WOOD / ALUMINUM	DUAL GLASS / TEMP. / LIFT-SLIDING	
28	BEDROOM 01	6'-0" / 8'-0"	WOOD / ALUMINUM	DUAL GLASS / TEMP. / FX	
29	BEDROOM 01	6'-0" / 8'-0"	WOOD / ALUMINUM	DUAL GLASS / TEMP. / LIFT-SLIDING	
30	BEDROOM 01	6'-0" / 8'-0"	WOOD / ALUMINUM	DUAL GLASS / TEMP. / FX	
31	BEDROOM 01	6'-0" / 8'-0"	WOOD / ALUMINUM	DUAL GLASS / TEMP. / LIFT-SLIDING	
32	BEDROOM 02	6'-0" / 8'-0"	WOOD / ALUMINUM	DUAL GLASS / TEMP. / FX	
33	BEDROOM 02	6'-0" / 8'-0"	WOOD / ALUMINUM	DUAL GLASS / TEMP. / LIFT-SLIDING	
34	MASTER BATHROOM	6'-0" / 8'-0"	WOOD / ALUMINUM	DUAL GLASS / TEMP. / FX	
35	MASTER BEDROOM	7'-0" / 8'-0"	WOOD / ALUMINUM	DUAL GLASS / TEMP. / FX	
36	MASTER BEDROOM	7'-0" / 8'-0"	WOOD / ALUMINUM	DUAL GLASS / TEMP. / LIFT-SLIDING	
37	MASTER BEDROOM	7'-0" / 8'-0"	WOOD / ALUMINUM	DUAL GLASS / TEMP. / FX	
38	MASTER BEDROOM	7'-0" / 8'-0"	WOOD / ALUMINUM	DUAL GLASS / TEMP. / LIFT-SLIDING	
39	MASTER BEDROOM	7'-0" / 8'-0"	WOOD / ALUMINUM	DUAL GLASS / TEMP. / FX	
40	HALLWAY	8'-0" / 3'-0"	WOOD / ALUMINUM	DUAL GLASS / TEMP. / AWNING	
41	HALLWAY	8'-0" / 3'-0"	WOOD / ALUMINUM	DUAL GLASS / TEMP. / AWNING	
42	HALLWAY	8'-0" / 3'-0"	WOOD / ALUMINUM	DUAL GLASS / TEMP. / AWNING	
43	HALLWAY	8'-0" / 3'-0"	WOOD / ALUMINUM	DUAL GLASS / TEMP. / AWNING	

DOOR SCHEDULE:

NO.	LOCATION	DIMENSION W/H (inches)	FRAME	DOOR
BASEMENT				
01	STORAGE	2'-0" / 8'-0"	ALUMINUM	WOOD / PAINTED
02	STORAGE	2'-0" / 8'-0"	ALUMINUM	WOOD / PAINTED
03	LAUNDRY	2'-0" / 8'-0"	ALUMINUM	WOOD / PAINTED
04	STORAGE	2'-0" / 8'-0"	ALUMINUM	WOOD / PAINTED
05	STORAGE	2'-0" / 8'-0"	ALUMINUM	WOOD / PAINTED
06	LAUNDRY	2'-0" / 8'-0"	ALUMINUM	WOOD / PAINTED
LEVEL 01				
11	ENTRANCE	3'-0" / 10'-0"	ALUMINUM	ALUM. / TEMP. GLASS
12	BATHROOM	3'-0" / 10'-0"	ALUMINUM	WOOD / PAINTED
13	BEDROOM	3'-0" / 10'-0"	ALUMINUM	WOOD / PAINTED
14	GARAGE	3'-0" / 10'-0"	ALUMINUM	WOOD / PAINTED
15	GARAGE	3'-0" / 10'-0"	ALUMINUM	WOOD / PAINTED
16	BEDROOM	3'-0" / 10'-0"	ALUMINUM	WOOD / PAINTED
17	BATHROOM	3'-0" / 10'-0"	ALUMINUM	WOOD / PAINTED
18	ENTRANCE	3'-0" / 10'-0"	ALUMINUM	ALUM. / TEMP. GLASS

DOOR SCHEDULE:

