
PINE AVENUE DESIGN GUIDELINES

INTRODUCTION

Pine Avenue is the historic main shopping street of downtown Long Beach. While the majority of its buildings date from the early 1900s, many of these buildings have since been remodeled with incompatible materials and textures, or simply covered over with signs unrelated to the style and scale of the original facade.

To a large extent, such "improvements" reflect the increasing dominance of the automobile as the mode of transport for the shopper. Storefronts designed to catch the eye of the motorist are often far larger and less subtle than those designed for the pedestrian, and often rely primarily on signs rather than display windows.

However, shopping malls in the region – including Long Beach Plaza – have led to the decline of Pine Avenue as a general-purpose retail center. Its future lies in specialized, smaller-scale retail; and, fortunately, many of the conditions desirable for specialty retail – intimate scale, continuous frontages, narrow storefronts, large display windows, closely spaced entrances – are precisely those provided by Pine Avenue in its original form.

These guidelines have been developed because a strong visual image is a key factor in establishing Pine Avenue as a viable specialty retail destination. Consistency in form, scale, and materials would enhance its image as a coherent district, rather than simply as a group of unrelated storefronts.

The following design guidelines for restoration, renovation, and new construction on Pine Avenue build on previous City documents, including the *Design Guidelines for Downtown Long Beach* (May 1980) and the *Downtown Long Beach Design Guidelines* (December 1987). Relevant parts of those documents have been incorporated into these guidelines. The Redevelopment Agency may, at its discretion, grant deviations from the guidelines, provided the proposed design is compatible with the desired architectural qualities embodied within the Pine Avenue Design for Development.

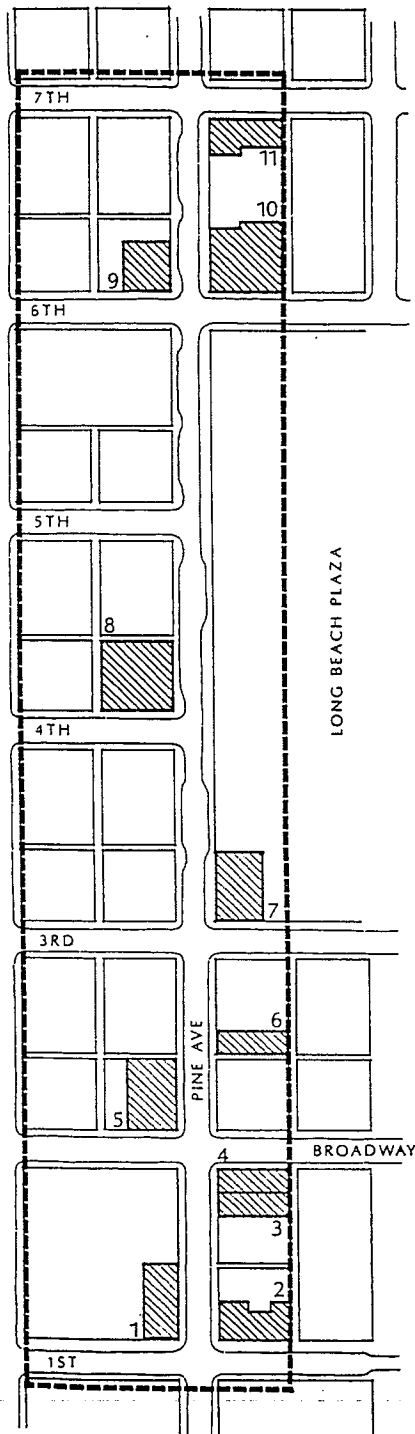


Figure 1. Dashed line indicates area subject to requirements. Buildings of architectural significance are shaded: 1. Enlow; 2. Security Pacific; 3. Mum's; 4. Leader Drugs; 5. Bradley; 6. Pacific Coast Club; 7. Farmers' & Merchants'; 8. Walker; 9. Thrifty; 10. Press Telegram; 11. Pacific. Whsle.

