

REAL PROPERTIES INVENTORY SPREADSHEET

Property Type	Permissible Use	Permissible Use Detail	HSC 34191.5 (c)(1)(A)				SALE OF PROPERTY		Purpose for which property was acquired	Council District	HSC 34191.5 (c)(1)(c)				Estimate of Current Parcel Value	Estimate of Income/Revenue	Contractual requirements for use of income/revenue	History of environmental contamination/studies/remediation & designation as a brownfield site	Transit Oriented Dev. Potential (High/Med/Low)	Potential to Advance Planning Objectives (High/Med/Low)	History of Previous Development Proposals (Please refer to the page number noted below in the text of the LRMP)	
			Acquisition Date	Value at Time of Purchase	Estimated Current Value	Value Basis	Date of Estimated Current Value	Proposed Sale Value			Proposed Sale Date	HSC 34191.5 (c)(1)(B)	Address	APN								Lot Size
GOVERNMENT USE																						
Admiral Kidd Park Expansion																						
130	Industrial Lot	GU	Department of Finance approved Oversight Board action OB 12-2014 transferring this property to the City																			
Expo Community Center																						
131	Parking Lot	GU	9/29/2008	\$968,050	\$ 598,500	Appraisal	10/11/12	N/A	N/A	North Long Beach Strategic Guide for Redevelopment	8	4325 Altantic Ave.	7139-001-900	8,130	LBCNP	\$ 598,500	N/A	N/A	Ph. I - Clean	High	High	N/A
132	Commercial (Bldg)	GU	9/29/2008	\$3,057,000	\$ 1,890,000	Appraisal	10/11/12	N/A	N/A	North Long Beach Strategic Guide for Redevelopment	8	4321 Altantic Ave.	7139-001-901	24,390	LBCNP	\$ 1,890,000	\$1/Annually	None	Ph. I - Clean	High	High	N/A
133	Parking Lot	GU	9/29/2008	\$1,069,950	\$ 661,500	Appraisal	10/11/12	N/A	N/A	North Long Beach Strategic Guide for Redevelopment	8	4360 Linden Ave.	7139-001-902	8,450	LBR1N	\$ 661,500	N/A	N/A	Ph. I - Clean	High	High	N/A
Del Amo/Oregon Park																						
134	Park	GU	12/18/2008	\$5,100,000	\$ 3,000,000	Appraisal	10/11/12	N/A	N/A	Open Space & Recreation Element of General Plan and Green Vision Plan	8	4951 Oregon Ave.	7133-018-900	143,748	LBI	\$ 3,000,000	N/A	N/A	Ph. I - Clean	N/A	High	N/A
Davenport Park Expansion																						
	Park	GU	9/15/2006	\$3,850,000	\$ 985,000	Appraisal	10/11/12	N/A	N/A	Open Space & Recreation Element of General Plan & Green Vision Plan	8	5550 N. Paramount Blvd.	7157-006-905	196,960	LBRM	\$ 985,000	N/A	N/A	Cleared depending on site use	N/A	High	N/A
Neighborhood Public Parking Lot																						
139	Parking Lot	GU	12/28/2004	\$60,000	\$ 94,400	Appraisal	10/11/12	N/A	N/A	North Long Beach Strategic Guide for Redevelopment	8	5722 Linden Ave.	7127-007-900	4,700	LBCCA	\$ 94,400	N/A	N/A	Ph. I - Clean	High	High	N/A
140	Parking Lot	GU	4/21/2005	\$372,000	\$ 106,200	Appraisal	10/11/12	N/A	N/A	North Long Beach Strategic Guide for Redevelopment	8	5730 Linden Ave.	7127-007-901	5,288	LBCCA	\$ 106,200	N/A	N/A	Ph. I - Clean	High	High	N/A
141	Parking Lot	GU	7/5/2007	\$330,000	\$ 94,400	Appraisal	10/11/12	N/A	N/A	North Long Beach Strategic Guide for Redevelopment	8	510 E. South St.	7127-007-903	4,700	LBCCA	\$ 94,400	N/A	N/A	Ph. I - Clean	High	High	N/A
Fire Station #12																						
142	Public Building	GU	Department of Finance approved Oversight Board action OB 11-2014 transferring this property to the City																			
North Village Library																						
143	Commercial (Bldg)	GU	5/31/2005	\$728,000	\$ 452,900	Appraisal	10/11/12	N/A	N/A	North Long Beach Strategic Guide for Redevelopment & North Village Plan/EIR	9	5870 Atlantic Ave.	7124-032-900	23,287	LBCNA	\$ 452,900	\$1,120/Month	None	Ph. I - Clean	High	High	N/A
144	Parking Lot	GU	5/31/2005	\$143,000	\$ 89,420	Appraisal	10/11/12	N/A	N/A	North Long Beach Strategic Guide for Redevelopment & North Village Plan/EIR	9	5870 Atlantic Ave. Adjacent	7124-032-901	4,600	LBCNA	\$ 89,420	N/A	N/A	Ph. I - Clean	N/A	High	N/A
145	Parking Lot	GU	5/31/2005	\$143,000	\$ 89,420	Appraisal	10/11/12	N/A	N/A	North Long Beach Strategic Guide for Redevelopment & North Village Plan/EIR	9	5870 Atlantic Ave. Adjacent	7124-032-902	4,600	LBCNA	\$ 89,420	N/A	N/A	Ph. I - Clean	N/A	High	N/A
146	Parking Lot	GU	5/31/2005	\$143,000	\$ 89,420	Appraisal	10/11/12	N/A	N/A	North Long Beach Strategic Guide for Redevelopment & North Village Plan/EIR	9	5870 Atlantic Ave. Adjacent	7124-032-903	4,600	LBCNA	\$ 89,420	N/A	N/A	Ph. I - Clean	High	High	N/A

REAL PROPERTIES INVENTORY SPREADSHEET

	Property Type	HSC 34191.5 (c)(2)		HSC 34191.5 (c)(1)(A)				SALE OF PROPERTY		HSC 34191.5 (c)(1)(B)				HSC 34191.5 (c)(1)(c)				HSC 34191.5 (c)(1)(D)	HSC 34191.5 (c)(1)(E)		HSC 34191.5 (c)(1)(E)	HSC 34191.5 (c)(1)(G)		HSC 34191.5 (c)(1)(H)
		Permissible Use	Permissible Use Detail	Acquisition Date	Value at Time of Purchase	Estimated Current Value	Value Basis	Date of Estimated Current Value	Proposed Sale Value	Proposed Sale Date	Purpose for which property was acquired	Council District	Address	APN	Lot Size	Current Zoning	Estimate of Current Parcel Value	Estimate of Income/Revenue	Contractual requirements for use of income/revenue	History of environmental contamination/studies/remediation & designation as a brownfields site	Transit Oriented Dev. Potential (High/Med/Low)	Potential to Advance Planning Objectives (High/Med/Low)	History of Previous Development Proposals (Please refer to the page number noted below in the text of the LRMP)	
147	Parking Lot	GU		5/31/2005	\$143,000	\$ 89,420	Appraisal	10/11/12	N/A	N/A	North Long Beach Strategic Guide for Redevelopment & North Village Plan/EIR	9	5870 Atlantic Ave. Adjacent	7124-032-904	4,600	LBCNA	\$ 89,420	N/A	N/A	Ph. I - Clean	High	High	N/A	
148	Commercial	GU		5/31/2005	\$415,000	\$ 89,420	Appraisal	10/11/12	N/A	N/A	North Long Beach Strategic Guide for Redevelopment & North Village Plan/EIR	9	5834 Atlantic Ave.	7124-032-905	4,600	LBCNA	\$ 89,420	N/A	N/A	Ph. I - Clean	High	High	N/A	
149	Lot/Land	GU		5/18/2005	\$417,900	\$ 96,280	Appraisal	10/11/12	N/A	N/A	North Long Beach Strategic Guide for Redevelopment & North Village Plan/EIR	9	5865 Lime Ave.	7124-032-906	4,800	LBR2N	\$ 96,280	N/A	N/A	Ph. I - Clean	High	High	N/A	
150	Lot/Land	GU		6/6/2005	\$380,100	\$ 96,280	Appraisal	10/11/12	N/A	N/A	North Long Beach Strategic Guide for Redevelopment & North Village Plan/EIR	9	5861 Lime Ave.	7124-032-907	4,800	LBR2N	\$ 96,280	N/A	N/A	Ph. I - Clean	High	High	N/A	
151	Lot/Land	GU		5/31/2005	\$440,000	\$ 96,280	Appraisal	10/11/12	N/A	N/A	North Long Beach Strategic Guide for Redevelopment & North Village Plan/EIR	9	5853 Lime Ave.	7124-032-908	4,800	LBR2N	\$ 96,280	N/A	N/A	Ph. I - Clean	High	High	N/A	
152	Lot/Land	GU		5/11/2005	\$450,000	\$ 96,280	Appraisal	10/11/12	N/A	N/A	North Long Beach Strategic Guide for Redevelopment & North Village Plan/EIR	9	5821 Lime Ave.	7124-032-909	4,800	LBR2N	\$ 96,280	N/A	N/A	Ph. I - Clean	High	High	N/A	
153	Lot/Land	GU		6/10/2005	\$400,000	\$ 96,280	Appraisal	10/11/12	N/A	N/A	North Long Beach Strategic Guide for Redevelopment & North Village Plan/EIR	9	5833 Lime Ave.	7124-032-910	4,800	LBR2N	\$ 96,280	N/A	N/A	Ph. I - Clean	High	High	N/A	
154	Lot/Land	GU		6/22/2005	\$390,000	\$ 96,280	Appraisal	10/11/12	N/A	N/A	North Long Beach Strategic Guide for Redevelopment & North Village Plan/EIR	9	5873 Lime Ave.	7124-032-911	4,800	LBR2N	\$ 96,280	N/A	N/A	Ph. I - Clean	High	High	N/A	
155	Lot/Land	GU		9/30/2005	\$454,000	\$ 100,920	Appraisal	10/11/12	N/A	N/A	North Long Beach Strategic Guide for Redevelopment & North Village Plan/EIR	9	5895 Lime Ave.	7124-032-912	5,100	LBR2N	\$ 100,920	N/A	N/A	Ph. I - Clean	High	High	N/A	
156	Lot/Land	GU		10/5/2005	\$440,000	\$ 96,280	Appraisal	10/11/12	N/A	N/A	North Long Beach Strategic Guide for Redevelopment & North Village Plan/EIR	9	5849 Lime Ave.	7124-032-913	4,800	LBR2N	\$ 96,280	N/A	N/A	Ph. I - Clean	High	High	N/A	
157	Lot/Land	GU		12/21/2005	\$440,000	\$ 96,280	Appraisal	10/11/12	N/A	N/A	North Long Beach Strategic Guide for Redevelopment & North Village Plan/EIR	9	5885 Lime Ave.	7124-032-914	4,800	LBR2N	\$ 96,280	N/A	N/A	Ph. I - Clean	High	High	N/A	
158	Lot/Land	GU		1/11/2006	\$500,000	\$ 96,280	Appraisal	10/11/12	N/A	N/A	North Long Beach Strategic Guide for Redevelopment & North Village Plan/EIR	9	5881 Lime Ave.	7124-032-915	4,800	LBR2N	\$ 96,280	N/A	N/A	Ph. I - Clean	High	High	N/A	
159	Lot/Land	GU		8/23/2006	\$450,000	\$ 96,280	Appraisal	10/11/12	N/A	N/A	North Long Beach Strategic Guide for Redevelopment & North Village Plan/EIR	9	5837 Lime Ave.	7124-032-917	4,800	LBR2N	\$ 96,280	N/A	N/A	Ph. I - Clean	High	High	N/A	
160	Lot/Land	GU		8/8/2007	\$645,000	\$ 96,280	Appraisal	10/11/12	N/A	N/A	North Long Beach Strategic Guide for Redevelopment & North Village Plan/EIR	9	5841 Lime Ave.	7124-032-918	4,800	LBR2N	\$ 96,280	N/A	N/A	Ph. I - Clean	High	High	N/A	

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	Permissible Use	Permissible Use Detail	Acquisition Date	Value at Time of Purchase	Estimated Current Value	Value Basis	Date of Estimated Current Value	Proposed Sale Value	Proposed Sale Date	Purpose for which property was acquired	Council District	Address	APN	Lot Size	Current Zoning	Estimate of Current Parcel Value	Estimate of Income/Revenue	Contractual requirements for use of income/revenue	History of environmental contamination/studies/remediation & designation as a brownfield site	Transit Oriented Dev. Potential (High/Med/Low)	Potential to Advance Planning Objectives (High/Med/Low)	History of Previous Development Proposals (Please refer to the page number noted below in the text of the LRMF)
FUTURE DEVELOPMENT																						
4800 Long Beach Blvd. Development																						
161	Lot/Land	FD	11/2/2007	\$270,400	\$ 67,550	Appraisal	10/11/12	TBD (a)	TBD	North Long Beach Strategic Guide for Redevelopment	8	4800 Long Beach Blvd.	7133-010-900	3,740	LBCCA	\$ 67,550	N/A	N/A	Ph. II - Cleared	High	High	N/A
162	Lot/Land	FD	11/2/2007	\$769,600	\$ 212,300	Appraisal	10/11/12	TBD (a)	TBD	North Long Beach Strategic Guide for Redevelopment	8	4810 Long Beach Blvd	7133-010-901	10,465	LBCCA	\$ 212,300	N/A	N/A	Ph. II - Cleared	High	High	N/A
163	Lot/Land	FD	11/19/2007	\$1,040,000	\$ 241,250	Appraisal	10/11/12	TBD	TBD	North Long Beach Strategic Guide for Redevelopment	8	4856 Long Beach Blvd	7133-010-902	11,936	LBCCA	\$ 241,250	N/A	N/A	Ph. I - Clean	High	High	N/A
164	Lot/Land	FD	9/11/2007	\$1,540,001	\$ 270,200	Appraisal	10/11/12	TBD	TBD	North Long Beach Strategic Guide for Redevelopment	8	4870 Long Beach Blvd	7133-010-903	13,407	LBCCA	\$ 270,200	N/A	N/A	Ph. II - Cleared	High	High	N/A
165	Lot/Land	FD	7/19/2007	\$3,000,000	\$ 173,700	Appraisal	10/11/12	TBD	TBD	North Long Beach Strategic Guide for Redevelopment	8	4860 Long Beach Blvd	7133-010-904	8,579	LBCCA	\$ 173,700	N/A	N/A	Ph. I - Clean	High	High	N/A
5100 Long Beach Blvd. Development																						
166	Lot/Land	FD	2/1/2006	\$780,000	\$ 285,600	Appraisal	10/11/12	TBD (a)	TBD	North Long Beach Strategic Guide for Redevelopment	8	5101 Cedar Ave.	7131-032-900	11,906	LBR1N	\$ 285,600	N/A	N/A	Ph. I - Clean	High	High	67-68
167	Lot/Land	FD	6/14/2007	\$935,000	\$ 176,800	Appraisal	10/11/12	TBD (a)	TBD	North Long Beach Strategic Guide for Redevelopment	8	5098 Long Beach Blvd	7131-032-905	6,990	LBCCA	\$ 176,800	N/A	N/A	Ph. I - Clean	High	High	67-68
	Lot/Land	FD	9/11/2009	\$520,444	\$ 253,000	Appraisal	10/11/12	TBD	TBD	North Long Beach Strategic Guide for Redevelopment	8	5100 Adjacent	7131-032-908	3,690	LBCCA	\$ 253,000	N/A	N/A	Ph. II - Cleared	High	High	67-68
169	Lot/Land	FD	9/12/2006	\$1,425,000	\$ 462,400	Appraisal	10/11/12	TBD	TBD	North Long Beach Strategic Guide for Redevelopment	8	5060 Long Beach Blvd	7131-032-909	18,260	LBCCA	\$ 462,400	N/A	N/A	Ph. I - Clean	High	High	67-68
170	Lot/Land	FD	9/13/2007	\$1,301,000	\$ 435,200	Appraisal	10/11/12	TBD (a)	TBD	North Long Beach Strategic Guide for Redevelopment	8	5096 Long Beach Blvd	7131-032-910	17,280	LBCCA	\$ 435,200	N/A	N/A	Ph. I - Clean	High	High	67-68
171	Lot/Land	FD	9/11/2009	\$1,742,356	\$ 897,000	Appraisal	10/11/12	TBD	TBD	North Long Beach Strategic Guide for Redevelopment	8	5100 Long Beach Blvd	7131-032-911	12,760	LBCCA	\$ 897,000	N/A	N/A	Ph II - Cleared	High	High	67-68
172	Residential	FD	3/24/2011	\$166,170	\$ 251,247	Online Real Estate Estimate	1/7/15	TBD	TBD	North Long Beach Strategic Guide for Redevelopment	8	34 E. Sunset St.	7131-032-912	3,890	LBR1N	\$ 251,247	N/A	N/A	Ph. I - Clean	High	High	67-68
173	Residential	FD	3/24/2011	\$24,830	\$ 48,753	Online Real Estate Estimate	1/7/15	TBD	TBD	North Long Beach Strategic Guide for Redevelopment	8	34 E. Sunset St.	7131-032-913	600	LBR1N	\$ 48,753	N/A	N/A	Ph. I - Clean	High	High	67-68
North Village Development - Block A & B																						
174	Lot/Land	FD	5/27/2005	\$925,000	\$ 93,750	Appraisal	10/11/12	TBD	TBD	North Long Beach Strategic Guide for Redevelopment & North Village Plan/EIR	8	5705 Lime Ave.	7127-006-902	4,700	LBR3S	\$ 93,750	N/A	N/A	Ph. I - Clean	High	High	N/A
175	Lot/Land	FD	7/19/2005	\$435,000	\$ 93,750	Appraisal	10/11/12	TBD	TBD	North Long Beach Strategic Guide for Redevelopment & North Village Plan/EIR	8	5715 Lime Ave.	7127-006-903	4,700	LBR3S	\$ 93,750	N/A	N/A	Ph. I - Clean	High	High	N/A
176	Lot/Land	FD	9/12/2006	\$730,000	\$ 93,750	Appraisal	10/11/12	TBD	TBD	North Long Beach Strategic Guide for Redevelopment & North Village Plan/EIR	8	5709 Lime Ave.	7127-006-905	4,700	LBR3S	\$ 93,750	N/A	N/A	Ph. I - Clean	High	High	N/A
177	Lot/Land	FD	10/31/2007	\$830,000	\$ 93,750	Appraisal	10/11/12	TBD	TBD	North Long Beach Strategic Guide for Redevelopment & North Village Plan/EIR	8	5721 Lime Ave.	7127-006-906	4,700	LBR3S	\$ 93,750	N/A	N/A	Ph. I - Clean	High	High	N/A
	Commercial (Bldg)	FD	1/2/2008	\$1,150,250	\$ 475,000	Appraisal	10/11/12	TBD	TBD	North Long Beach Strategic Guide for Redevelopment & North Village Plan/EIR	8	620 E. South St.	7127-006-907	10,575	LBCCA	\$ 475,000	\$1100/Monthly (combined)	N/A	Ph. I - Clean	High	High	N/A