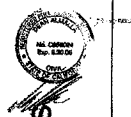
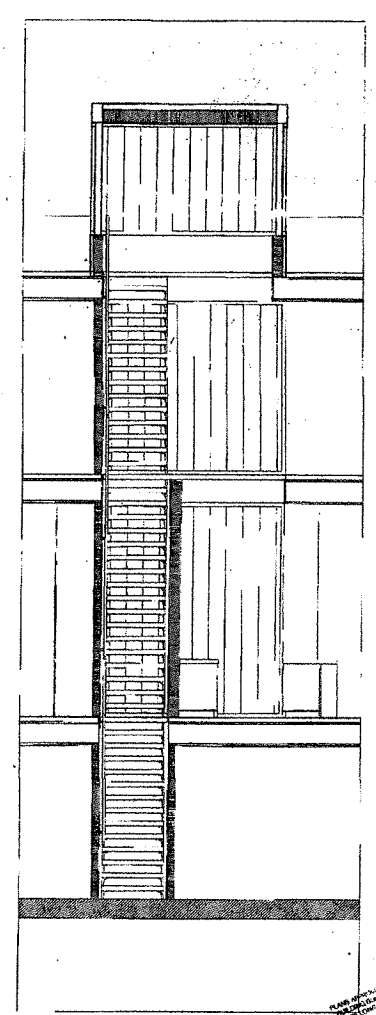
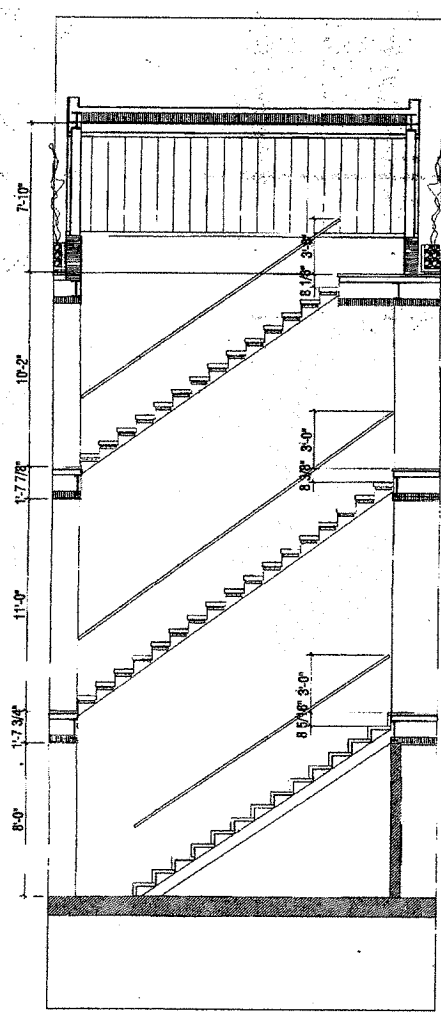
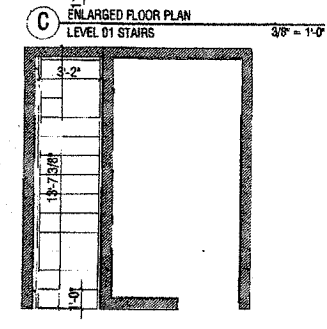
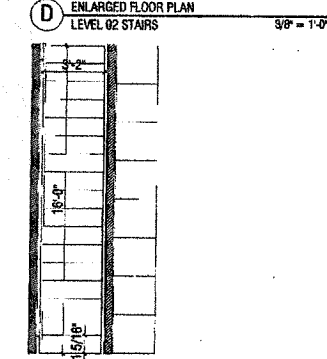
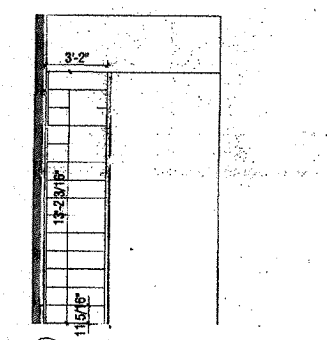
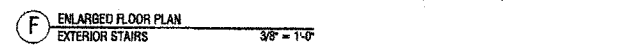
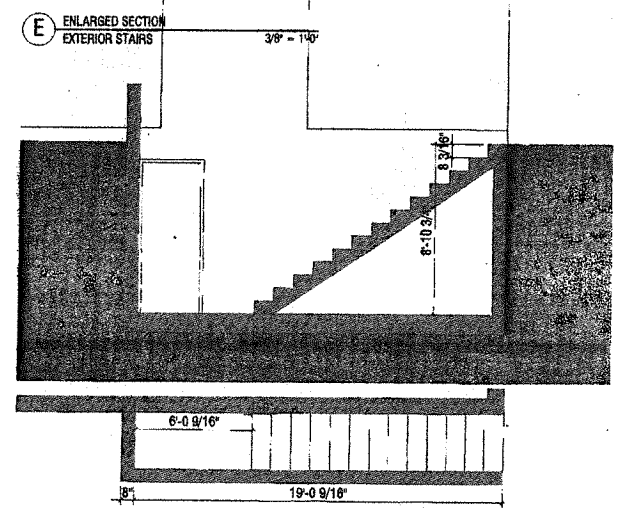
NO.	LOCATION	DIMENSION W/H (inches)	FRAME	DOOR
LEVEL 02				
01	MASTER SUITE	3'-0" / 8'-0"	ALUMINUM	WOOD / PAINTED
02	BATHROOM 01	3'-0" / 8'-0"	ALUMINUM	WOOD / PAINTED / SLIDING
03	BATHROOM 01	3'-0" / 8'-0"	ALUMINUM	WOOD / PAINTED / SLIDING
04	BATHROOM 02	3'-0" / 8'-0"	ALUMINUM	WOOD / PAINTED / SLIDING
05	BEDROOM 01	3'-0" / 8'-0"	ALUMINUM	WOOD / PAINTED
06	BEDROOM 02	3'-0" / 8'-0"	ALUMINUM	WOOD / PAINTED
07	TOILET	3'-0" / 8'-0"	ALUMINUM	GLASS / TEMP.
08	TOILET	3'-0" / 8'-0"	ALUMINUM	GLASS / TEMP.
09	BATHROOM 01	3'-0" / 8'-0"	ALUMINUM	WOOD / PAINTED
10	BATHROOM 01	3'-0" / 8'-0"	ALUMINUM	WOOD / PAINTED / SLIDING
11	BATHROOM 02	3'-0" / 8'-0"	ALUMINUM	WOOD / PAINTED / SLIDING
12	BEDROOM 01	3'-0" / 8'-0"	ALUMINUM	WOOD / PAINTED
13	CLOSET	3'-0" / 8'-0"	ALUMINUM	WOOD / PAINTED / SLIDING
14	CLOSET	3'-0" / 8'-0"	ALUMINUM	WOOD / PAINTED / SLIDING
15	TOILET	3'-0" / 8'-0"	ALUMINUM	GLASS / TEMP.
16	MASTER BEDROOM	3'-0" / 8'-0"	ALUMINUM	WOOD / PAINTED
ROOF DECK				
R1	ROOF DECK AC.	3'-0" / 7'-10"	ALUMINUM	ALUM. / TEMP. GLASS
R2	ROOF DECK AC.	3'-0" / 7'-10"	ALUMINUM	ALUM. / TEMP. GLASS