AREA SUBJECT TO REQUIREMENTS

While the focus of these guidelines is on properties with frontage on Pine Avenue from First to Seventh Streets, they also include the west frontage on Pacific Avenue. Many of the properties that front on Pine Avenue are large assemblages that extend all the way to Pacific.

Owners and developers of such parcels should recognize that: development on such parcels shall comply with these requirements to the same extent as parcels with their sole or primary frontage on Pine; and development on such parcels shall be designed so the project as a whole respects and complements the scale, proportions, and architectural details of Pine Avenue, and supports its role as a pedestrian-oriented shopping street.

These guidelines may also serve as the basis for evaluating specific projects outside the subject area, particularly those that involve buildings or contexts of architectural and/or historical merit.

DESIRABLE USES

Ground floor - Pine Avenue. Storefronts on Pine Avenue shall be as continuous as possible, in order to facilitate comparison-shopping and maintain visual interest. Retail* uses shall occupy at least 75% of the ground floor frontage of each building. No single or contiguous group of non-retail uses shall occupy more than 25 linear feet of ground floor frontage.

Ground floor - other frontages. Storefronts are also encouraged on the side streets between Pine and Pacific between Pine and The Promenade; these may house a broader range of customer-oriented uses, including personal and financial services.

Visible structured parking is prohibited as a ground floor use on side streets, and within 50' of corners on Pacific. It shall be considered as a ground floor use on Pacific on a case-by-case basis.

Upper floors. The presence of inhabited upper floors creates a sense of enclosure and security, and also

* We define 'retail' as the sale of goods, not services; restaurants, however, are considered a retail use.

increases the level of activity on Pine. New construction projects are encouraged to be built to the maximum heights prescribed by these guidelines. Live/work spaces, such as artists' lofts, are particularly encouraged for upper floors, as a source of both day and evening activity.

Visible structured parking is prohibited on Pine Avenue frontages. It shall be considered on a case-by-case basis as an upper floor use on other frontages, up to a maximum height of 50' (see Parking).

RESTORATION OF EXISTING BUILDINGS

To the extent possible, existing buildings with architectural significance shall be preserved and restored to their original condition. Such buildings are identified in Figure 1. Proposals to alter or demolish buildings with architectural significance shall be considered only after restoration has been investigated and determined to be infeasible. In order to make this determination; the owner shall undertake the following steps:

Determine the condition of the original building. While most buildings on Pine have undergone some remodeling or face lifting over the years, in many instances the original facades were not replaced, but merely covered over. If no conclusive evidence exists to prove the original facades have been destroyed or damaged beyond repair, the owner shall remove the non-original elements in order to assess the extent and condition of the original facades.

Determine the feasibility of restoring the original building. Some buildings may be in such poor condition that restoration is infeasible. Where the owner can show this to be the case, renovation or new construction consistent with these guidelines may be considered.

Restore original buildings where feasible. Restoration shall include removing non-original materials that do not enhance the original character; repairing or replacing damaged elements; and cleaning and/or refinishing the original materials.

RENOVATION AND NEW CONSTRUCTION

For renovation and new construction, the purpose of these guidelines is not to impose uniformity and eliminate variety. On the contrary, variety is encouraged as a source of visual interest and 'character'. However, the various styles and materials used should be compatible enough for Pine Avenue to be perceived as a coherent 'place' with a strong identity.