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	Permissible Use	Permissible Use Detail	Acquisition Date	Value at Time of Purchase	Estimated Current Value	Value Basis	Date of Estimated Current Value	Proposed Sale Value	Proposed Sale Date	Purpose for which property was acquired	Council District	Address	APN	Lot Size	Current Zoning	Estimate of Current Parcel Value	Estimate of Income/Revenue	Contractual requirements for use of income/revenue	History of environmental contamination/studies/remediation & designation as a brownfield site	Transit Oriented Dev. Potential (High/Med/Low)	Potential to Advance Planning Objectives (High/Med/Low)	History of Previous Development Proposals (Please refer to the page number noted below in the text of the LRMP)		
North Village Development - Block C																								
179	Lot/Land	FD	6/8/2004	\$307,125	\$ 107,400	Appraisal	10/11/12	TBD	TBD		North Long Beach Strategic Guide for Redevelopment & North Village Plan/EIR	9	5893 Atlantic Ave.	7125-033-900	4,888	LBCNA	\$ 107,400	N/A	N/A	Ph. I - Clean	High	High	N/A	
180	Lot/Land	FD	5/11/2005	\$610,000	\$ 107,400	Appraisal	10/11/12	TBD	TBD		North Long Beach Strategic Guide for Redevelopment & North Village Plan/EIR	9	5887 Atlantic Ave.	7125-033-901	4,600	LBCNA	\$ 107,400	N/A	N/A	Ph II - Cleared	High	High	N/A	
181	Lot/Land	FD	5/11/2005	\$350,000	\$ 107,400	Appraisal	10/11/12	TBD	TBD		North Long Beach Strategic Guide for Redevelopment & North Village Plan/EIR	9	5855 Atlantic Ave.	7125-033-902	4,600	LBCNA	\$ 107,400	N/A	N/A	Ph. I - Clean	High	High	N/A	
182	Lot/Land	FD	5/11/2005	\$740,000	\$ 196,900	Appraisal	10/11/12	TBD	TBD		North Long Beach Strategic Guide for Redevelopment & North Village Plan/EIR	9	5845 Atlantic Ave.	7125-033-903	9,200	LBCNA	\$ 196,900	N/A	N/A	Ph II - Cleared	High	High	N/A	
183	Lot/Land	FD	9/23/2005	\$333,200	\$ 107,400	Appraisal	10/11/12	TBD	TBD		North Long Beach Strategic Guide for Redevelopment & North Village Plan/EIR	9	5835 Atlantic Ave.	7125-033-904	4,576	LBCNA	\$ 107,400	N/A	N/A	Ph. I - Clean	High	High	N/A	
	Lot/Land	FD	12/7/2005	\$585,000	\$ 96,280	Appraisal	10/11/12	TBD	TBD		North Long Beach Strategic Guide for Redevelopment & North Village Plan/EIR	9	5844 Linden Ave.	7125-033-905	4,800	LBR3T	\$ 96,280	N/A	N/A	Ph. I - Clean	High	High	N/A	
185	Lot/Land	FD	1/4/2006	\$560,000	\$ 89,500	Appraisal	10/11/12	TBD	TBD		North Long Beach Strategic Guide for Redevelopment & North Village Plan/EIR	9	501 E. South St.	7125-033-906	4,400	LBCCA	\$ 89,500	N/A	N/A	Ph. I - Clean	High	High	N/A	
186	Lot/Land	FD	1/25/2006	\$577,000	\$ 96,280	Appraisal	10/11/12	TBD (a)	TBD		North Long Beach Strategic Guide for Redevelopment & North Village Plan/EIR	9	5850 Linden Ave.	7125-033-907	4,800	LBR3T	\$ 96,280	N/A	N/A	Ph. I - Clean	High	High	N/A	
187	Lot/Land	FD	1/26/2006	\$1,475,000	\$ 447,500	Appraisal	10/11/12	TBD	TBD		North Long Beach Strategic Guide for Redevelopment & North Village Plan/EIR	9	5801 Atlantic Ave.	7125-033-908	21,450	LBCCA	\$ 447,500	N/A	N/A	Ph. II - Cleared	High	High	N/A	
188	Lot/Land	FD	2/1/2006	\$938,000	\$ 196,900	Appraisal	10/11/12	TBD (a)	TBD		North Long Beach Strategic Guide for Redevelopment & North Village Plan/EIR	9	5869 Atlantic Ave.	7125-033-909	9,224	LBCNA	\$ 196,900	N/A	N/A	Ph. I - Clean	High	High	N/A	
189	Lot/Land	FD	2/1/2006	\$462,000	\$ 107,400	Appraisal	10/11/12	TBD (a)	TBD		North Long Beach Strategic Guide for Redevelopment & North Village Plan/EIR	9	5875 Atlantic Ave.	7125-033-910	4,600	LBCNA	\$ 107,400	N/A	N/A	Ph. I - Clean	High	High	N/A	
190	Lot/Land	FD	2/7/2006	\$432,500	\$ 96,280	Appraisal	10/11/12	TBD (a)	TBD		North Long Beach Strategic Guide for Redevelopment & North Village Plan/EIR	9	5886 Linden Ave.	7125-033-911	4,800	LBR3T	\$ 96,280	N/A	N/A	Ph. I - Clean	High	High	N/A	
191	Lot/Land	FD	2/7/2006	\$432,500	\$ 96,280	Appraisal	10/11/12	TBD (a)	TBD		North Long Beach Strategic Guide for Redevelopment & North Village Plan/EIR	9	5878 Linden Ave.	7125-033-912	4,800	LBR3T	\$ 96,280	N/A	N/A	Ph. I - Clean	High	High	N/A	
192	Lot/Land	FD	3/7/2006	\$450,000	\$ 96,280	Appraisal	10/11/12	TBD (a)	TBD		North Long Beach Strategic Guide for Redevelopment & North Village Plan/EIR	9	5826 Linden Ave.	7125-033-913	4,800	LBR3T	\$ 96,280	N/A	N/A	Ph. I - Clean	High	High	N/A	
193	Lot/Land	FD	3/9/2006	\$590,000	\$ 96,280	Appraisal	10/11/12	TBD (a)	TBD		North Long Beach Strategic Guide for Redevelopment & North Village Plan/EIR	9	5852 Linden Ave.	7125-033-914	4,800	LBR3T	\$ 96,280	N/A	N/A	Ph. I - Clean	High	High	N/A	
194	Lot/Land	FD	3/28/2006	\$745,000	\$ 96,280	Appraisal	10/11/12	TBD (a)	TBD		North Long Beach Strategic Guide for Redevelopment & North Village Plan/EIR	9	5836 Linden Ave.	7125-033-915	4,800	LBR3T	\$ 96,280	N/A	N/A	Ph. I - Clean	High	High	N/A	

REAL PROPERTIES INVENTORY SPREADSHEET

	HSC 34191.5 (c)(2)		HSC 34191.5 (c)(1)(A)					SALE OF PROPERTY		HSC 34191.5 (c)(1)(B)		HSC 34191.5 (c)(1)(c)				HSC 34191.5 (c)(1)(D)	HSC 34191.5 (c)(1)(E)		HSC 34191.5 (c)(1)(E)	HSC 34191.5 (c)(1)(G)		HSC 34191.5 (c)(1)(H)	
	Property Type	Permissible Use	Permissible Use Detail	Acquisition Date	Value at Time of Purchase	Estimated Current Value	Value Basis	Date of Estimated Current Value	Proposed Sale Value	Proposed Sale Date	Purpose for which property was acquired	Council District	Address	APN	Lot Size	Current Zoning	Estimate of Current Parcel Value	Estimate of Income/Revenue	Contractual requirements for use of income/revenue	History of environmental contamination/studies/remediation & designation as a brownfield site	Transit Oriented Dev. Potential (High/Med/Low)	Potential to Advance Planning Objectives (High/Med/Low)	History of Previous Development Proposals (Please refer to the page number noted below in the text of the LRMP)
195	Lot/Land	FD		4/12/2006	\$480,000	\$ 100,920	Appraisal	10/11/12	TBD (a)	TBD	North Long Beach Strategic Guide for Redevelopment & North Village Plan/EIR	9	5892 Linden Ave.	7125-033-916	5,100	LBR3T	\$ 100,920	N/A	N/A	Ph. I - Clean	High	High	N/A
196	Lot/Land	FD		3/10/2006	\$520,000	\$ 96,280	Appraisal	10/11/12	TBD (a)	TBD	North Long Beach Strategic Guide for Redevelopment & North Village Plan/EIR	9	5874 Linden Ave.	7125-033-917	4,800	LBR3T	\$ 96,280	N/A	N/A	Ph. I - Clean	High	High	N/A
197	Lot/Land	FD		6/21/2006	\$455,000	\$ 96,280	Appraisal	10/11/12	TBD (a)	TBD	North Long Beach Strategic Guide for Redevelopment & North Village Plan/EIR	9	5866 Linden Ave.	7125-033-918	4,800	LBR3T	\$ 96,280	N/A	N/A	Ph. I - Clean	High	High	N/A
198	Lot/Land	FD		6/23/2006	\$460,000	\$ 96,280	Appraisal	10/11/12	TBD (a)	TBD	North Long Beach Strategic Guide for Redevelopment & North Village Plan/EIR	9	5860 Linden Ave.	7125-033-919	4,800	LBR3T	\$ 96,280	N/A	N/A	Ph. I - Clean	High	High	N/A
199	Lot/Land	FD		5/1/2006	\$450,000	\$ 96,280	Appraisal	10/11/12	TBD (a)	TBD	North Long Beach Strategic Guide for Redevelopment & North Village Plan/EIR	9	5822 Linden Ave.	7125-033-920	4,800	LBR3T	\$ 96,280	N/A	N/A	Ph. I - Clean	High	High	N/A
200	Lot/Land	FD		3/26/2007	\$615,000	\$ 107,400	Appraisal	10/11/12	TBD	TBD	North Long Beach Strategic Guide for Redevelopment & North Village Plan/EIR	9	5827 Atlantic Ave.	7125-033-921	4,600	LBCNA	\$ 107,400	N/A	N/A	Ph. I - Clean	High	High	N/A
201	Lot/Land	FD		8/31/2006	\$400,000	\$ 107,400	Appraisal	10/11/12	TBD	TBD	North Long Beach Strategic Guide for Redevelopment & North Village Plan/EIR	9	5823 Atlantic Ave.	7125-033-922	4,600	LBCNA	\$ 107,400	N/A	N/A	Ph. I - Clean	High	High	N/A
202	Lot/Land	FD		7/31/2006	\$415,000	\$ 107,400	Appraisal	10/11/12	TBD (a)	TBD	North Long Beach Strategic Guide for Redevelopment & North Village Plan/EIR	9	5879 Atlantic Ave.	7125-033-923	4,600	LBCNA	\$ 107,400	N/A	N/A	Ph. I - Clean	High	High	N/A
North Village Development - Block D																							
203	Commercial	FD		9/24/2003	\$70,000	\$ 70,000	Appraisal	10/11/12	TBD	TBD	North Long Beach Strategic Guide for Redevelopment & North Village Plan/EIR	9	5960 Atlantic Ave.	7124-017-900	4,600	LBCNA	\$ 70,000	N/A	N/A	Ph. I - Clean	High	High	N/A
204	Commercial (Bldg)	FD		7/23/2008	\$504,500	\$ 70,000	Appraisal	10/11/12	TBD	TBD	North Long Beach Strategic Guide for Redevelopment & North Village Plan/EIR	9	5936 Atlantic Ave.	7124-017-901	4,600	LBCNA	\$ 70,000	N/A	N/A	Ph. I - Clean	High	High	N/A
205	Commercial	FD		8/12/2008	\$183,000	\$ 90,000	Appraisal	10/11/12	TBD	TBD	North Long Beach Strategic Guide for Redevelopment & North Village Plan/EIR	9	5948 Atlantic Ave.	7124-017-902	4,600	LBCNA	\$ 90,000	N/A	N/A	Ph. I - Clean	High	High	N/A
206	Commercial (Bldg)	FD		1/11/2008	\$555,000	\$ 195,000	Appraisal	10/11/12	TBD	TBD	North Long Beach Strategic Guide for Redevelopment & North Village Plan/EIR	9	5901 Atlantic Ave.	7125-034-900	9,775	LBCNA	\$ 195,000	N/A	N/A	Ph. I - Clean	High	High	N/A
207	Lot/Land	FD		6/10/2008	\$410,000	\$ 91,667	Appraisal	10/11/12	TBD	TBD	North Long Beach Strategic Guide for Redevelopment & North Village Plan/EIR	9	5941 Atlantic Ave.	7125-034-901	4,600	LBCNA	\$ 91,667	N/A	N/A	Ph. I - Clean	High	High	N/A
208	Lot/Land	FD		12/23/2008	\$710,000	\$ 183,333	Appraisal	10/11/12	TBD	TBD	North Long Beach Strategic Guide for Redevelopment & North Village Plan/EIR	9	5927 Atlantic Ave.	7125-034-902	9,200	LBCNA	\$ 183,333	N/A	N/A	Ph. I - Clean	High	High	N/A
6101-6141 Atlantic Avenue Development																							
209	Lot/Land	FD		1/31/2006	\$3,450,000	\$ 1,250,000	Appraisal	10/11/12	TBD	TBD	North Long Beach Redevelopment Plan	9	6101-6141 Atlantic Ave.	7125-036-900	62,544	LBCNA	\$ 1,250,000	N/A	N/A	Ph II - Cleared	High	High	N/A