REVISIONS	BY
10-08-05	LE

SHEET CONTENTS:
STAIRWAY PLANS
WINDOW AND DOOR SCHEDULE
CONSTRUCTION DOCUMENTS

ALL WORK SHALL BE ACCORDING TO THE SPECIFICATIONS OF THE CONTRACT AND SHALL BE SUBJECT TO THE INSPECTION AND APPROVAL OF THE CITY OF LONG BEACH. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF LONG BEACH. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF LONG BEACH. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF LONG BEACH.

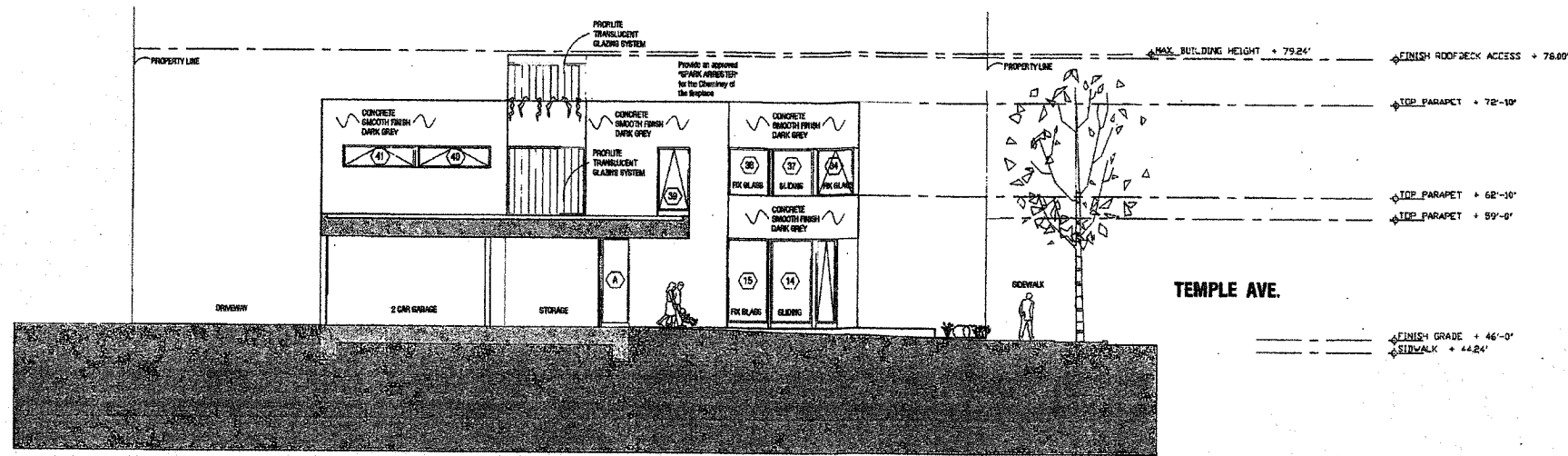
EXACT DETAILING WILL BE PROVIDED TO THE CITY OF LONG BEACH BY: BRADFIELD MFG., INC. 806 E. WASHINGTON AVENUE, SANTA ANA, CA 92701 CONTRACTORS LICENCE #658387 L.A. FABRICATORS #560 BY THE TIME A CONTRACT IS SIGNED