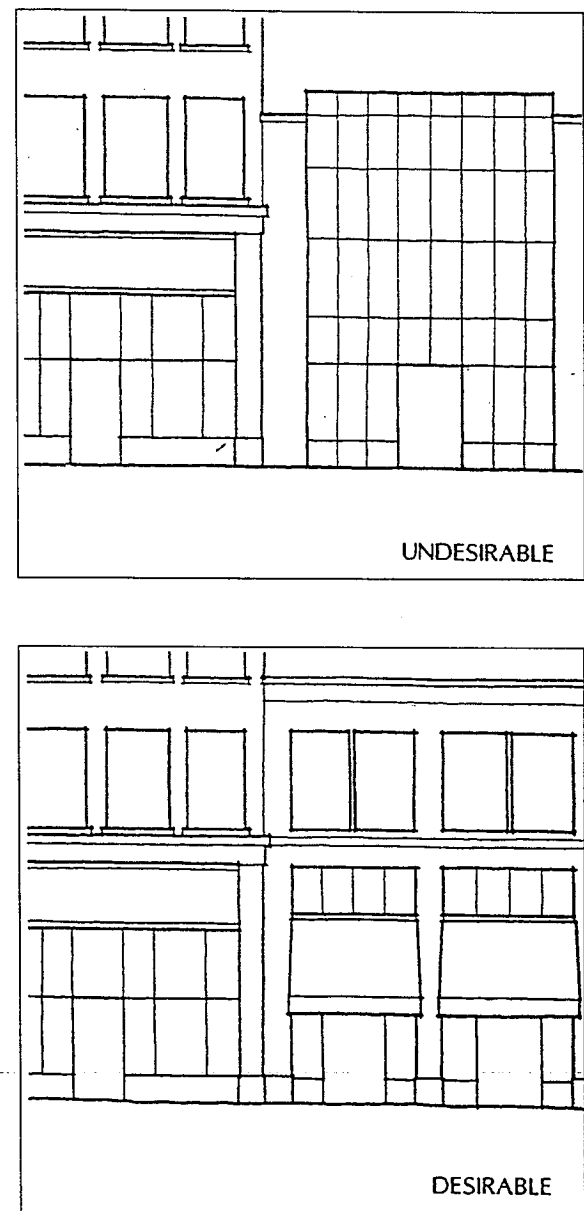


Figure 2. New and renovated buildings shall respect the style and proportions of existing facades.

Variety. Facade treatments along Pine are encouraged to change at intervals of no more than 100' of horizontal dimension.

Proportions. New and renovated buildings shall be designed to be compatible with the proportions established by the original buildings, particularly with respect to the heights of ground floors.

Horizontal elements. Many of the original facades on Pine feature strong horizontal elements, particularly at the line separating the ground floor from upper floors. New and renovated buildings shall align their major horizontal elements with those on adjacent buildings. When the elements on adjacent buildings do not align with each other, the new or renovated building shall be designed to provide a visual transition from one to the other.

Vertical elements. In general, vertical divisions of original facades at the ground floor correspond to the vertical divisions of upper floors. New and renovated buildings shall also conform to this principle.

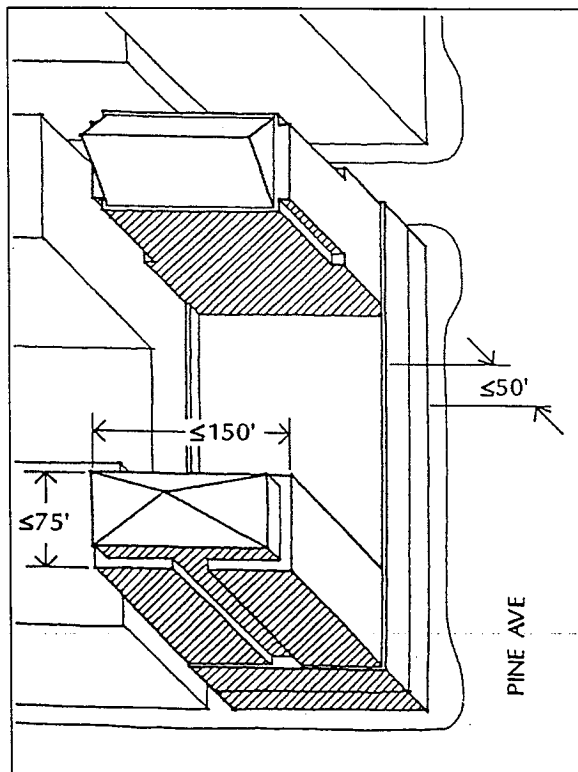


Figure 3. Maximum building height on Pine shall be 50', except within 100' of the corners.