REAL PROPERTIES INVENTORY SPREADSHEET

Property Type	HSC 34191.5 (c)(2)		HSC 34191.5 (c)(1)(A)					SALE OF PROPERTY		HSC 34191.5 (c)(1)(B)				HSC 34191.5 (c)(1)(C)				HSC 34191.5 (c)(1)(D)	HSC 34191.5 (c)(1)(E)			HSC 34191.5 (c)(1)(G)		HSC 34191.5 (c)(1)(H)
	Permissible Use	Permissible Use Detail	Acquisition Date	Value at Time of Purchase	Estimated Current Value	Value Basis	Date of Estimated Current Value	Proposed Sale Value	Proposed Sale Date	Purpose for which property was acquired	Council District	Address	APN	Lot Size	Current Zoning	Estimate of Current Parcel Value	Estimate of Income/Revenue	Contractual requirements for use of income/revenue	History of environmental contamination/studies/remediation & designation as a brownfield site	Transit Oriented Dev. Potential (High/Med/Low)	Potential to Advance Planning Objectives (High/Med/Low)	History of Previous Development Proposals (Please refer to the page number noted below in the text of the LRMP)		
Atlantic/Artesia Development																								
210	Lot/Land	FD	7/31/2006	\$231,000	\$ 143,500	Appraisal	10/11/12	TBD	TBD	North Long Beach Strategic Guide for Redevelopment	9	605 E. Artesia Blvd.	7115-003-901	6,270	LBCCA	\$ 143,500	N/A	N/A	Ph. II - Cleared	High	High	N/A		
211	Lot/Land	FD	7/31/2006	\$610,500	\$ 369,000	Appraisal	10/11/12	TBD (a)	TBD	North Long Beach Strategic Guide for Redevelopment	9	609 E. Artesia Blvd.	7115-003-902	17,020	LBCCA	\$ 369,000	\$1/Monthly	N/A	Ph. II - Cleared	High	High	N/A		
212	Lot/Land	FD	7/31/2006	\$808,500	\$ 492,000	Appraisal	10/11/12	TBD (a)	TBD	North Long Beach Strategic Guide for Redevelopment	9	669 E. Artesia Blvd.	7115-003-903	22,040	LBCCA	\$ 492,000	w/609	N/A	Ph. II - Cleared	High	High	N/A		
213	Lot/Land	FD	2/27/2008	\$1,275,000	\$ 184,500	Appraisal	10/11/12	TBD (a)	TBD	North Long Beach Strategic Guide for Redevelopment	9	6620 Atlantic Ave.	7115-003-904	8,870	LBCCA	\$ 184,500	N/A	N/A	Ph. I - Clean	High	High	N/A		
214	Lot/Land	FD	7/23/2009	\$3,200,000	\$ 533,000	Appraisal	10/11/12	TBD	TBD	North Long Beach Strategic Guide for Redevelopment	9	685 E. Artesia Blvd.	7115-003-905	24,180	LBCCA	\$ 533,000	N/A	N/A	Ph. I - Clean	High	High	N/A		
215	Lot/Land	FD	2/19/2010	\$1,315,350	\$ 266,500	Appraisal	10/11/12	TBD (a)	TBD	North Long Beach Strategic Guide for Redevelopment	9	6600 Atlantic Ave.	7115-003-906	11,730	LBCCA	\$ 266,500	N/A	N/A	Ph. II - Cleared	High	High	N/A		
216	Parking Lot	FD	2/19/2010	\$349,650	\$ 61,500	Appraisal	10/11/12	TBD	TBD	North Long Beach Strategic Guide for Redevelopment	9	601 E. Artesia Blvd.	7115-003-907	3,120	LBCCA	\$ 61,500	N/A	N/A	Ph. I - Clean	High	High	N/A		
SALE OF PROPERTY																								
	Parking Lot	GU	4/16/08 & 12/15/08	\$891,000	\$ 225,000	Appraisal	10/11/12	N/A	N/A	North Long Beach Redevelopment Plan & North Long Beach Strategic Guide for Redevelopment	8	5400-5412 Long Beach Blvd.	7126-036-905	10,568	LBCNP	\$ 225,000	N/A	N/A	Ph. II - Cleared	N/A	High	N/A		
136	Commercial (Bldg)	GU	2/15/2008	\$498,000	\$ 165,000	Appraisal	10/11/12	N/A	N/A	North Long Beach Redevelopment Plan	8	5372 Long Beach Blvd.	7131-001-901	2,730	LBCNP	\$ 165,000	\$450/Monthly	None	Ph. II - Cleared	N/A	High	N/A		
137	Commercial (Bldg)	GU	2/5/2009	\$485,000	\$ 40,000	Appraisal	10/11/12	N/A	N/A	North Long Beach Strategic Guide for Redevelopment	8	5368 Long Beach Blvd.	7131-001-903	2,730	LBCNP	\$ 40,000	N/A	N/A	Ph. I - Clean	N/A	High	N/A		
217	Commercial (Bldg)	SP	5/16/2007	\$500,000	\$ 122,550	Appraisal	10/11/12	TBD	TBD	North Long Beach Strategic Guide for Redevelopment	8	5365 Long Beach Blvd.	7132-008-901	4,320	LBCNP	\$ 122,550	N/A	N/A	Ph. I - Clean	High	High	N/A		
218	Commercial (Bldg)	SP	9/16/2008	\$500,000	\$ 162,450	Appraisal	10/11/12	TBD	TBD	North Long Beach Strategic Guide for Redevelopment	8	5371 Long Beach Blvd.	7132-008-902	5,750	LBCNP	\$ 162,450	N/A	N/A	Ph. II - Cleared	High	High	N/A		
219	Parking Lot	SP	2/26/2009	\$782,115	\$ 285,000	Appraisal	10/11/12	TBD	TBD	North Long Beach Strategic Guide for Redevelopment	8	5301 Long Beach Blvd.	7132-011-902	11,430	LBCNP	\$ 285,000	N/A	N/A	PH. II - Cleared	High	Medium	N/A		
220	Commercial	SP	6/15/2004	\$70,000	\$ 67,900	Appraisal	10/11/12	TBD	TBD	North Long Beach Redevelopment Plan	8	5564 Atlantic Ave.	7127-009-900	4,400	LBCCA	\$ 67,900	N/A	N/A	Ph. I - Clean	High	High	N/A		
221	Lot/Land	SP	6/15/2004	\$70,000	\$ 67,900	Appraisal	10/11/12	TBD	TBD	North Long Beach Redevelopment Plan	8	N/A Atlantic Ave. (5564)	7127-009-901	4,400	LBCCA	\$ 67,900	N/A	N/A	Ph. I - Clean	High	High	N/A		
222	Commercial (Bldg)	SP	1/27/2006	\$451,500	\$ 258,333	Appraisal	10/11/12	TBD (a)	TBD	North Long Beach Strategic Guide for Redevelopment & North Village Plan/EIR	8	5641 Atlantic Ave.	7127-007-902	4,100	LBCNP	\$ 258,333	\$2/Annually (combined)	None	Ph. I - Clean	High	High	N/A		
223	Commercial (Bldg)	SP	2/13/2007	\$520,000	\$ 258,334	Appraisal	10/11/12	TBD	TBD	North Long Beach Strategic Guide for Redevelopment & North Village Plan/EIR	8	5645 Atlantic Ave.	7127-007-905	4,100	LBCNP	\$ 258,334	N/A	N/A	Ph. I - Clean	High	High	N/A		
224	Commercial (Bldg)	SP	12/28/2006	\$565,000	\$ 258,333	Appraisal	10/11/12	TBD	TBD	North Long Beach Strategic Guide for Redevelopment & North Village Plan/EIR	8	5649 Atlantic Ave.	7127-007-904	4,100	LBCNP	\$ 258,333	\$2,515/month (combined)	None	Ph. I - Clean	High	High	N/A		
225	Commercial (Bldg)	SP	3/30/2007	\$555,000	\$ 237,500	Appraisal	10/11/12	TBD	TBD	North Long Beach Strategic Guide for Redevelopment & North Village Plan/EIR	8	5661 Atlantic Ave.	7127-007-906	4,100	LBCNP	\$ 237,500	N/A	N/A	Ph. I - Clean	High	High	N/A		
226	Commercial (Bldg)	SP	7/20/2007	\$405,000	\$ 237,500	Appraisal	10/11/12	TBD	TBD	North Long Beach Strategic Guide for Redevelopment & North Village Plan/EIR	8	5701 Atlantic Ave.	7127-007-907	4,100	LBCNP	\$ 237,500	N/A	N/A	Ph. I - Clean	High	High	N/A		

REAL PROPERTIES INVENTORY SPREADSHEET

	Property Type	HSC 34191.5 (c)(2)		HSC 34191.5 (c)(1)(A)				SALE OF PROPERTY		HSC 34191.5 (c)(1)(B)				HSC 34191.5 (c)(1)(c)				HSC 34191.5 (c)(1)(D)		HSC 34191.5 (c)(1)(E)		HSC 34191.5 (c)(1)(E)		HSC 34191.5 (c)(1)(G)		HSC 34191.5 (c)(1)(H)
		Permissible Use	Permissible Use Detail	Acquisition Date	Value at Time of Purchase	Estimated Current Value	Value Basis	Date of Estimated Current Value	Proposed Sale Value	Proposed Sale Date	Purpose for which property was acquired	Council District	Address	APN	Lot Size	Current Zoning	Estimate of Current Parcel Value	Estimate of Income/Revenue	Contractual requirements for use of income/revenue	History of environmental contamination/studies/remediation & designation as a brownfield site	Transit Oriented Dev. Potential (High/Med/Low)	Potential to Advance Planning Objectives (High/Med/Low)	History of Previous Development Proposals (Please refer to the page number noted below in the text of the LRMP)			
227	Commercial (Bldg)	SP		7/30/2008	\$580,000	\$ 265,000	Appraisal	10/11/12	TBD	TBD	North Long Beach Strategic Guide for Redevelopment & North Village Plan/EIR	8	5616 Atlantic Ave.	7127-006-910	4,100	LBCNP	\$ 265,000	\$882.75/Monthly	N/A	Ph. II - Cleared	High	High	N/A			
228	Commercial (Bldg)	SP		7/25/2008	\$345,000	\$ 41,250	Appraisal	10/11/12	TBD	TBD	North Long Beach Strategic Guide for Redevelopment & North Village Plan/EIR	8	5640 Atlantic Ave.	7127-006-909	2,050	LBCNP	\$ 41,250	N/A	N/A	PH. I - Clean	High	High	N/A			
229	Commercial (Bldg)	SP		6/27/2006	\$365,000	\$ 41,250	Appraisal	10/11/12	TBD (a)	TBD	North Long Beach Strategic Guide for Redevelopment & North Village Plan/EIR	8	5644 Atlantic Ave.	7127-006-904	2,050	LBCNP	\$ 41,250	N/A	N/A	Ph. I - Clean	High	High	N/A			
230	Lot/Land	SP		10/12/2004	\$285,000	\$ 82,500	Appraisal	10/11/12	TBD	TBD	North Long Beach Strategic Guide for Redevelopment & North Village Plan/EIR	8	5648 Atlantic Ave.	7127-006-901	4,100	LBCNP	\$ 82,500	N/A	N/A	Ph. I - Clean	High	High	N/A			
231	Commercial (Bldg)	SP		7/30/2008	\$525,000	\$ 200,000	Appraisal	10/11/12	TBD	TBD	North Long Beach Strategic Guide for Redevelopment & North Village Plan/EIR	8	5708 Atlantic Ave.	7127-006-908	4,100	LBCNP	\$ 200,000	N/A	N/A	Ph. II - Cleared	High	High	N/A			
232	Lot/Land	SP		7/10/2007	\$495,000	\$ 135,000	Appraisal	10/11/12	TBD	TBD	North Long Beach Redevelopment Plan	8	306 E. Home St.	7131-036-900	6,750	LBR1N	\$ 135,000	N/A	N/A	Ph. I - Clean	Low	Medium	N/A			
	Commercial (Bldg)	SP		9/27/2006	\$450,000	\$ 250,000	Appraisal	10/11/12	TBD	TBD	North Long Beach Strategic Guide for Redevelopment & North Village Plan/EIR	9	635 E. South St.	7124-032-916	4,400	LBCCA	\$ 250,000	N/A	N/A	Ph. I - Clean	High	High	N/A			

Legend for Permissible Use:
 GU=Gov. Use
 EO=Enf. Obligation
 FD= Future Dev.
 SP=Sale of Property

Footnotes:
 (a) Tax exempt bond proceeds were used to acquire this site. Sale proceeds must be spent on a qualified tax exempt project.

North Project Area Future Development Sites Source Document Reference

Line	Property Address	APN	Redevelopment Plan	Compensation Agreement
4800 Long Beach Blvd. Development				
161	4800 Long Beach Blvd	7133-010-900	<i>North Long Beach Strategic Guide for Redevelopment</i>	City will enter into agreement
162	4810 Long Beach Blvd	7133-010-901	Section 7, Area-Wide Plan, p. 44, Existing Commercial Frontage on Long Beach	
163	4856 Long Beach Blvd	7133-010-902	Boulevard between I-710 and Union Pacific Railroad,	
164	4870 Long Beach Blvd	7133-010-903	"Areas south of Del Amo to the east-west Pacific Railroad should be	
165	4860 Long Beach Blvd	7133-010-904	converted to residential from the existing motel and other commercial uses."	
5100 Long Beach Blvd. Development				
166	5101 Cedar Ave.	7131-032-900	<i>North Long Beach Strategic Guide for Redevelopment</i>	City will enter into agreement
167	5098 Long Beach Blvd	7131-032-905	Section 7, Area-Wide Plan, p. 44, Existing Commercial Frontage on Long Beach	
168	5100 Adjacent	7131-032-908	Boulevard between I-710 and Union Pacific Railroad,	
169	5060 Long Beach Blvd	7131-092-909	"It is recommended that the existing commercial frontages be removed and	
170	5096 Long Beach Blvd	7131-032-910	replaced with . . . residential."	
171	5100 Long Beach Blvd	7131-032-911		
172	34 E. Sunset St.	7131-032-912		
173	34 E. Sunset St.	7131-032-913		
North Village Development - Block A & B				
174	5705 Lime Ave	7127-006-902	<i>North Long Beach Strategic Guide for Redevelopment</i>	City will enter into agreement
175	5715 Lime Ave	7127-006-903	Section 8, Target Sites, pp. 53-57, specifically p. 53 states, " it is envisioned that the	
176	5709 Lime Ave	7127-006-905	area around the intersection of Atlantic Avenue and South Street be developed as	
177	5721 Lime Ave	7127-006-906	the principal neighborhood/town center for North Long Beach."	
178	620 E. South St.	7127-006-907	Figures on pp. 54, 56, and 57 show the blocks involved in the North Village Center.	