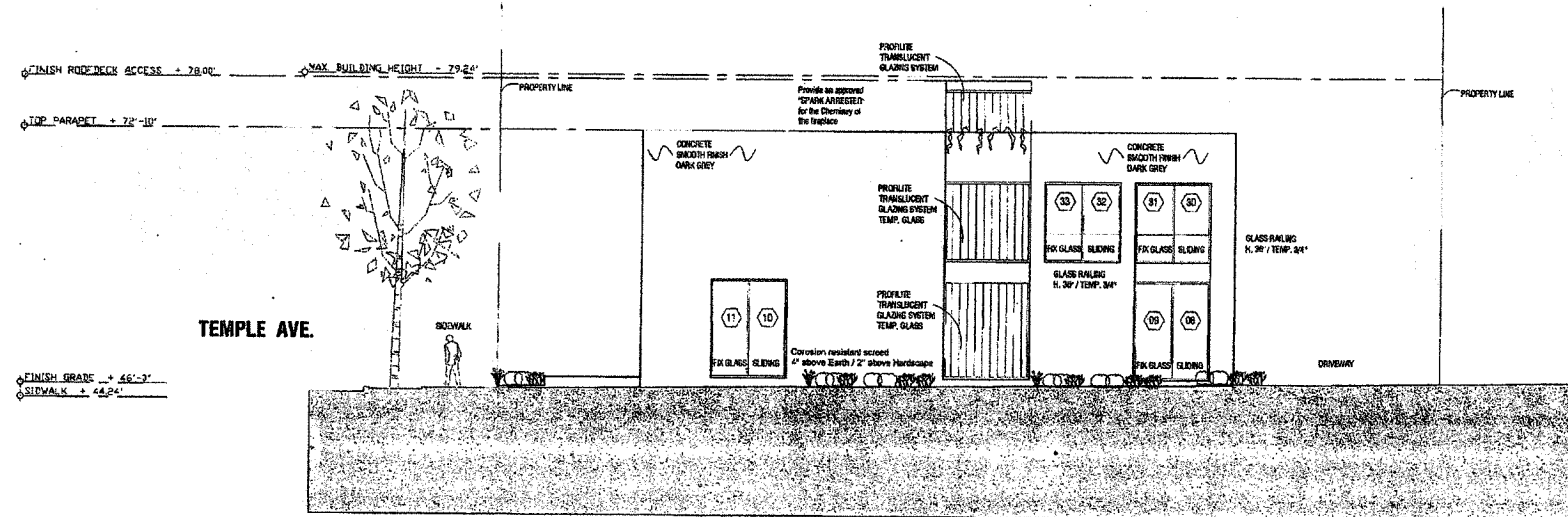
PROJECT TITLE:
MAKINENI Townhomes
NEW CONSTRUCTION
9, 11 Temple Avenue
Long Beach, CA 90803

design*21
1240 VAN MARINA #14
MARINA DEL REY, CA 90292
TEL: 310.317.1212 FAX: 310.317.1213

Date: September 27, 2005
Scale: 3/8" = 1'-0"
Drawn: L.E.
Job:
Sheet:
A9 of 13 Sheets



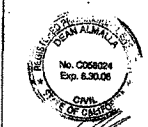
1 SOUTH ELEVATION
SCALE 1/8"=1'-0"



2 NORTH ELEVATION
SCALE 1/8"=1'-0"

APPROVED
Zoning & Development Services
Department of Planning & Building
NOV 18 2005
Planner: *[Signature]*

EVOLVED AND DEVELOPED FOR USE ON
AND IN CONNECTION WITH THE
SPECIFIC PROJECT, NONE OF THESE
IDEAS, DESIGNS, ARRANGEMENTS OR
PLANS SHALL BE USED IN OR
DISCLOSED TO ANY PERSON, FIRM OR
CORPORATION FOR ANY PURPOSE
WHATSOEVER WITHOUT THE WRITTEN
PERMISSION OF DESIGN 21.
WRITTEN DIMENSIONS ON THESE
DRAWINGS SHALL HAVE PRECEDENCE
OVER SCALED DIMENSIONS.
CONTRACTORS SHALL VERIFY AND BE
RESPONSIBLE FOR ALL DIMENSIONS
AND CONDITIONS ON THE JOB AND THE
OFFICE MUST BE NOTIFIED OF ANY
VARIATIONS FROM THE DIMENSIONS
AND CONDITIONS SHOWN BY THESE
DRAWINGS. SHOP DETAILS MUST BE
SUBMITTED TO THIS OFFICE FOR
APPROVAL BEFORE PROCEEDING WITH
FABRICATION.

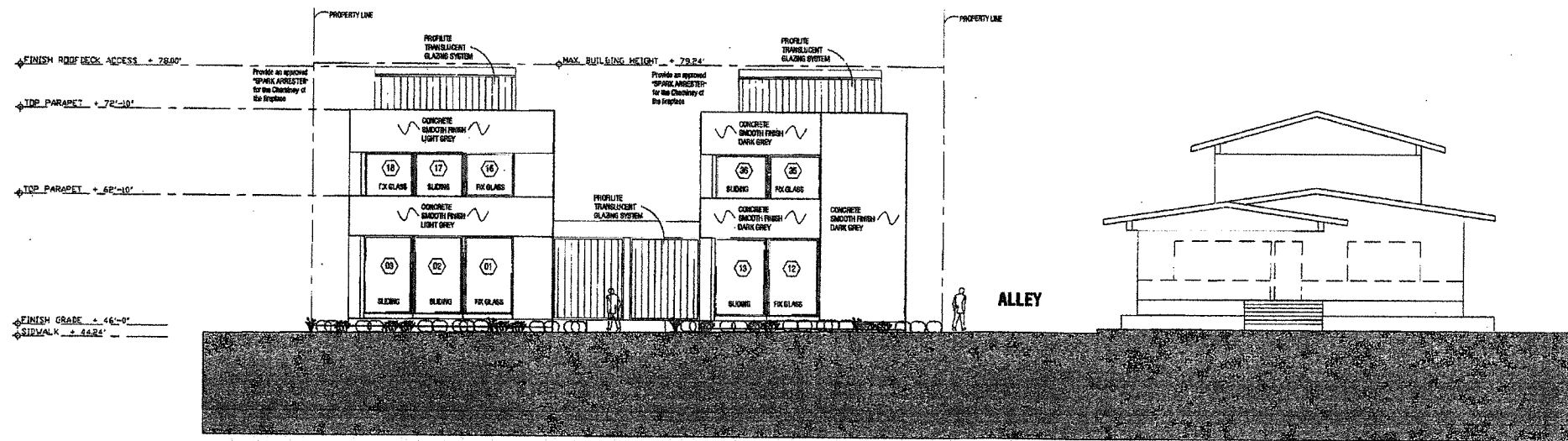


PROJECT TITLE:
MAKINENI Townhomes
NEW CONSTRUCTION
9, 11 Temple Avenue
Long Beach, CA 90803