Architectural style. For Pine Avenue to be a successful pedestrian-oriented shopping street, it must have a comfortable, intimate scale. Some of the fine detail of the original storefronts remains, and should be preserved, because they incorporate materials and workmanship which are no longer in common use.

New construction and renovation projects shall be designed to complement these details, but *not* to mimic or replicate them with present-day substitutes. Contemporary design is welcome as long as it respects the scale and proportions of existing buildings.

Building Form

Most buildings on Pine are one or two stories in height, although some larger buildings occur at corners. While the one-story buildings provide Pine with an intimate scale and an abundance of daylight, two- and three-story midblock buildings are preferable because they also create a sense of enclosure and security.

The larger corner buildings are desirable because they contribute activity to the street; give the street a stronger visual identity; and support higher levels of quality and amenity in new development.

Height. Within 150' of Pine Avenue, the maximum height of buildings shall be 50', except within 100' of the corners, where there shall be no height limit.

Bulk. Within 150' of Pine Avenue, those portions of corner buildings extending above 50' shall be no greater than 75' in width and 150' in depth.

Setbacks. All front and side setbacks within the subject area shall be 0', except front setbacks on Pacific Avenue shall be 10'. At least 2/3 of each facade within the first 50' of height must lie on the setback line. Setbacks and facade articulation above the first 50' of height are strongly encouraged.

Orientation. All major facade planes shall parallel the existing downtown street grid.

Building tops. The tower portion of a building should meet the skyline in a distinctive manner. Alternatives to flat roofs are strongly encouraged; however, the style, details, and materials used shall be consistent with the balance of the building.

Facades

The original building facades along Pine were designed as unified wholes; they were also extensively articulated, in order to create visual interest for the pedestrian

Surface detail. New and renovated buildings shall incorporate 3-dimensional elements, which break up the façade planes, and create a visual play of light and shadow. Such elements include cornices at the roofline and at the top of the ground floor; pilasters at corners and structural bays; and windows set into the wall surface. Ground floor facades shall be distinguished from upper floors by cornices, changes in material, and other architectural devices.

Windows. Windows in facades above the ground floor shall consist of discrete openings in the wall surface, rather than continuous areas of glass divided by mullions. Windows shall comprise from 30% to 50% of the surface area of facades above ground floors, and shall be recessed at least 3" from the exterior wall surface. Operable windows are encouraged.

Lighting. All exterior lighting shall be designed as an integral part of the building facade, in order to highlight architectural divisions, elements and details. Exposed standards and fixtures shall be harmonious with the building design and its visual environs. Lamps of exterior light fixtures shall not be visible to pedestrians.

Equipment. All mechanical equipment, including utility vaults, rooftop HVAC components, etc. shall be enclosed and screened from public view, including views from the upper floors of nearby buildings.

Storefronts

The ground floor storefront is the most important visual element of the façade. Other than those details, which integrate it with the balance of the facade, storefront does not require extensive decoration. The emphasis should be on the display windows and their contents.

Display windows. Storefronts in new and renovated buildings shall utilize display windows as the

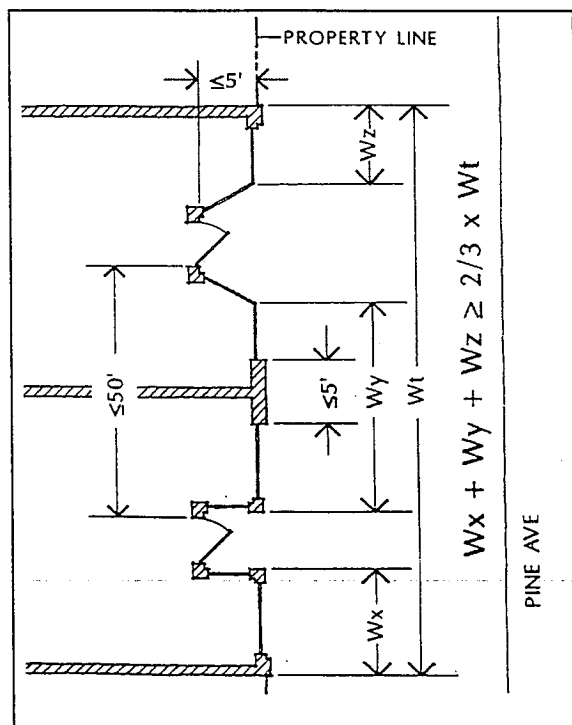


Figure 4. At least 2/3 of the Pine Avenue facade within the first 50' of height must have a zero setback.