Exhibit H.1

North Project Area Future Development Sites Source Document Reference

Line	Property Address	APN	Redevelopment Plan	Compensation Agreement
North Village Development - Block C				
179	5893 Atlantic Ave.	7125-033-900	North Long Beach Strategic Guide for Redevelopment Section 8, Target Sites, pp. 53-57, specifically p. 53 states, " it is envisioned that the area around the intersection of Atlantic Avenue and South Street be developed as the principal neighborhood/town center for North Long Beach." Figures on pp. 54, 56, and 57 show the blocks involved in the North Village Center.	City will enter into agreement
180	5887 Atlantic Ave.	7125-033-901		
181	5855 Atlantic Ave.	7125-033-902		
182	5845 Atlantic Ave.	7125-033-903		
183	5835 Atlantic Ave.	7125-033-904		
184	5844 Linden Ave.	7125-033-905		
185	504 E. South St.	7125-033-906		
186	5850 Linden Ave.	7125-033-907		
187	5801 Atlantic Ave.	7125-033-908		
188	5875 Atlantic Ave.	7125-033-909		
189	5886 Linden Ave.	7125-033-910		
190	5878 Linden Ave.	7125-033-911		
191	5878 Linden Ave.	7125-033-912		
192	5826 Linden Ave.	7125-033-913		
193	5852 Linden Ave.	7125-033-914		
194	5836 Linden Ave.	7125-033-915		
195	5892 Linden Ave.	7125-033-913		
196	5874 Linden Ave.	7125-033-917		
197	5866 Linden Ave.	7125-033-918		
198	5860 Linden Ave.	7125-033-919		
199	5822 Linden Ave.	7125-033-920		
200	5827 Atlantic Ave.	7125-033-921		
201	5823 Atlantic Ave.	7125-033-922		
202	5879 Atlantic Ave.	7125-033-923		
North Village Development - Block D				
203	5960 Atlantic Ave.	7124-017-900	North Long Beach Strategic Guide for Redevelopment Section 8, Target Sites, Housing on Commercial Corridors, Atlantic Avenue between Harding and Del Amo, specifically p. 58 states: "The development of housing in this area would achieve several goals, including the removal of blighted residential and commercial properties. . . . Housing in this area would also provide additional population and street activity to bolster the proposed Village Center."	City will enter into agreement
204	5936 Atlantic Ave.	7124-017-901		
205	5948 Atlantic Ave.	7124-017-902		
206	5901 Atlantic Ave.	7124-034-900		
207	5941 Atlantic Ave.	7125-034-901		
208	5927 Atlantic Ave.	7125-034-902		

North Project Area Future Development Sites Source Document Reference

Line	Property Address	APN	Redevelopment Plan	Compensation Agreement
6101-6141 Atlantic Avenue Development				
209	6101-6141 Atlantic Ave.	7125-036-900	<p>North Long Beach Strategic Guide for Redevelopment Section 7, Area-Wide Plan, Existing Commercial Frontage on Atlantic Avenue between Harding and Del Amo, specifically p. 44 states: "It is recommended that the existing commercial frontages be removed and replaced with medium density residential."</p>	City will enter into agreement
Atlantic/Artesia Development				
210	605 E. Artesia Blvd.	7115-003-901	<p>North Long Beach Strategic Guide for Redevelopment Section 8, Target Sites, Other Important Sites, Commercial Areas, Artesia Boulevard and Atlantic Avenues, specifically p. 63 states: "This important gateway to North Long Beach should remain a highway-oriented convenience commercial node. A new use with a high quality anchor tenant is proposed."</p>	City will enter into agreement
211	609 E. Artesia Blvd.	7115-003-902		
212	669 E. Artesia Blvd.	7115-003-903		
213	6620 Atlantic Ave.	7115-003-904		
214	685 E. Artesia Blvd.	7115-003-905		
215	6600 Atlantic Ave.	7115-003-906		
216	601 E. Artesia blvd.	7115-003-907		

REAL PROPERTIES INVENTORY SPREADSHEET

Property Type	HSC 34191.5 (c)(2)		HSC 34191.5 (c)(1)(A)					SALE OF PROPERTY		HSC 34191.5 (c)(1)(B)		HSC 34191.5 (c)(1)(C)				HSC 34191.5 (c)(1)(D)	HSC 34191.5 (c)(1)(E)			HSC 34191.5 (c)(1)(E)	HSC 34191.5 (c)(1)(G)		HSC 34191.5 (c)(1)(H)
	Permissible Use	Permissible Use Detail	Acquisition Date	Value at Time of Purchase	Estimated Current Value	Value Basis	Date of Estimated Current Value	Proposed Sale Value	Proposed Sale Date	Purpose for which property was acquired	Council District	Address	APN	Lot Size	Current Zoning	Estimate of Current Parcel Value	Estimate of Income/Revenue	Contractual requirements for use of income/revenue	History of environmental contamination/studies/remediation & designation as a brownfield site	Transit Oriented Dev. Potential (High/Med/Low)	Potential to Advance Planning Objectives (High/Med/Low)	History of Previous Development Proposals	
GOVERNMENT USE																							
NONE																							
ENFORCEABLE OBLIGATIONS																							
Cal Can Holdings Development																							
234	Lot/Land	EO	5/26/2005	\$243,000	\$ 135,050	Appraisal	10/11/12	TBD	TBD	Westside Industrial Strategy Action Plan	1	2136 W. 16th St.	7429-021-902	4,880	LBIG	\$ 135,050	N/A	N/A	Ph. I - Clean	Low	High	N/A	
235	Lot/Land	EO	5/26/2005	\$81,000	\$ 47,450	Appraisal	10/11/12	TBD	TBD	Westside Industrial Strategy Action Plan	1	2136 W. 16th St.	7429-021-903	1,626	LBIG	\$ 47,450	N/A	N/A	Ph. I - Clean	Low	High	N/A	
236	Lot/Land	EO	12/22/2009	\$421,000	\$ 182,500	Appraisal	10/11/12	TBD	TBD	Westside Industrial Strategy Action Plan	1	2144 W. 16th St.	7429-021-904	6,506	LBIG	\$ 182,500	N/A	N/A	Ph. I - Clean	Low	High	N/A	
FUTURE DEVELOPMENT																							
14th St. & Cowles St. Development																							
237	Lot/Land	FD	6/20/1978	\$26,266	\$ 720,000	Appraisal	10/11/12	TBD	TBD	Westside Industrial Strategy Action Plan	1	2110 W. Cowles St.	7429-018-901	25,681	LBIG	\$ 720,000	N/A	N/A	PH. II - Cleared	Low	Low	N/A	
238	Lot/Land	FD	Pre-1998	\$52,534	\$ 1,630,000	Appraisal	10/11/12	TBD	TBD	Westside Industrial Strategy Action Plan	1	2111 W. 14th St.	7429-018-911	58,370	LBIG	\$ 1,630,000	N/A	N/A	PH. II - Cleared	Low	Low	N/A	
2021 W. Gaylord Street Development																							
	Commercial/SFR	FD	10/19/2010	\$500,000	\$ 275,000	Appraisal	10/11/12	TBD	TBD	Westside Industrial Strategy Action Plan	1	2021 W. Gaylord St.	7429-022-902	9,758	LBIG	\$ 275,000	N/A	N/A	Ph. I - Clean	Low	High	N/A	
San St. & Santa Fe Ave. Development																							
240	Lot/Land	FD	1/24/2007	\$382,500	\$ 82,500	Appraisal	10/11/12	TBD	TBD	Westside Industrial Strategy Action Plan	1	1565 Santa Fe Ave. 1	7432-005-900	2,753	LBIG	\$ 82,500	N/A	N/A	Ph. I - Clean	Low	High	N/A	
241	Lot/Land	FD	1/24/2007	\$382,500	\$ 82,500	Appraisal	10/11/12	TBD	TBD	Westside Industrial Strategy Action Plan	1	1565 Santa Fe Ave. 4	7432-005-901	2,753	LBIG	\$ 82,500	N/A	N/A	Ph. I - Clean	Low	High	N/A	
242	Lot/Land	FD	10/3/2008	\$283,333	\$ 82,500	Appraisal	10/11/12	TBD	TBD	Westside Industrial Strategy Action Plan	1	1545 Santa Fe Ave.	7432-005-903	2,753	LBIG	\$ 82,500	N/A	N/A	Ph. II - Cleared	Low	High	N/A	
243	Lot/Land	FD	10/3/2008	\$566,667	\$ 167,500	Appraisal	10/11/12	TBD	TBD	Westside Industrial Strategy Action Plan	1	1551 Santa Fe Ave.	7432-005-904	5,505	LBIG	\$ 167,500	N/A	N/A	Ph. II - Cleared	Low	High	N/A	
1675 Santa Fe Avenue Development																							
244	Lot/Land	FD	7/18/1985	\$1,010,400	\$ 1,245,000	Appraisal	10/11/12	TBD	TBD	WLB Industrial Redevelopment Plan	1	1675 Santa Fe Ave.	7432-006-914	38,843	LBIG	\$ 1,245,000	N/A	N/A	Ph. I - Clean	Low	High	N/A	
1680 Santa Fe Avenue Development																							
245	Lot/Land	FD	11/30/2007	\$1,810,000	\$ 400,000	Appraisal	10/11/12	TBD	TBD	WLB Industrial Redevelopment Plan	1	1680 Santa Fe Ave.	7432-008-902	12,500	LBIG	\$ 400,000	N/A	N/A	Ph. I - Clean	Low	High	N/A	
1404-1420 Hayes Avenue Development																							
246	Lot/Land	FD	4/22/2011	\$93,000	\$93,000	Appraisal	9/23/09	TBD	TBD	WLB Industrial Redevelopment Plan	1	1404-1420 Hayes Ave.	7429-041-900	3,252	LBIG	\$93,000	\$50/Month	N/A	Ph. II/SMP	Low	High	N/A	
247	Lot/Land	FD	4/22/2011	\$93,000	\$93,000	Appraisal	9/23/09	TBD	TBD	WLB Industrial Redevelopment Plan	1	1404-1420 Hayes Ave.	7429-041-901	3,252	LBIG	\$93,000	N/A	N/A	Ph. II/SMP	Low	High	N/A	
248	Lot/Land	FD	4/22/2011	\$93,000	\$93,000	Appraisal	9/23/09	TBD	TBD	WLB Industrial Redevelopment Plan	1	1404-1420 Hayes Ave.	7429-041-902	3,252	LBIG	\$93,000	N/A	N/A	Ph. II/SMP	Low	High	N/A	
249	Lot/Land	FD	4/22/2011	\$93,000	\$93,000	Appraisal	9/23/09	TBD	TBD	WLB Industrial Redevelopment Plan	1	1404-1420 Hayes Ave.	7429-041-903	3,252	LBIG	\$93,000	N/A	N/A	Ph. II/SMP	Low	High	N/A	
250	Lot/Land	FD	4/22/2011	\$387,500	\$387,500	Appraisal	9/23/09	TBD	TBD	WLB Industrial Redevelopment Plan	1	1404-1420 Hayes Ave.	7429-041-904	13,008	LBIG	\$387,500	N/A	N/A	Ph. II/SMP	Low	High	N/A	
	Lot/Land	FD	4/22/2011	\$93,000	\$93,000	Appraisal	9/23/09	TBD	TBD	WLB Industrial Redevelopment Plan	1	1404-1420 Hayes Ave.	7429-041-905	3,252	LBIG	\$93,000	N/A	N/A	Ph. II/SMP	Low	High	N/A	
252	Lot/Land	FD	4/22/2011	\$93,000	\$93,000	Appraisal	9/23/09	TBD	TBD	WLB Industrial Redevelopment Plan	1	1404-1420 Hayes Ave.	7429-041-906	3,252	LBIG	\$93,000	N/A	N/A	Ph. II/SMP	Low	High	N/A	

REAL PROPERTIES INVENTORY SPREADSHEET

	Property Type	HSC 34191.5 (c)(2)		HSC 34191.5 (c)(1)(A)					SALE OF PROPERTY		HSC 34191.5 (c)(1)(B)				HSC 34191.5 (c)(1)(c)				HSC 34191.5 (c)(1)(D)	HSC 34191.5 (c)(1)(E)			HSC 34191.5 (c)(1)(E)	HSC 34191.5 (c)(1)(G)		HSC 34191.5 (c)(1)(H)
		Permissible Use	Permissible Use Detail	Acquisition Date	Value at Time of Purchase	Estimated Current Value	Value Basis	Date of Estimated Current Value	Proposed Sale Value	Proposed Sale Date	Purpose for which property was acquired	Council District	Address	APN	Lot Size	Current Zoning	Estimate of Current Parcel Value	Estimate of Income/Revenue	Contractual requirements for use of income/revenue	History of environmental contamination/studies/remediation & designation as a brownfield site	Transit Oriented Dev. Potential (High/Med/Low)	Potential to Advance Planning Objectives (High/Med/Low)	History of Previous Development Proposals			
253	Lot/Land	FD		4/22/2011	\$93,000	\$93,000	Appraisal	9/23/09	TBD	TBD	WLB Industrial Redevelopment Plan	1	1404-1420 Hayes Ave.	7429-041-907	3,252	LBIG	\$93,000	N/A	N/A	Ph. II/SMP	Low	High	N/A			
254	Lot/Land	FD		4/22/2011	\$93,000	\$93,000	Appraisal	9/23/09	TBD	TBD	WLB Industrial Redevelopment Plan	1	1404-1420 Hayes Ave.	7429-041-908	3,252	LBIG	\$93,000	N/A	N/A	Ph. II/SMP	Low	High	N/A			
255	Lot/Land	FD		4/22/2011	\$93,000	\$93,000	Appraisal	9/23/09	TBD	TBD	WLB Industrial Redevelopment Plan	1	1404-1420 Hayes Ave.	7429-041-909	3,251	LBIG	\$93,000	N/A	N/A	Ph. II/SMP	Low	High	N/A			
256	Lot/Land	FD		4/22/2011	\$93,000	\$93,000	Appraisal	9/23/09	TBD	TBD	WLB Industrial Redevelopment Plan	1	1404-1420 Hayes Ave.	7429-041-910	3,251	LBIG	\$93,000	N/A	N/A	Ph. II/SMP	Low	High	N/A			
257	Lot/Land	FD		4/22/2011	\$93,000	\$93,000	Appraisal	9/23/09	TBD	TBD	WLB Industrial Redevelopment Plan	1	1404-1420 Hayes Ave.	7429-041-911	3,251	LBIG	\$93,000	N/A	N/A	Ph. II/SMP	Low	High	N/A			
258	Lot/Land	FD		4/22/2011	\$139,500	\$139,500	Appraisal	9/23/09	TBD	TBD	WLB Industrial Redevelopment Plan	1	1404-1420 Hayes Ave.	7429-041-912	4,552	LBIG	\$139,500	N/A	N/A	Ph. II/SMP	Low	High	N/A			
PROPERTIES TO BE SOLD																										
259	Lot/Land	SP		5/17/2007	\$505,000	\$ 197,916	Appraisal	10/11/12	TBD	TBD	WLB Industrial Redevelopment Plan	1	1478 Cota Ave.	7432-005-902	3,252	LBIG	\$ 197,916	N/A	N/A	Unknown	Low	High	N/A			

Legend for Permissible Use:
 GU=Gov. Use
 EO=Enf. Obligation
 Future Dev.
 Sale of Property

West Long Beach Industrial Project Area Future Development Sites Source Document Reference

Line	Property Address	APN	Reference Source*	Compensation Agreement
14th St. & Cowles St. Development				
237	2110 W. Cowles Street	7429-018-901	Westside Industrial Strategy Action Plan Chapter III - Strategic Plan Framework, page III-18, A. Manufacturing and Industrial Services: 1) Support the expansion of existing businesses by helping them to acquire other nearby parcels as they become available. See also p. IV-3, Top Priority Projects, Other Important Projects.	City will enter into agreement
238	2111 W. 14th Street	7429-018-911		
2021 W. Gaylord Street				
239	2021 W. Gaylord Street	7429-022-902	Westside Industrial Strategy Action Plan Chapter III - Strategic Plan Framework, page III-18, I. Neighborhood Image and Identity: 2) Acquire, remove, and recycle all remaining residences while also providing relocation assistance to homeowner and tenants Westside Industrial Strategy Action. Plan Chapter III - Strategic Plan Framework, page III-18, A. Manufacturing and Industrial Services: 1) Support the expansion of existing businesses by helping them to acquire other nearby parcels as they become available.	City will enter into agreement
15th St. & Santa Fe Ave. Development				
240	1565 Santa Fe Avenue. 1	7432-005-900	Westside Industrial Strategy Action Plan Chapter III - Strategic Plan Framework, page III-18, I. Neighborhood Image and Identity: 2) Acquire, remove, and recycle all remaining residences while also providing relocation assistance to homeowner and tenants. Westside Industrial Strategy Action Plan Chapter III - Strategic Plan Framework, page III-18, A. Manufacturing and Industrial Services: 1) Support the expansion of existing businesses by helping them to acquire other nearby parcels as they become available.	City will enter into agreement

*Specific parcels or blocks were not identified in the Plan because Agency acquisition was limited to a area outside of the Port of Long Beach (roughly Anaheim Street to Pacific Coast Highway and the city boundary to I-710).