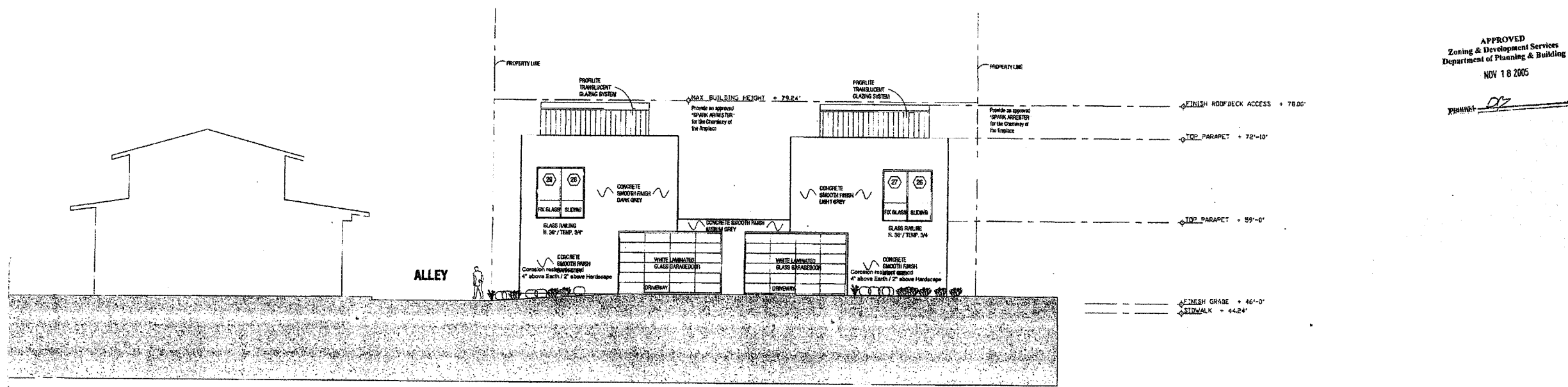
design*21
4240 VIA MARINA #14
MARINA DEL REY, CA 90292
TFI / FAX 310 574 8805

Date September 27, 200
Scale 1/8" = 1'-0"
Drawn L.E.
Job
Sheet

PLANS APPROVED BY
BUILDING BUREAU
CITY OF LONG BEACH
NOV 17 2005



3 EAST ELEVATION
SCALE 1/8"=1'-0"



4 WEST ELEVATION
SCALE 1/8"=1'-0"

APPROVED
Zoning & Development Services
Department of Planning & Building
NOV 18 2005
PINNART *[Signature]*



PROJECT TITLE:
MAKINENI Townhomes
NEW CONSTRUCTION
9, 11 Temple Avenue
Long Beach, CA 90803

design*21
4240 VIA MARINA #14
MARINA DEL REY, CA 90292
TEL / FAX 310 574 8805

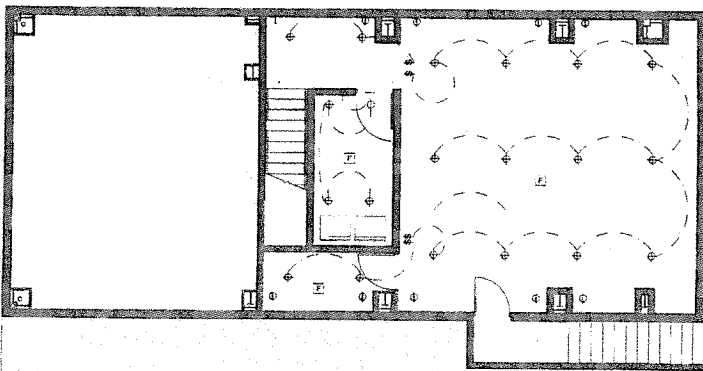
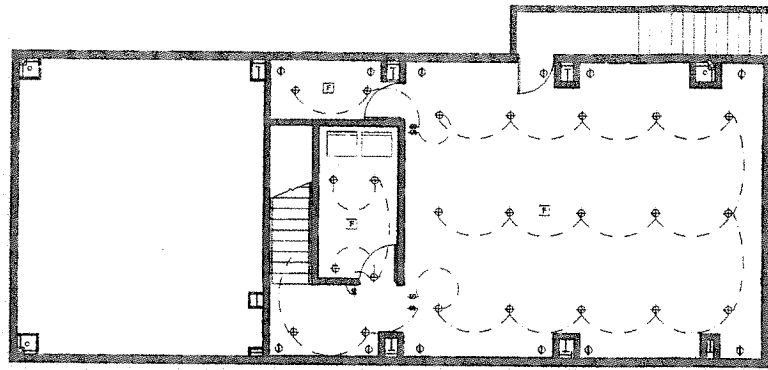
Date September 27, 2005
Scale 1/8" = 1'-0"
Drawn L.E.
Job
Sheet

PLANS APPROVED BY
BUILDING DEPARTMENT
CITY OF LONG BEACH
NOV 17 2005

REVISIONS	BY
10-06-05	LE

SHEET CONTENTS:
ELECTRICAL PLAN
BASEMENT
PACKAGE NAME:
CONSTRUCTION DOCUMENTS

ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC) AND THE NATIONAL FIRE ALARM AND CODE INTERNATIONAL (NFPA) 70B. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND INSURANCE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES.