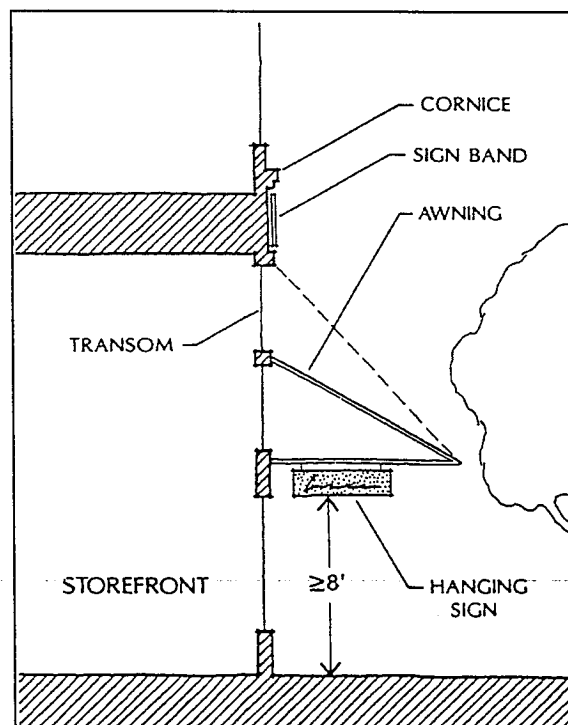


Figure 5a. Sign and awning placement shall respect major facade divisions.

Primary means of communication with the shopper, and they shall be designed as integral elements of their facades. Clear display windows shall comprise at least 2/3 of the horizontal dimension of ground floor facades on Pine. Wall sections on Pine without windows shall be no more than 5' in width.

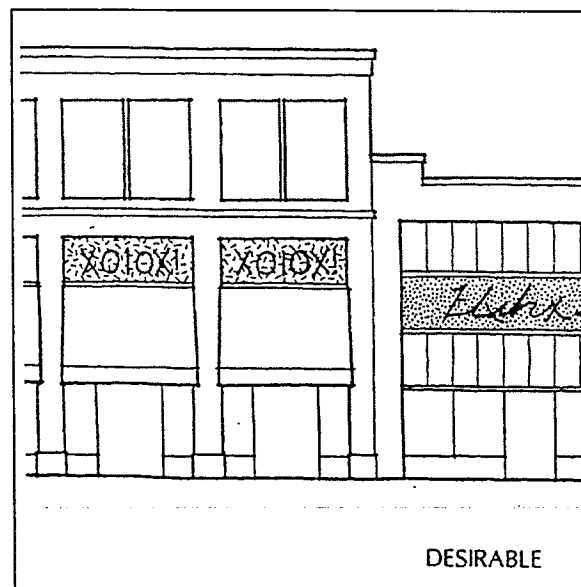
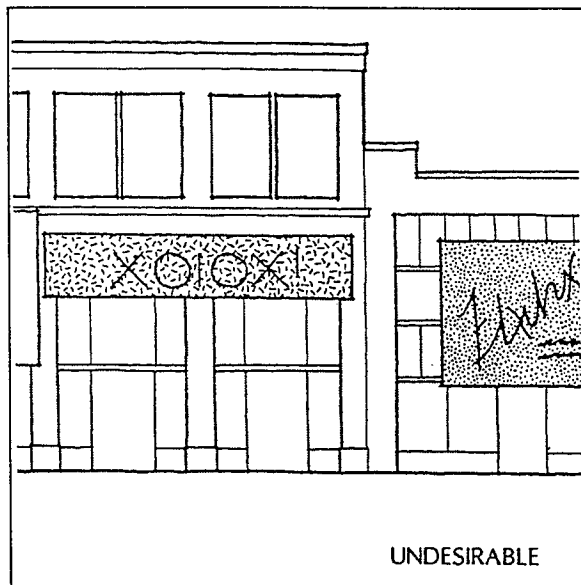


Figure 5b. Sign dimensions and placement shall respect major facade divisions.