Exhibit J.1

West Long Beach Industrial Project Area Future Development Sites Source Document Reference

Line	Property Address	APN	Reference Source*	Compensation Agreement
1675 Santa Fe Avenue Development				
244	1675 Santa Fe Avenue	7432-006-914	Westside Industrial Strategy Action Plan Chapter III - Strategic Plan Framework, page III-18, I. Neighborhood Image and Identity: 2) Acquire, remove, and recycle all remaining residences while also providing relocation assistance to homeowner and tenants. Westside Industrial Strategy Action Plan Chapter III - Strategic Plan Framework, page III-18, A. Manufacturing and Industrial Services: 1) Support the expansion of existing businesses by helping them to acquire other nearby parcels as they become available.	City will enter into agreement
1680 Santa Fe Avenue Development				
245	1680 Santa Fe Avenue	7432-008-902	Westside Industrial Strategy Action Plan Chapter III - Strategic Plan Framework, page III-18, I. Neighborhood Image and Identity: 2) Acquire, remove, and recycle all remaining residences while also providing relocation assistance to homeowner and tenants. Westside Industrial Strategy Action Plan Chapter III - Strategic Plan Framework, page III-18, A. Manufacturing and Industrial Services: 1) Support the expansion of existing businesses by helping them to acquire other nearby parcels as they become available.	City will enter into agreement
1404-1420 Hayes Avenue Development				
246	1404-1420 Hayes Avenue	7429-041-900	Westside Industrial Strategy Action Plan Chapter III - Strategic Plan Framework, page III-18, A. Manufacturing and Industrial Services: 1) Support the expansion of existing businesses by helping them to acquire other nearby parcels as they become available. See also p. IV-3, Top Priority Projects, Other Important Projects.	City will enter into agreement
247	1404-1420 Hayes Avenue	7429-041-901		
248	1404-1420 Hayes Avenue	7429-041-902		
249	1404-1420 Hayes Avenue	7429-041-903		
250	1404-1420 Hayes Avenue	7429-041-904		
251	1404-1420 Hayes Avenue	7429-041-905		
252	1404-1420 Hayes Avenue	7429-041-906		
253	1404-1420 Hayes Avenue	7429-041-907		
254	1404-1420 Hayes Avenue	7429-041-908		
255	1404-1420 Hayes Avenue	7429-041-909		
256	1404-1420 Hayes Avenue	7429-041-910		
257	1404-1420 Hayes Avenue	7429-041-911		
258	1404-1420 Hayes Avenue	7429-041-912		

*Specific parcels blocks were not identified in the Plan because Agency acquisition was limited to a area outside of the Port of Long Beach (roughly Anaheim Street to Pacific Coast Highway and the city boundary to I-710).

ATTACHMENT 28

**ATLANTIC AVENUE WORKFORCE HOUSING DEVELOPMENT MASTER PLAN
Long Beach Housing Development Company
City of Long Beach Housing Services Bureau**

Long Beach, California

7 March 2005



Atlantic Avenue at Anaheim Street

TEAM PARTICIPANTS

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LONG BEACH UNIFIED SCHOOL DISTRICT
Burnett Elementary School

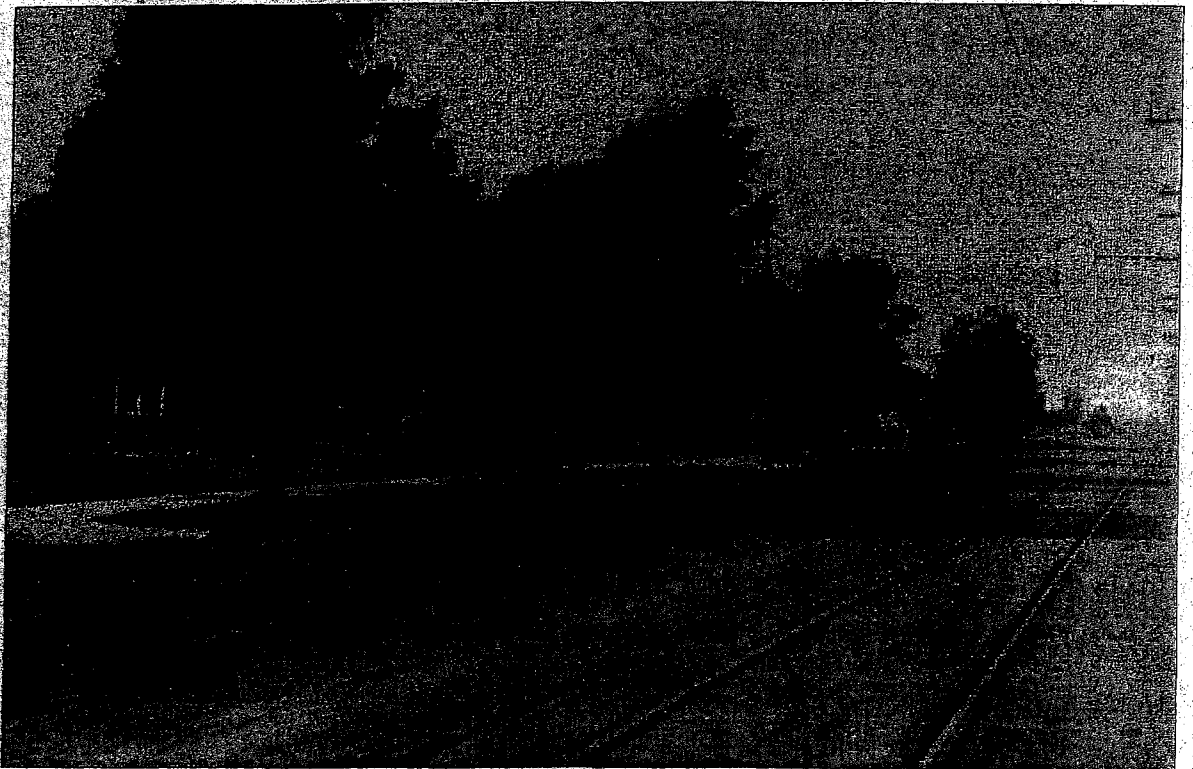
LONG BEACH TRANSIT

LONG BEACH DEPARTMENT OF PUBLIC WORKS

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Historic Long Beach Boulevard with light rail tracks, street trees, sidewalks, and buildings of residential character.

1. INTRODUCTION AND SUMMARY

Under the guidance of several community meetings with the public and a team of key City Staff, the Atlantic Avenue Workforce Housing Development Master Plan outlines a strategy for improving the physical character of Atlantic Avenue between Burnett Street and 20th Street and of Hill Street between Linden Avenue and Lime Avenue. Integral to this transformation is the creation of a pedestrian-friendly environment. In addition, this Master Plan could be used as guidelines for the Atlantic Avenue corridor between Pacific Coast Highway and Willow Street.

The components of a pedestrian-friendly neighborhood already exist: a vibrant residential neighborhood, a variety of commercial and retail stores, civic institutions (the Burnett Library, Burnett Elementary School, the Long Beach Center for Child Development), proximity to Renaissance Square (a new retail and community center at the corner of Atlantic Avenue and 18th Street), and within walking distance of transit (the Blue-line Station is a mere quarter-mile away). Refining and improving these individual components will transform the area into a neighborhood center that inspires pride amongst its residents and creates a unique sense of place.

KEY RECOMMENDATIONS OF THE MASTER PLAN

1. Build new workforce housing: Introduce new workforce housing along the west side of Atlantic Avenue between 20th Street and Hill Street. This Master Plan provides design guidelines to insure that such housing fits into the residential character of the existing neighborhood.

2. Infrastructure Improvements: Undertake infrastructure improvements along Atlantic Avenue and Hill Street including repairing broken curbs, gutters, and sidewalks, restoring sidewalk planter strips, pruning overgrown street trees, replacing missing street trees, introducing new street trees, introducing pedestrian-scaled street lights and repaving the roadways.

3. Improve existing civic institutions: Improve the relationship of the Burnett Library and Burnett Elementary School to the neighborhood through facade and landscape improvements. A long range proposal recommends expansion or rebuilding of the Burnett Library.

4. Traffic calming: Implement traffic calming measures along Atlantic Avenue and Hill Street to slow automobile traffic. This includes introducing a planted median down the center of both streets, narrowing the traffic lanes, adding curb bulb-outs, and introducing pedestrian-friendly crosswalks.

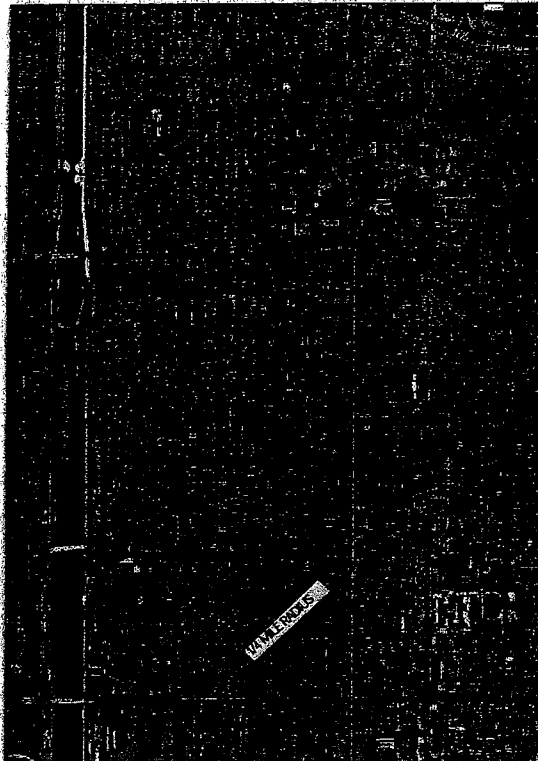
5. Facade Improvements: Implement facade improvements to existing commercial and retail buildings along Atlantic Avenue.

In addition, this report recommends two land-use policy changes that will insure the neighborhood remains residential in character and pedestrian in scale:

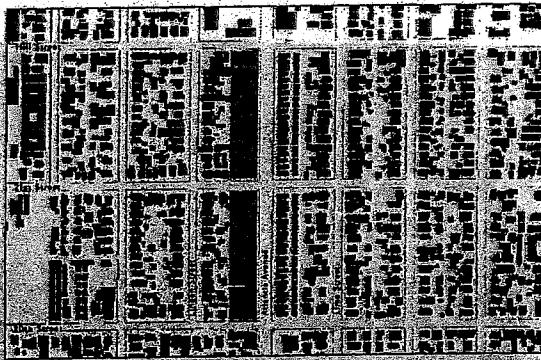
- **No street widening:** Amend the City of Long Beach's General Plan requirement of providing a 10' wide street widening easement along Atlantic Avenue. Future widening of Atlantic Avenue will negatively impact the residential character of all the neighborhoods south of the 405 freeway (see page 18).

- **Reduce existing parking requirement:** Reduce the City of Long Beach's parking requirement for the workforce housing development. Such a reduction is justified by the close proximity of public transportation (the blue line and several bus lines). Efforts should be taken to work with the City of Long Beach to reduce the required amount of parking for this development (see page 4).

Finally, this Master Plan is intended to compliment several City-sponsored projects completed along Atlantic Avenue including Renaissance Walk (a forty unit single-family housing development), Atlantic Villas (a 35 unit multi-family housing development), two *Habitat for Humanity* funded single-family houses, and Renaissance Square.



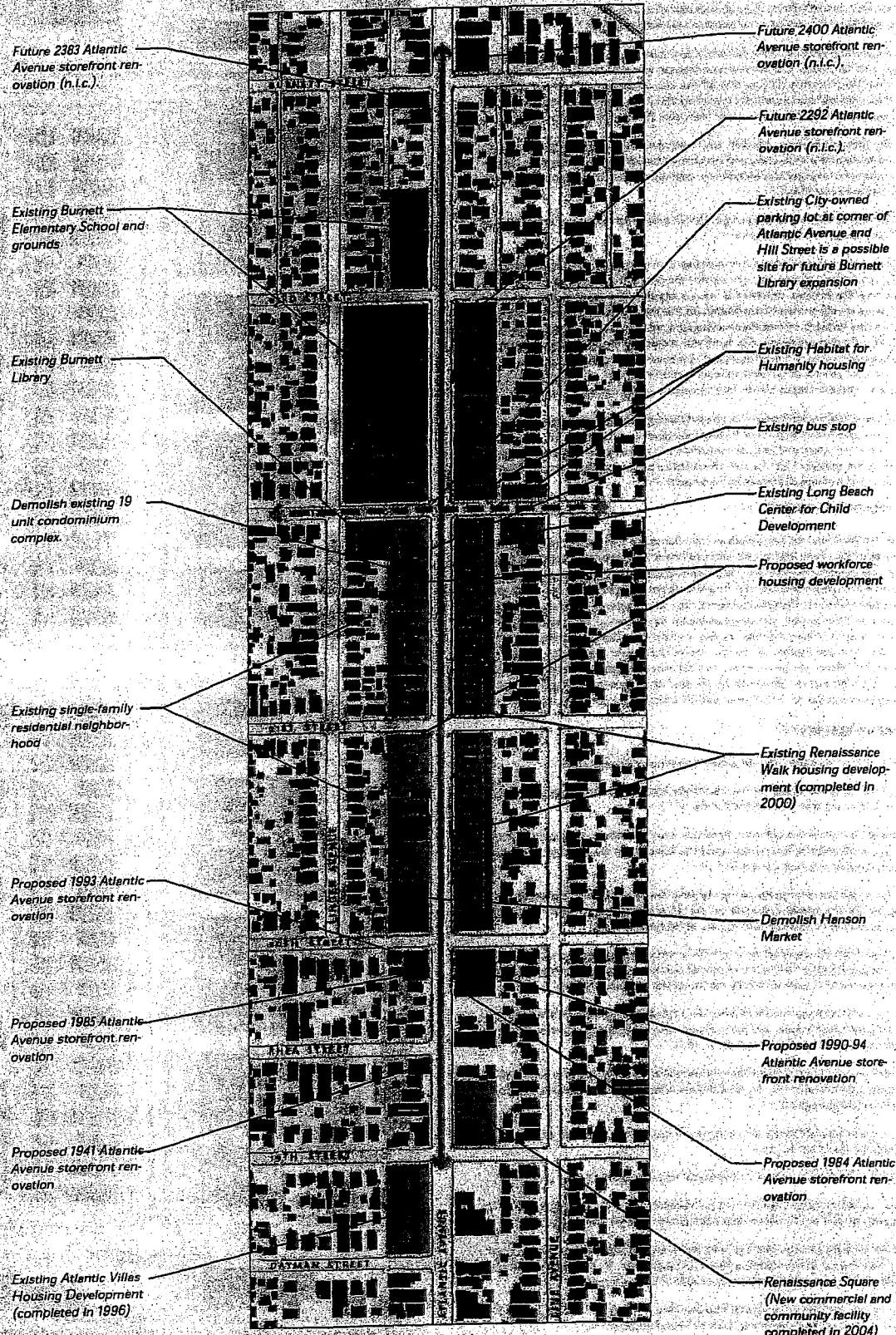
The Master Plan area is within a quarter-mile of the Blue-line station at Pacific Coast Highway and Long Beach Boulevard, a convenient five minute walk.



The Workforce Housing site is shown in yellow. Hanson Market is the building near the corner of Atlantic Avenue and 20th Street. The 19-unit condominium project is the group of buildings just south of Hill Street.



Blue-line Station at Pacific Coast Highway and Long Beach Boulevard.