ELECTRICAL PLAN BASEMENT
1/4" = 1'-0"

IMPORTANT:
BEFORE ANY WORK ON ELECTRIC CAN BE STARTED
GENERAL CONTRACTOR NEEDS TO CONTACT
OWNER AND DESIGNER TO CLARIFY THE EXACT
LOCATION OF ALL THE PLUGS, SWITCHES,
APPLIANCES, FIXTURES AND LIGHT POSITIONS

LEGEND

- ⊕ CEILING MOUNTED RECESSED LIGHT 4" DIA.
- ⊕ DUPLEX RECEPTACLE - GROUND TYPE +12" TO CENTER U.N.O
- ⊕ GFCI DUPLEX RECEPTACLE WITH GROUND FAULT CIRCUIT INTERRUPTER
- ⊕ AFCI DUPLEX RECEPTACLE WITH ARC FAULT CIRCUIT INTERRUPTER
- ⊕ WALL MOUNTED LIGHT FIXTURE
- F — FLUORESCENT STRIP LIGHT
- ◀ TELEPHONE OUTLET
- ⊙ PENDANT LIGHT FIXTURE
- ⊕ SINGLE SWITCH POLE +42" TO CENTER U.N.O
- ⊕ SD SMOKE DETECTOR - CEILING MOUNTED
- ⊕ VOLUME CONTROL FOR SURROUND SOUND SYSTEM
- ⊕ SP SPEAKER FOR SURROUND SOUND SYSTEM
- ⊕ F ELECTRIC VENTILATION FAN

NOTES

SMOKE DETECTORS SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING WIRING AND BE EQUIPPED WITH A BATTERY BACKUP.

PROVIDE ELECTRICAL OUTLETS EVERY 12'-0" MAX. IN ROOMS.

PROVIDE AT LEAST ONE RECEPTACLE IN BATHROOM ADJACENT TO THE BASIN; IN GARAGE OUTDOORS, WITHIN 6'-6" OF GRADE. SUCH RECEPTACLES SHALL HAVE GROUND FAULT CIRCUIT INTERRUPTER PROTECTION.

PROJECT TITLE:
MAKINENI Townhomes
NEW CONSTRUCTION
3,117 Temple Avenue
Loma Blanca, CA 95030

design*21
4240 VIA MARINA #14
MIRAMAR DEL REY, CA 90230
TEL: 714.712.7600

Date: September 27, 2006
Scale: 1/4" = 1'-0"
Drawn: L.E.
Job:
Sheet:
E1 of 4 Sheet

REVISIONS	BY
10-08-05	LE

SHEET CONTENTS:
LANDSCAPE PLAN
PACKAGE NAME:
CONSTRUCTION DOCUMENTS

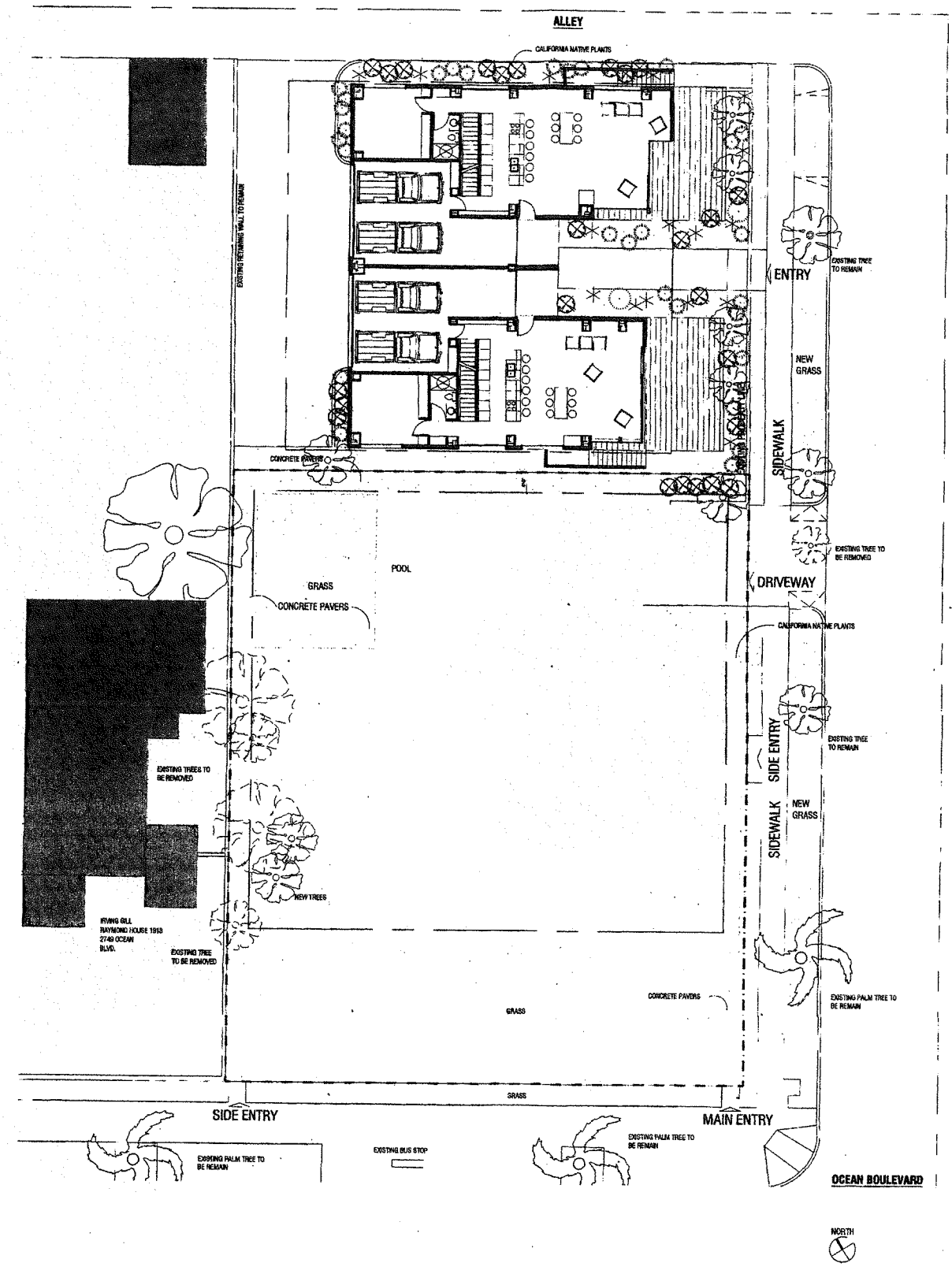
ALL PLANT MATERIAL SPECIFICATIONS ARE BASED ON THE CALIFORNIA PLANT HARDINESS ZONE 9B UNLESS OTHERWISE NOTED. THE CLIENT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE, AND FEDERAL AUTHORITIES. THE CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS OF THE JOB AND THE QUALITY OF THE MATERIALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING TREES AND PLANTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING TREES AND PLANTS.