Entrances. Entrances shall comprise no more than 1/3 of the horizontal dimension of ground floor facades on Pine, and shall be recessed no more than 5'. Entrances on Pine shall be located no more than 50' apart.

Security. Visible security devices located within the building interior are preferred.

Lighting. All exterior lighting shall be designed as an integral part of the building façade, to highlight architectural divisions, elements, and details. Exposed standards and fixtures shall be harmonious with the building design and its visual environs.

Signs and Awnings

Signs. Large signs are unnecessary on a pedestrian-oriented shopping street. Signs on or visible from Pine shall be designed primarily to address the pedestrian, and shall be located in places where pedestrians can easily read them. Window signs, wall signs at transom level, and projecting 'blade' or hanging signs are the types encouraged.

Sign dimension and placement shall conform to major horizontal and vertical façade divisions. Signs relating to ground floor uses shall not extend above the ground floor cornice line (or above the sills of second floor windows if no cornice exists).

Neon signs and externally illuminated signs are encouraged. Internally illuminated box signs are prohibited, as are flashing or blinking signs.

Awnings. Storefront awnings are encouraged: they provide sun and rain protection to pedestrians, and also make window displays more inviting by shielding them from the sun. However, awnings shall respect the architectural integrity of the facades on which they are placed. Awnings shall be placed below the ground floor cornice (or below the sills of second floor windows if no cornice exists), and shall be divided into sections to reflect major vertical divisions of the facade.

Only fabric or clear glass awnings shall be permitted; metal and other opaque rigid materials are prohibited. Fabric awnings shall be tautly stretched over a frame, and of simple geometric forms and solid colors.

Materials and Colors

The dominant colors along Pine in the past were the natural hues of brick and terra cotta, combined with clear float glass in wood and metal frames. The limited color range gave the street a visual coherence, while the subtle variations in the materials gave surfaces a warmth not found in painted surfaces.

Materials. Exterior materials shall convey quality, durability and permanence, and shall complement the original building facades. Masonry, terra cotta, and stone are preferable materials, although high quality precast concrete is acceptable. Stucco is acceptable for facades above the ground floor *only* and *only* if finely textured and detailed. All glass shall be clear or lightly tinted.

Prohibited materials include reflective, heavily tinted or opaque glass; plywood; plastics; fiberglass; wood or asphalt shingles; stucco or concrete with coarse or decorative textures; and all imitation materials.

Colors. Masonry, stone and concrete shall be used in their natural colors on major building surfaces. Stucco and terra cotta shall have integral color in warm, muted earth tones. Brightly colored paint and/or glazed tile shall be limited to accents, which comprise no more than 15% of any facade.

Plazas and Open Space

Because Pine Avenue is intended to be an active, continuous retail street, large open spaces are undesirable. In general, small plazas on Pine shall not exceed 25' in width, and shall be defined on at least 3 sides by buildings, walls, or landscaping. Plazas 25'-50' in width shall be considered on a case-by-case basis, but only if they are surrounded on three sides by ground floor retail uses.

Alleys

Deliveries, trash pickups, and other services shall occur on the north-south alleys, not on the street frontages. New construction and renovation projects shall be designed to facilitate those services on the alleys. Projects occupying whole blocks may eliminate alleys only if they provide an equivalent means of mid-block servicing.

Public Art

Public art shall be integrated into the design of each new construction project, and any renovation project costing over \$500,000. A minimum of 1% of total development costs shall be expended for public art.