MASTER PLAN COMPONENTS

2. WORKFORCE HOUSING

An integral part of this Master Plan is the development of workforce housing along the west side of Atlantic Avenue between 20th Street and Hill Street. This proposed housing is contingent on the following requirements:

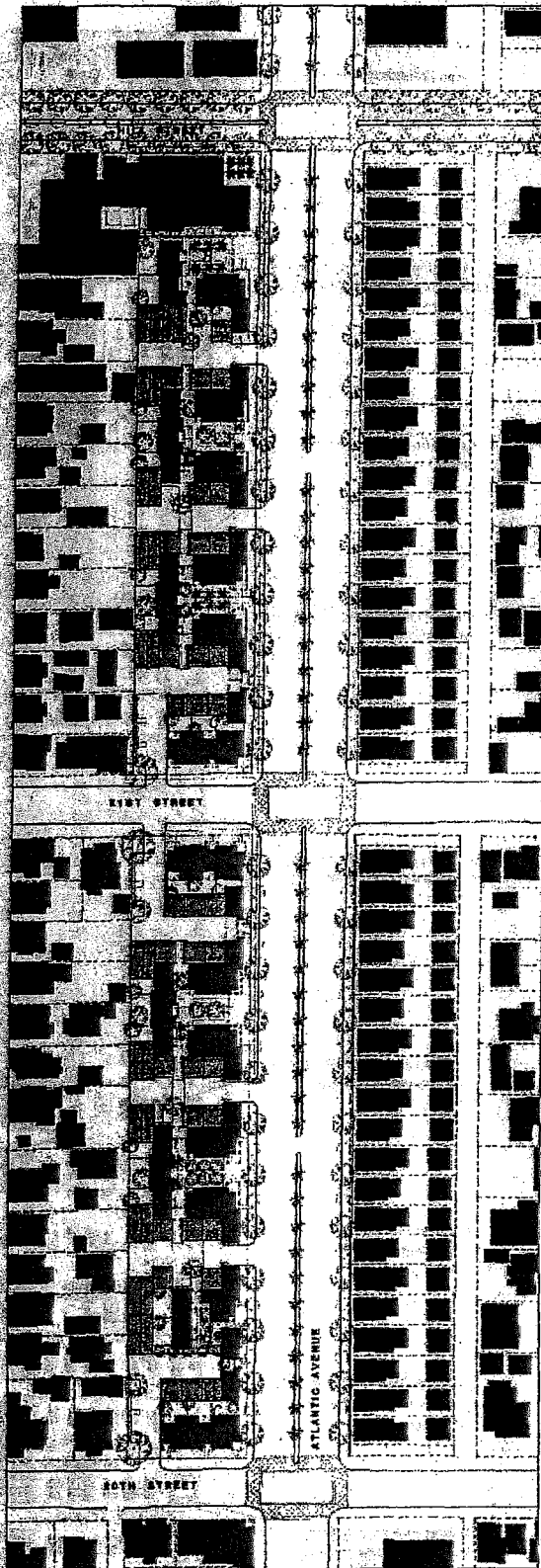
- **Density bonus:** California state law mandates that developments deemed restricted to house low-income households receive up to a 35% density bonus. Utilizing this density bonus, the development can achieve 38 residential units on the south block (between 20th Street and 21st Street) and 33 residential units on the north block (between 21st Street and Hill Street).
- **Demolish Hanson Market and existing condominium complex:** Development of the housing portion of the Master Plan assumes the demolition of both Hanson Market and the existing 49-unit condominium project just south of Hill Street.
- **Conform to existing zoning code:** All designs must follow the existing City of Long Beach Zoning Code.
- **Reduce the amount of required parking:** The existing zoning code requires 2.25 parking spaces per unit. However, the proximity of the site to both the Blue-line Station and several bus routes significantly reduces the need for residents to rely on their automobiles for transport and, by extension, should reduce the amount of required parking spaces. Such a decrease in parking would greatly improve the quality of the project by reducing the amount of paved area in the parking courts (thus allowing for more landscaping and trees). Efforts should be taken to work with the City of Long Beach to cut the required amount of parking for this development by as much as 10-15%.
- **Amend General Plan to remove Street Widening Easement:** The existing 10' wide Atlantic Avenue street-widening easement (see page 18) will negatively affect the proposed housing development in particular as well as the neighborhood in general. Efforts should be taken to amend the General Plan to remove the existing easement requirement.

DEVELOPMENT STANDARDS

This Master Plan outlines development standards for the proposed residential development. The principal intent is to provide a framework for creating buildings, infrastructure improvements, and open spaces that are appropriate to the character of the neighborhood. The Standards are comprised of two elements: *Architectural Types* and *Design Standards*. The *Architectural Types* define building types according to size, shape, relationship to the street, and relationship to open space. Each building type can be of any style. The *Design Standards* define the architectural expression of the individual buildings. These Standards are mandatory. However, genuine architectural invention, based upon the pragmatic, climatic, and contextual demands of the site, is encouraged. Such ingenuity applies to both the design of architectural form and of construction details.

GENERAL STANDARDS

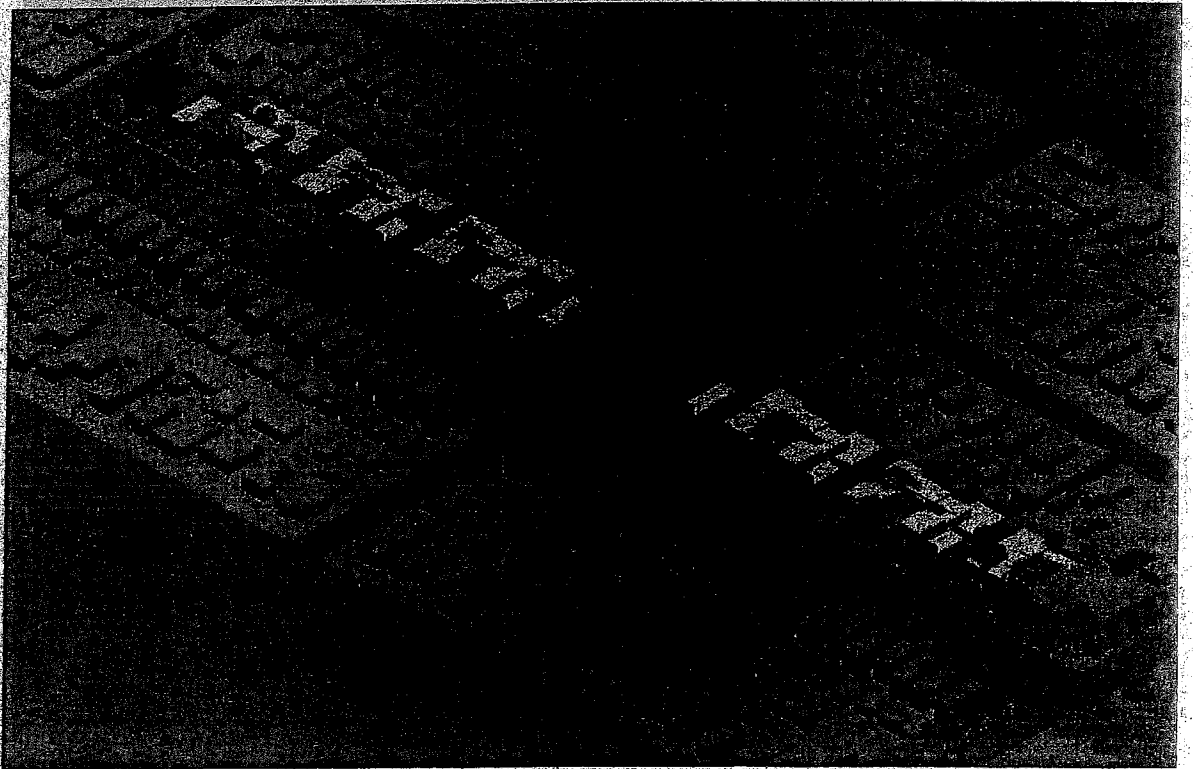
1. Housing types shall either be Courtyard Housing or Quadplexes.
2. Except for units designed for the handicapped as flats, units shall be townhouses (i.e. two stories with interior stairs).
3. Buildings shall provide a unit mix of studios, one, two, three, and four bedroom units. Unit types shall be evenly dispersed throughout the development. Studios and one bedroom units are excluded.
4. Buildings, particularly those facing Atlantic Avenue, shall acknowledge and respond to the residential character of the adjacent neighborhood. Buildings shall be residential in scale and house-like in design.
5. A minimum of two styles is required. The community has voiced a preference for modern and Spanish revival styles to balance the monotonous array of craftsman-style homes immediately across the street (Renaissance Walk).
6. In order to discourage monolithic building facades, vary cornice and/or parapet heights, vary roof slopes, utilize recessed and/or projecting porches and balconies, and provide building offsets (min. 18").
7. A minimum of 75% of the proposed landscaping shall consist of plant species that are drought tolerant. All landscaping shall be consistent with City of Long Beach landscape guidelines.
8. Private space located at the backside of a unit may be enclosed with opaque walls or fences (min. 42" high).
9. Per the Zoning Code, provide a communal area or children's play area.
10. Trash cans/dumpsters and recycling receptacles shall be enclosed with opaque walls or fences. Gates to such enclosures shall also be opaque.
11. Utilities (electric and gas meters) shall be located in the rear half of the property and shall not be visible from the street or courtyards. Utilities (electrical and gas meters, etc.) and trash shall not be located in the courtyards.
12. Parking courts shall be pedestrian-friendly, well landscaped, and include automobile speed-controlling elements (such as speed bumps).



Example of a project designed according to the Architectural Type standards. This scheme, utilizing two Courtyard Housing Types (A & B) and Quadplexes (C), distributes 58 residential units over two blocks. Note that this scheme assumes the future widening of Atlantic Avenue per the City of Long Beach General Plan.



Massing model of the housing development that meets the design standards. Even though the proposed development is more dense (19.6 dwelling units per acre) than the existing, more repetitive, housing development (12.75 dwelling units per acre) across the street, it actually appears to be less dense.



In order to preserve the residential character of the neighborhood, buildings facing the street (shown in dark brown) should be house-like in scale, massing, and architectural detailing. These buildings serve to screen both the higher-density courtyard housing and the parking from the street. Also, since the number of buildings facing the street are fewer in number than those of the development across the street (Renaissance Walk), the density will be perceived to be less.

2. WORKFORCE HOUSING SITE PLAN

SITE PLAN

This plan shows how the housing development could appear on a widened Atlantic Avenue. The plan provides a total of 68 housing units. This plan also shows the Library expanding to the corner of Hill Street and Atlantic Avenue.

A. Burnett Library expansion.

B. Housing screens view of parking from street. Front doors, porches and public rooms face the street.

C. Courtyard Housing is oriented around a secured, lushly landscaped communal outdoor space.

D. Pedestrian path linking courtyards delineated by change in paving material.

E. Large tree screens the parking lot from the street.

F. This corner unit acknowledges both Atlantic Avenue and 21st Street with wrap around porches and entries and public rooms that face the street.

G. Duplex is oriented with its front door and porch facing the street.

H. Common laundry room.

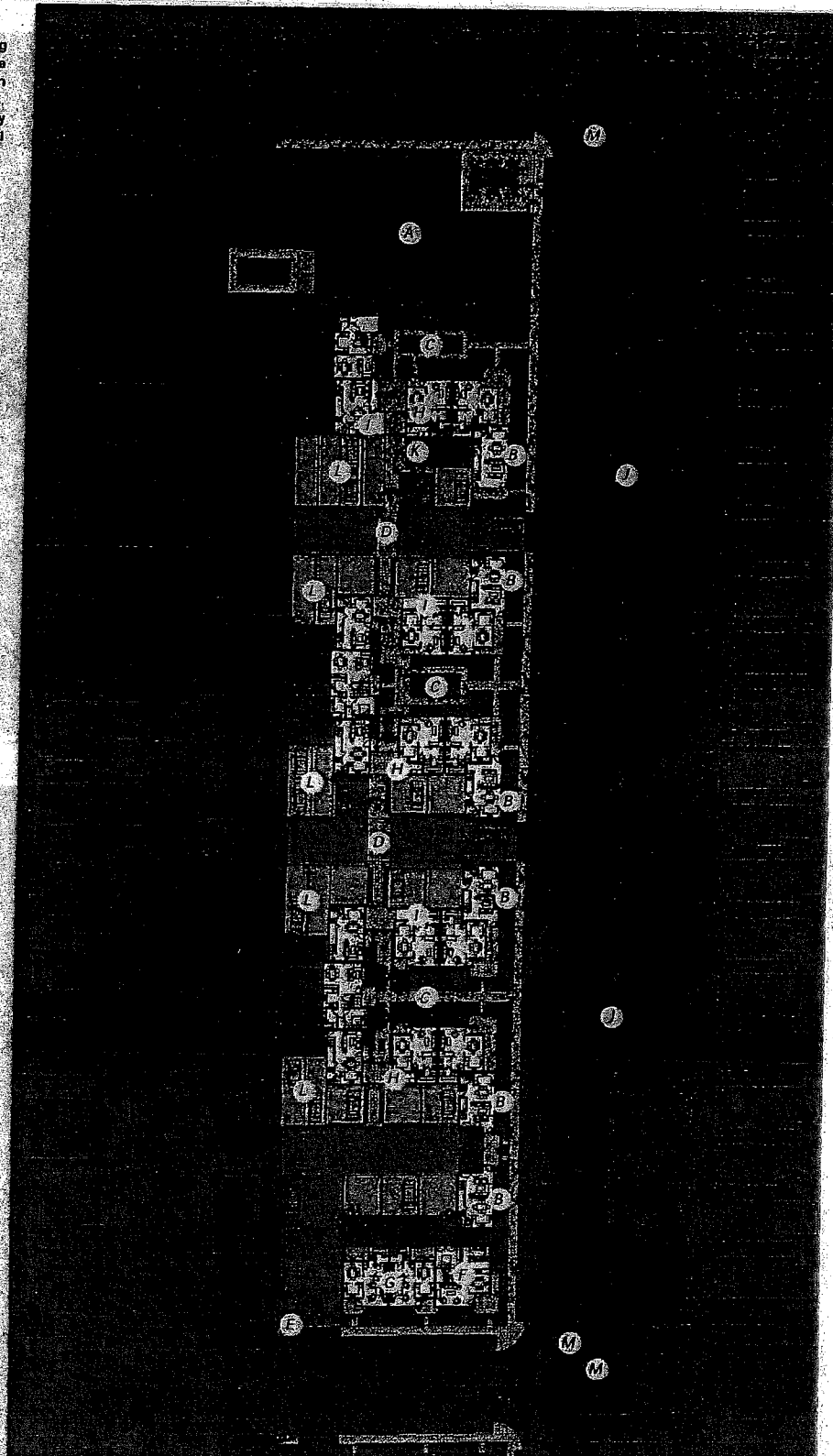
I. Common trash room/enclosure.

J. New street median to slow traffic and provide identity to neighborhood.

K. Community space.

L. Covered tandem parking providing two parking spaces per garage.

M. New traffic-calming crosswalk comprised of materials different from adjacent road surface (such as pavers or scored concrete).



2. WORKFORCE HOUSING FRONTAGE TYPES

The following frontage types are permitted:

1. Frontyard & Porch - Frontyards and porches are a common frontage associated with single-family houses. In this frontage type, the front facade is setback from the right-of-way, the frontyard being the space between the front facade and the sidewalk. The front yard may also be raised from the sidewalk, creating a small retaining wall at the property line with entry steps to the yard. The porch is appended to the front facade and may approach into the frontyard. Porches are subject to the following conditions:

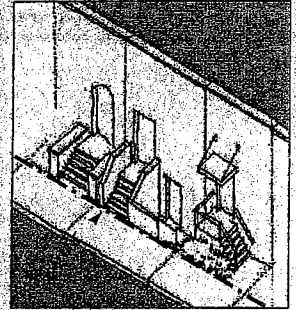
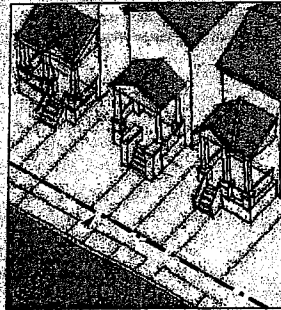
- (a) A great variety of porch designs are possible, but none shall be less than 6 feet deep (clear), 10 feet wide (clear) and 10 feet tall (clear).
- (b) Porches may be at grade or raised to transition into the building. In no case shall porches be raised more than 3 feet from the adjacent grade.

2. Stoop - Stoops are elevated entry porches/stairs placed close to the frontage line with the ground story elevated from the sidewalk, securing privacy for the windows and front rooms. This type is suitable for ground-floor residential uses at short setbacks. A porch or shed roof may also cover the stoop.

- (a) In no case shall the ground story be elevated more than 3 feet above the adjacent sidewalk.
- (b) Stoops must correspond directly to the building entry(s) and be at least 3 feet wide (perpendicular to or parallel with the adjacent sidewalk).