PROJECT TITLE:
MAKINENI Townhomes
NEW CONSTRUCTION
9, 11 Temple Avenue
Loma Beach, CA 90603

design *21
4240 VIA MARINA #14
MARINA DEL REY, CA 90292
TEL / FAX 310 574 8805

Date: September 27, 2006
Scale: 1/4" = 1'-0"
Drawn: L.E.
Job:
Sheet:
L1 of 1 Sheets



LANDSCAPE SCHEDULE

☉	Oenothera speciosa	Mexican Prime Rose	1.gal	Evergreen Flowering	6'-12"ht
☼	Salvia greggii	Autumn Sage	5.gal	Deep Pink Flowering	3'-3'
☼	Leymus condensatus	Elymus, Giant Wink Rye	5.gal	Blue grey grass	
☼	Heteromeles arbutifolia	Toyon, California Holly	15.gal	Evergreen small Tree	
☉	Ceanothus arboreus	Catalina Ceanothus	5.gal	Evergreen shrub	Lavender flower

BOUNDARY AND TOPOGRAPHIC SURVEY

2767 E. OCEAN BOULEVARD - LONG BEACH, CA 90803
A.P.N. #: 7264-024-012
DATE OF SURVEY: 19 MARCH, 2004

LEGAL DESCRIPTION

LOTS 10 AND 11 OF THE RESUBDIVISION OF PART OF ALAMITOS BEACH TOWNSITE, IN THE CITY OF LONG BEACH, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 5 PAGE 55 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

LEGEND

- FF FINISHED FLOOR
- FL FLOW LINE
- FS FINISHED SURFACE
- NG NATURAL GROUND
- TC TOP OF CURB
- TG TOP OF GRATE
- TW TOP OF WALL

CHAINLINK/METAL FENCE

HARDSCAPE SURFACE
(CONCRETE, BRICK, TILE...)

CONCRETE WALL

NATURAL SURFACE
(GRASS, PLANTS, GRAVEL, DIRT...)

SPOT ELEVATION

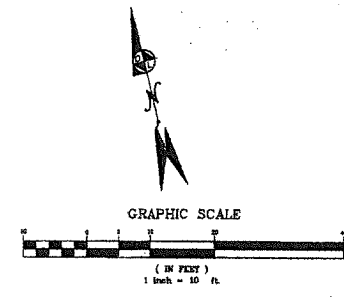
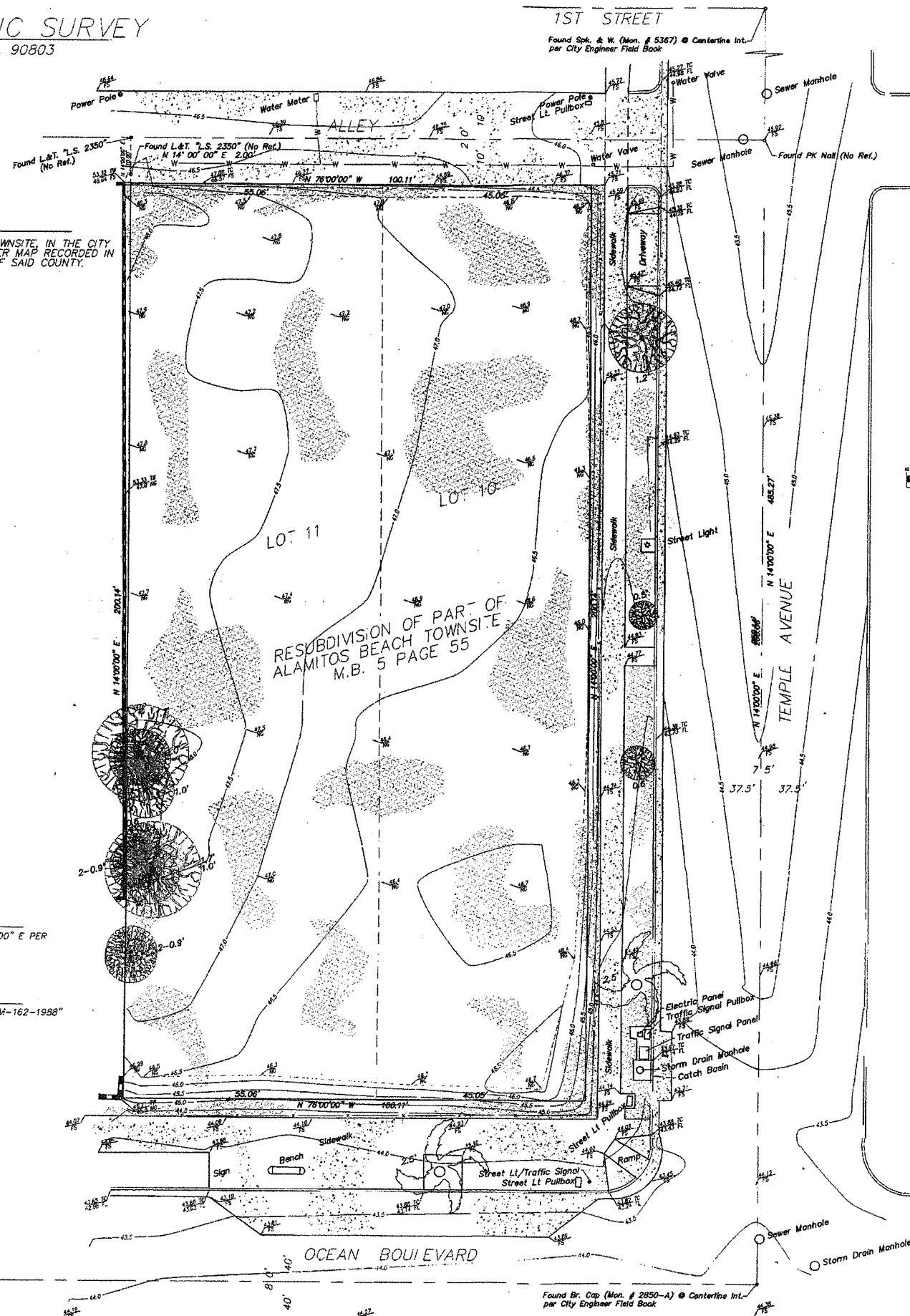
TREE

BASIS OF BEARINGS

THE CENTERLINE OF TEMPLE AVENUE, SHOWN AS HAVING A BEARING OF N 14° 00' 00" E PER M.B. 5-55, WAS USED AS THE BASIS OF BEARINGS FOR THIS MAP.

BENCHMARK

NW CORNER TEMPLE AND FIRST - BRASS DISK FLUSH WITH PAVEMENT STAMPED "CLB BM-162-1988"
8FT W/O CURB 2FT N/O CURB.
S.M. # 162 ELEVATION=46.92 FEET



THIS PLAN WAS PREPARED UNDER THE DIRECTION OF THE BELOW SIGNED LICENSED LAND SURVEYOR:

ROBERT G. MARTINEZ, L.S. 8966 DATE



PROFESSIONAL CIVIL ENGINEERING & LAND SURVEYING
1657 E. ORANGE GROVE
PASADENA, CA 91104
(626)791-3980 office/jaz

SHEET CONTENTS:
SITE PLAN + SITE INFORMATION

PACKAGE NAME:
CONSTRUCTION DOCUMENTS

ALL REAL, FINISH, ARRANGEMENTS AND PLANS INDICATED OR REFERENCED BY THIS DRAWING ARE OWNED BY AND ARE THE PROPERTY OF DESIGN BY AND SHALL REMAIN THE PROPERTY OF DESIGN BY AND SHALL BE USED ONLY FOR THE PROJECT AND SHALL NOT BE REPRODUCED OR COPIED IN ANY MANNER WITHOUT THE WRITTEN PERMISSION OF DESIGN BY. CONTRACTORS SHALL VERIFY AND BE RESPONSIBLE FOR ALL CONDITIONS AND CONDITIONS OF THE JOB AND THIS OFFICE MUST BE NOTICED OF ANY CHANGES FROM THE CONDITIONS AND CONDITIONS SHOWN BY THESE DRAWINGS. THIS DRAWING IS NOT TO BE USED FOR ANY OTHER PROJECT WITHOUT THE WRITTEN PERMISSION OF DESIGN BY.

PROJECT TITLE:
MAKINENI Townhomes
NEW CONSTRUCTION
9, 11 Temple Avenue
Lana Beach, CA 90803

design*21
4240 VIA MARINA #14
MARINA DEL REY, CA 90292
TEL / FAX 310 574 8805

Date September 27, 200
Scale 1/8" = 1'-0"
Drawn L.E.
Job
Sheet

PLANS APPROVED BY
CITY OF LONG BEACH
NOV 17 2005