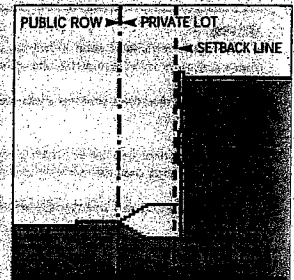
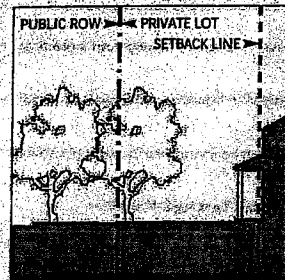
Frontyard / Porch

Stoop / Dooryard



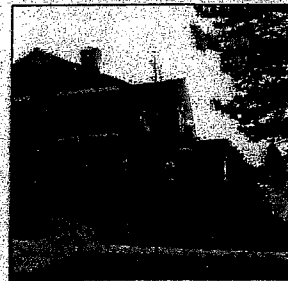
Frontyard & Porch : Diagram

Stoop : Diagram



Frontyard & Porch : Section Diagram

Stoop : Section Diagram



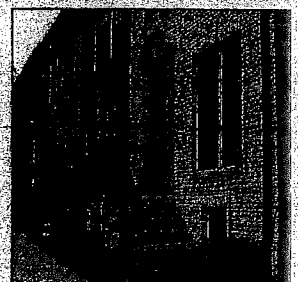
Frontyard & Porch : Illustrative Photo

Stoop : Illustrative Photo



Frontyard & Porch : Illustrative Photo

Stoop : Illustrative Photo



Frontyard & Porch : Illustrative Photo

Stoop : Illustrative Photo

2. WORKFORCE HOUSING ARCHITECTURAL TYPES

COURT

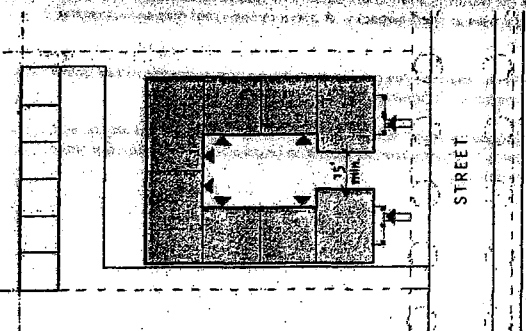
Courts are an architectural type consisting of dwelling units that can be arranged in three possible configurations: townhouses, flats, and flats over flats. These are arrayed next to each other to form a shared type that is partly or wholly open to the street. Following are the required standards for this housing typology:



In this courtyard, all units are entered directly from the courtyard. A fountain and landscaping make the courtyard an inviting place to occupy.

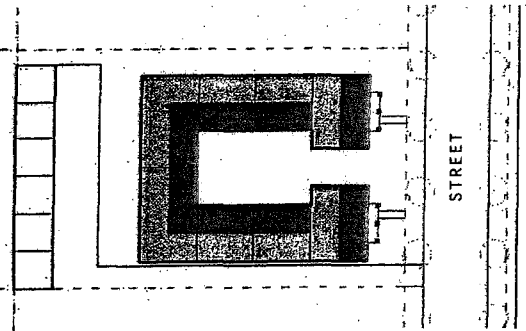
1. ACCESS:

- a. The main entrances to each individual unit shall be accessed directly from a porch or from a common porch facing the courtyard.
- b. Units facing the street shall be accessed directly from a porch or a common porch facing the street.
- c. Second story flats shall be accessed directly through exterior or interior stairs. No more than two dwellings shall be accessed per stairway.
- d. The entrance way to a courtyard from the street shall be at least 15' wide.



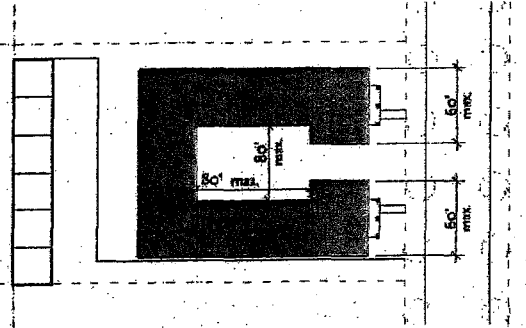
2. FRONTAGE:

- a. Public rooms, such as living rooms and dining rooms, shall be oriented towards the courtyard.
- b. Units that face the street shall have public rooms oriented towards the street.
- c. Stoops, porches, and arcades are allowable frontage types to provide a transition from public to private/indoor to outdoor at the entrance to units in the courtyard.
- d. Porches, stoops, forecourts, front yards are allowable frontage types to provide a transition from public to private/indoor or outdoor space at the entrance to units on public streets.
- e. Patios can be located in the courtyard if the courtyard exceeds 60 feet in width. Patios can also be located on the service side of each unit.
- f. Private patios fronting the street are permitted if they are defined by a low wall (36" max.) or hedge.



3. BUILDING LENGTH:

- a. Buildings facing a public street may not be longer than sixty feet (60').
- b. Buildings facing the courtyard may not be longer than eighty feet (80').





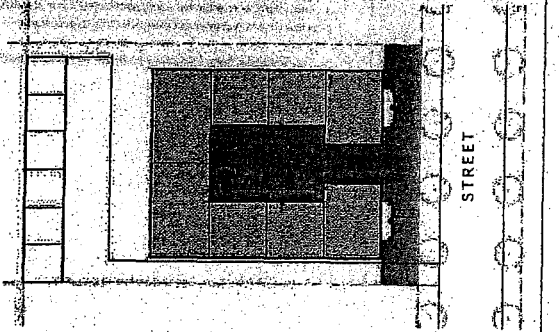
From the street this 20-unit courtyard housing development appears as two large single family homes.

4. OPEN SPACE:

- a. Courtyards shall be a minimum of 30 feet wide and a minimum of 45' long. Porches may protrude up to 5' max. into the courtyard space.
- b. Full courtyards shall be defined on all four sides by building. Partial courtyards shall be defined by building on three sides.

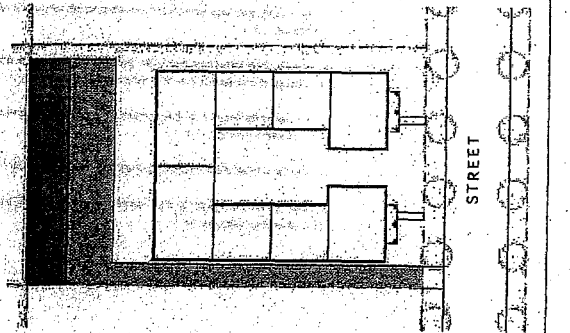
5. LANDSCAPE:

- a. Partial courtyards adjacent to parking lots shall be screened by a minimum 5' wide landscape zone.
- b. Courtyards shall be visible from the street.
- c. Courtyards shall be landscaped with at least one tree (min. 4B" box) that eventually grows taller than the buildings.
- d. Fences and gates separating the courtyard from the street and/or parking courts shall be transparent in character and set back from street face of building.



6. PARKING:

- a. Parking shall be located behind, under, or on the side of the court.
- b. Parking shall be fully secure and not visible from the street.
- c. Access to subterranean parking (if used) shall be from the courtyard. Elevators and stairs to subterranean parking shall be absorbed into the body of the building and not be free-standing elements located in the center of the court.
- d. Security gates and fences shall be located behind the street face of adjacent buildings (i.e. security gates shall not align with or protrude beyond the street face of the adjacent structure).



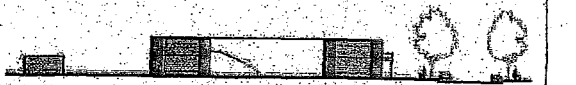
7. MASSING:

- a. All buildings shall be single-family house derivative and compatible.
- b. Units or parts of units can be incorporated into one house form.
- c. Roof volumes may be occupied by habitable space.
- d. Two-story buildings shall be located to maximize the reach of sunlight into courtyards and patios.



8. EXPOSURE TO LIGHT AND AIR:

- a. Each unit shall have two sides exposed to the outdoors.
- b. Courtyards shall be oriented to receive maximum exposure to the southern sky.
- c. Courts shall be massed to maximize the exposure of neighboring buildings to light and air.



2. WORKFORCE HOUSING ARCHITECTURAL TYPES

QUADPLEX

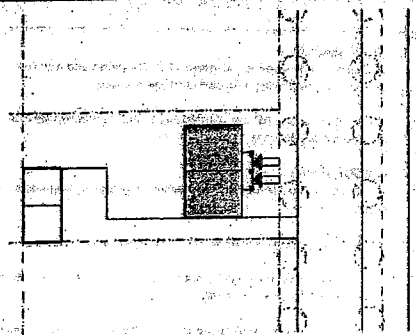
Quadplexes are multiple dwelling forms that are architecturally presented as large single-family houses in their typical neighborhood setting. A quadplex may split in two to create a pair of duplexes. To the right are examples of quadplexes and duplexes in Long Beach. Though the buildings vary in style, all three share the same architectural standards outlined below.



The ground floor units of this tudor style quadplex are accessed via stoops accessed directly from the sidewalk. The two second floor units share a common stair that is also accessed directly from the sidewalk.

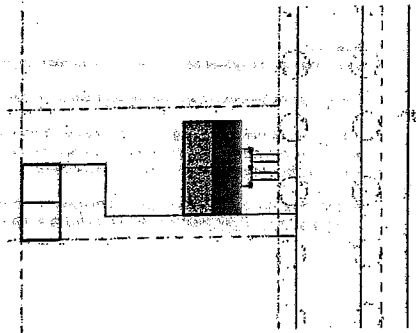
1. ACCESS:

- a. The main entrance to each individual unit shall be accessed directly from a porch or from a common porch facing the street.
- b. Second floor flats shall be accessed directly through exterior or interior stairs.



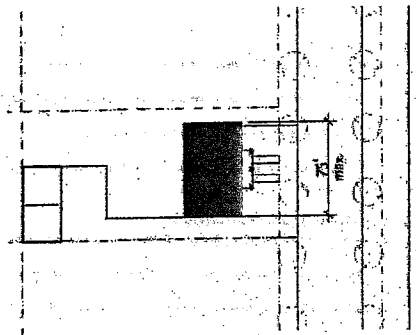
2. FRONTAGE:

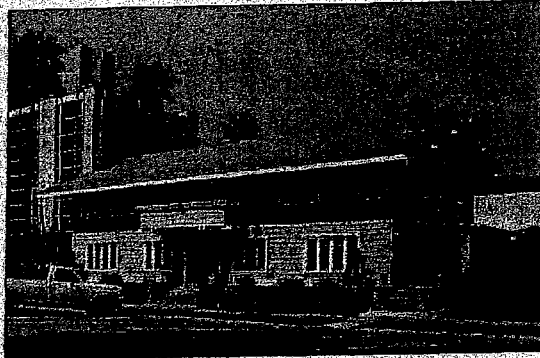
- a. Public rooms, such as living room and dining rooms shall, be oriented towards the street.
- b. Stoops and porches shall be provided to form a transition from public to private/indoor to outdoor at the entrance of the unit.
- c. All porches must have a portion that is covered with a roof, trellis, or second-floor building mass.
- d. Corner units shall have porches that face both streets.
- e. Private patios fronting the street are permitted if they are defined by a low wall (36" max.) or hedge.



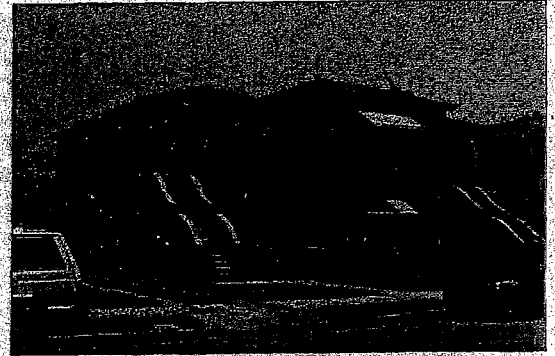
3. BUILDING LENGTH:

- a. Buildings facing a public street may not be longer than seventy-five feet (75').





A quadplex in the Prairie style



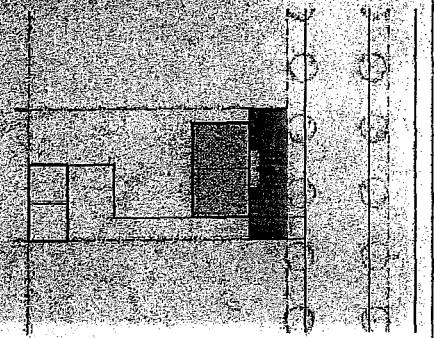
A duplex in the Spanish style

4. OPEN SPACE:

- a. Sideyards shall be a minimum of five feet (5') for a one-story building, and eight feet (8') for a two-story building.
- b. Back yards shall be a minimum of ten feet (10') by ten feet (10').

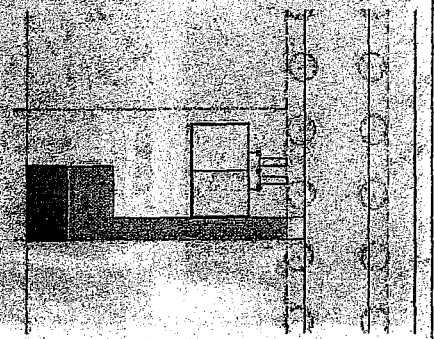
LANDSCAPE:

- 5. a. Front yard landscaping shall not exceed the height of the front porch.



6. PARKING:

- a. Parking shall be located behind each building and shall be accommodated in garages, carports or surface parking.
- b. Parking shall be fully secure and not visible from the street.
- c. Security gates and fences shall be located behind the street face of adjacent buildings (i.e. security gates shall not align with or protrude beyond the street face of the adjacent structure).

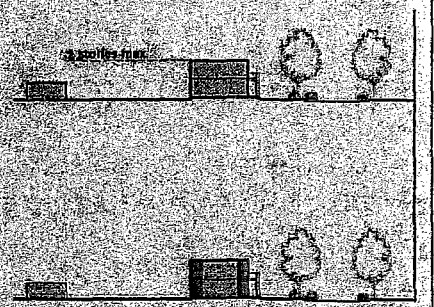


7. MASSING:

- a. All quadplexes shall be articulated as large single-family homes.
- b. Buildings can be designed either as stacked flats or abutting townhouses.
- c. Roof volumes may be occupied by habitable space.

EXPOSURE TO LIGHT AND AIR:

- 8. a. Each unit shall have a minimum of two sides exposed to the outdoors.



2. WORKFORCE HOUSING DESIGN STANDARDS

PORCHES, STOOPS, AND BALCONIES

In order to activate the sidewalk and provide "eyes on the street," all front doors shall face either the street or courtyards. Porches and stoops shall provide a semi-private transition between the street and the private space of the residence (1-4). Despite relatively small front yard setbacks, the main entrances to the residences pictured below all face the street. In all cases porches are to be raised a couple of feet above street level. All units must have direct access porches to each unit facing the street or fronting a courtyard.

Porches, stoops, and awnings also help define and frame the entries to individual units as well as provide shelter in inclement weather.



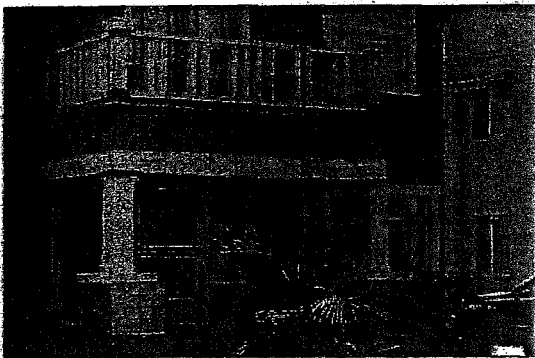
1



2



3



4

MASSING STRATEGIES

A variety of architectural strategies shall be used to articulate the massing of a building, including: bay windows (5); second floor balconies (6); trellises (6, 7); recessed volumes (7); corner balconies (8); stepped-back top floors (8); and varying roof heights and slopes (9).

Even though the maximum height limit permitted by the Zoning Code is twenty-eight feet (28'), building heights shall not all be the same. For instance, some building volumes could be 28' high, others could be 24', and still others 12'.



5



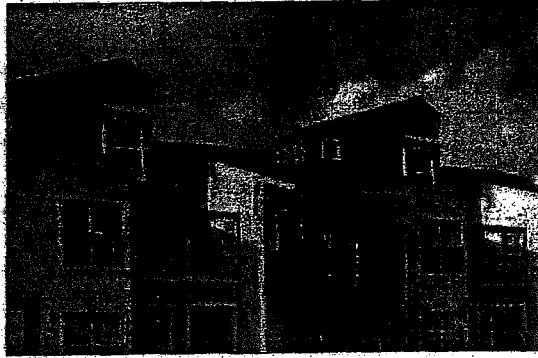
6



7



8



9

CLADDING

The use of plaster shall be minimized or avoided altogether. Alternative materials such as cementitious fiber board (11) or metal siding (12), which are comparable in cost to plaster, are to be utilized. The use of deep, saturated colors is required and shall be employed to highlight massing articulation (10) and architectural details. When plaster or stucco is used, it should be a steel trowel smooth finish.

ARCHITECTURAL DETAILS

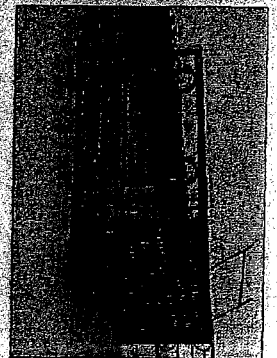
Awnings (13, 15), projecting balconies (14), rafter tails, and other architectural details shall be applied to add definition and interest to building facades. Such details should also take advantage of climatic considerations such as sun shading and protection from the elements.



10



13



14



15



11



12

2. WORKFORCE HOUSING DESIGN STANDARDS

WINDOWS AND DOORS

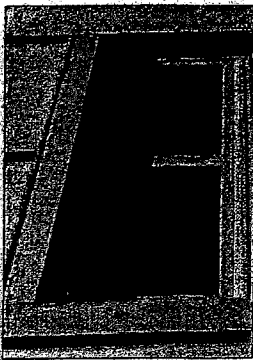
In order to prevent wall surfaces from being monotonously flat, windows and doors shall be recessed at least 2-1/2" from face of exterior finish to exterior window frame (1-5). Even inexpensive vinyl windows can be recessed to create interesting shadows (1). Plant-ons to achieve the required window depth are not allowed.

Mullions placed between double panes of glass are forbidden. The minimum depth of the exterior side of mullions and muntins is 3/4" thick.

Other strategies for adding interest to wall surfaces include metal transom panels to increase the perceived size of a window opening (2, 4).

Window detailing shall be consistent with the overall architectural style (5).

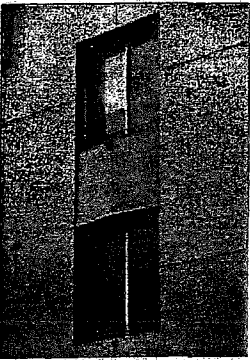
Exterior-mounted security grills are not allowed.



1



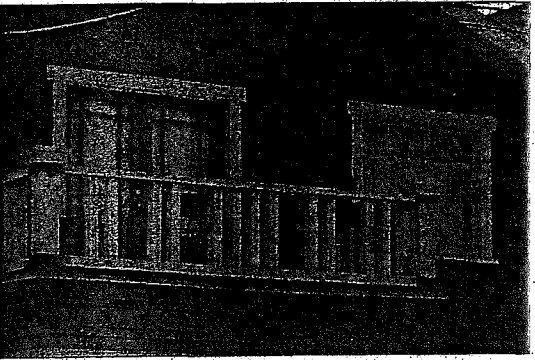
3



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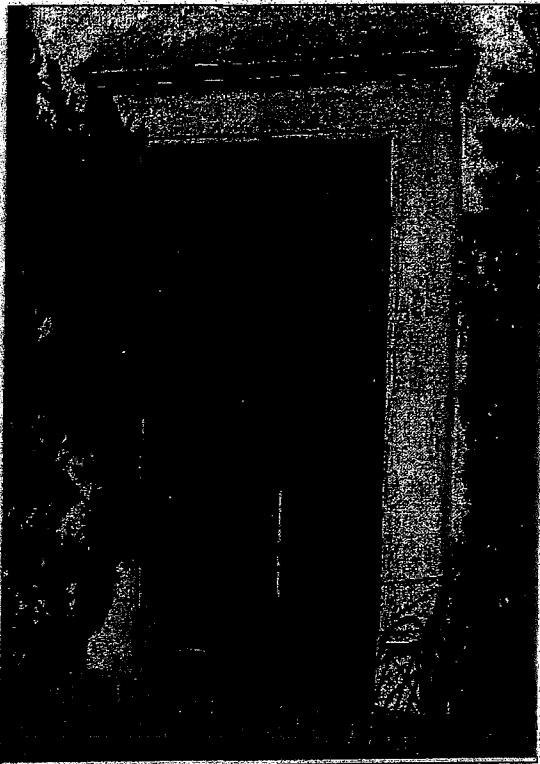
5

FRONT DOORS AND FRONT ENTRIES

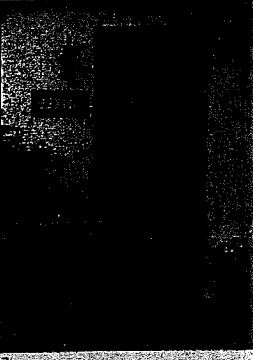
Front doors shall clearly define the entrance to a residence. In order to insure that the entry location is completely obvious, front doors should be painted or stained a unique color, should utilize distinctive hardware, and should be well lit (6-8). Other methods of creating distinct entries include view windows (7, 8) and interesting street address designations (8).

Regardless of the building style, front doors shall be residential in character.

Wrought iron or metal security doors shall not be permitted.



6



7



8

PARKING LOTS AND PARKING COURTS

Parking lots and courts should be designed as usable and attractive places and not merely as residual automobile spaces. Planting trees within a parking lot or parking court softens and dignifies an otherwise bland space (9). "Hollywood driveways" (comprised of groundcover or other low plantings placed in the middle of a driveway where an automobile's tires do not roll) are a wonderful way to add more green (10). Another way of greening a parking court is to plant bushes and/or trees immediately adjacent to or between garage door openings (10).

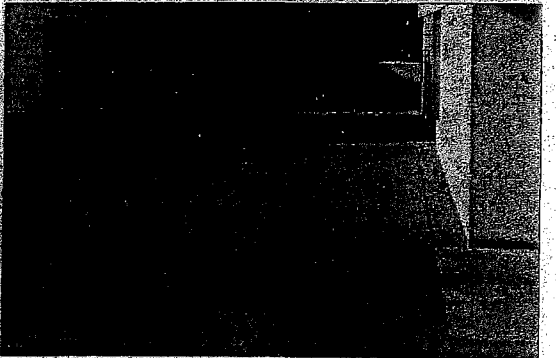
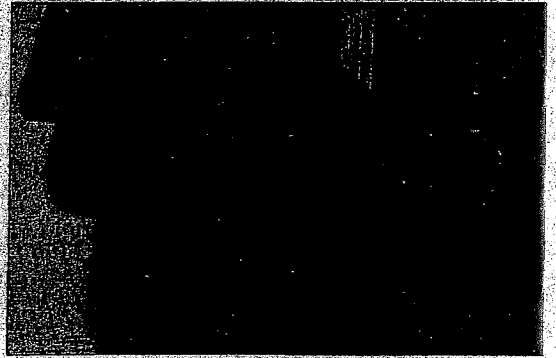
In addition to meeting the code-mandated automobile requirements, parking courts shall also be capable of accommodating a wide range of social and recreational activities such as outdoor events and basketball.

Due to financial constraints, not all cars may be able to be kept in enclosed garages. However, providing some enclosed garages with second floor living space will help reduce the scale and breadth of open-air parking courts.

PAVING

All pathways shall be constructed of permanent materials that compliment the architecture of the buildings. Appropriate materials include concrete pavers and stamped colored concrete. Informal paving materials such as decomposed granite and stepping stones (14) are permitted in lower traffic areas.

Paving in parking courts and parking lots shall be of permanent materials such as concrete pavers (11) colored concrete (12), or concrete combined with decorative paver or brick bands. Asphalt is not allowed. Special effort should be made to accommodate landscaping within parking courts - despite tight space constraints (13).



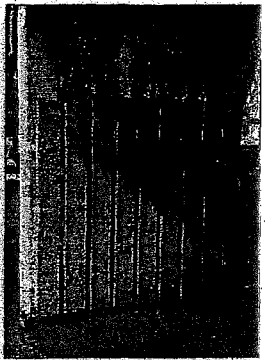
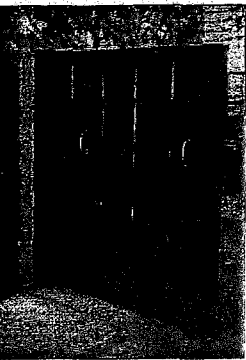
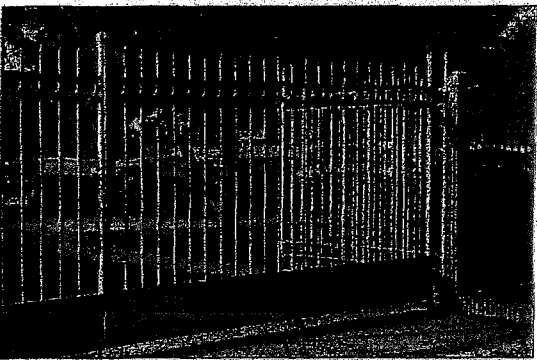
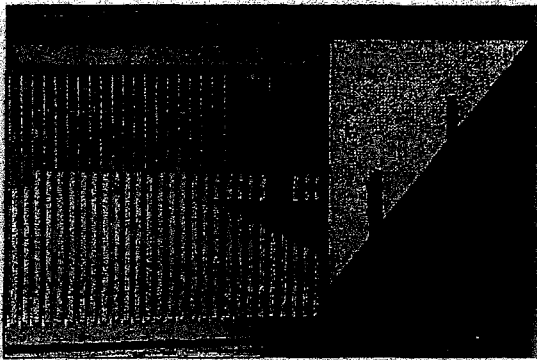
2. WORKFORCE HOUSING DESIGN STANDARDS

GATES

All gates separating communal areas shall be transparent in character. Thus, gates separating courtyards from the street, gates between courtyards and parking courts, and gates between parking courts and the street should all be see-through (1, 2).

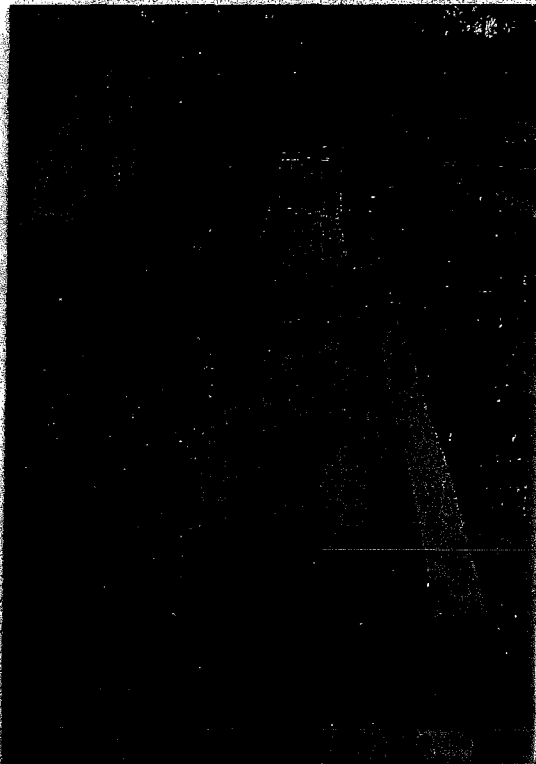
Gates or fences enclosing backyard private space may be opaque. Similarly, trash and utility enclosures should be opaque (3, 4) and be designed to be durable, yet unique in character.

Gate designs shall match the character of the adjacent building architecture. Gate colors shall coordinate with adjacent buildings. Gates shall be constructed of horizontal and vertical frames that differ in size and profile from one another (i.e. bars of the same size and shape cannot be used for both the vertical and horizontal members of a gate or fence). Chain link fences and standard tubular steel picket fences (3/8" square spaced 4" on center) are not allowed.



FOUNTAINS

At least one fountain is required in each main courtyard. Fountains add vitality and beauty to courtyards. They can divide a space (5), activate blank walls, or occupy the focal point of a courtyard (7). Fountains also provide soothing background noise that masks the traffic noise from nearby streets such as Atlantic Avenue and sounds from surrounding housing units. Fountains can be grand in scale (5) or modest in character (6). Generic, prefabricated fountains are not allowed.

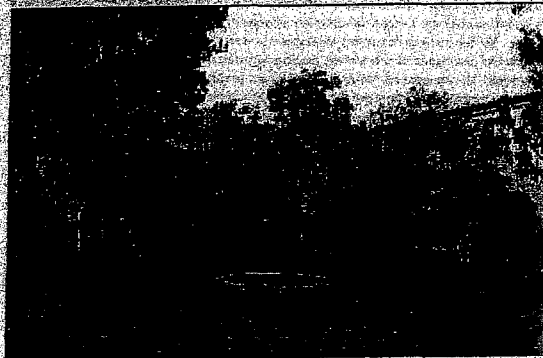


LANDSCAPING

Landscaping should be an integral part of all outdoor spaces. Courtyards should be designed as occupiable spaces and not merely as outdoor corridors (7). Consequently, landscaping should be designed to accommodate informal outdoor activities such as small gatherings among residents or play space for children.

The majority of plants and trees shall be of drought-tolerant species (8, 9).

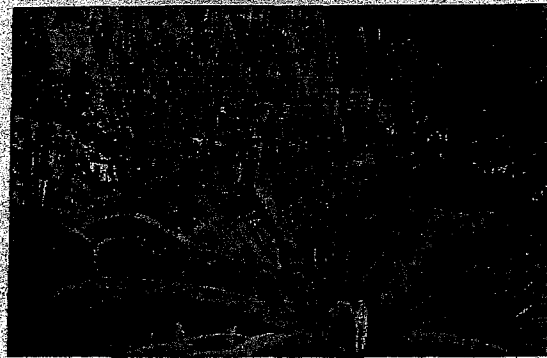
At least one tree (min. 48" box) shall be planted in each courtyard. Trees should be selected from species that grow to a minimum of 30' in height.



7



8



9

3. INFRASTRUCTURE IMPROVEMENTS

Both the Atlantic Avenue and Hill Street right-of-ways have fallen into serious disrepair. Implementing the following infrastructure improvements will transform the physical appearance of the neighborhood (though funding for these improvements is not yet in place, discussions on obtaining funding are ongoing):

Curb, gutter, sidewalk, and roadway: Replace missing curbs and broken gutters, repair cracked and pot-holed sidewalks, and repave the roadways.

Street trees and landscape: In the short term, prune unkempt street trees, replace missing street trees, and manicure sidewalk planters. In the long term, establish a consistent street tree pattern along Hill Street and Atlantic Avenue comprised of appropriately-scaled tree species. Particularly:

Atlantic Avenue: The existing *Crepe myrtle* trees on the east side of Atlantic Avenue between 20th Street and Hill Street, though beautiful accent trees, do not grow large enough to be appropriate street trees for a major boulevard such as Atlantic Avenue. To alleviate the problem, remove and replace every other *Crepe myrtle* with a large canopy tree such as the London Plane Tree (*Platanus acerifolia* 'bloodgood') or the Brisbane Box Tree (*Tristania conferta*). Relocate the removed *Crepe myrtles* across the street (between every other large canopy tree) or to the Hill Street traffic median. The street median should be planted with palm trees such as California fan palms (*Washingtonia filifera*).

Hill Street: Currently, the north side of Hill Street is lined by Carrotwood Trees (*Cupaniopsis anacardioides*) while the south side of the street is lined by Southern Magnolia Trees (*Magnolia grandiflora*). Only one of the aforementioned trees should be picked as the Hill Street tree and should line both sides of the street. The street median should be planted with *Crepe myrtle* trees.

Street lighting: Introduce pedestrian-scaled street lighting along both sides of Atlantic Avenue and along both sides of Hill Street. This can be achieved by adding separate 12'-0" high fixtures between the existing cobra-head fixtures or by adding a secondary fixture to the cobra-head light pole. The existing cobra-head fixtures, designed to illuminate the roadway for automobiles, do a poor job of providing sufficient light along the sidewalk.

Bus stops and street furniture: Redesign the bus stops and associated street furniture along Atlantic Avenue to be more accommodating. Proposed bus stops should provide bus patrons with comfortable places to sit as well as provide shel-

ter from the elements. The bus stop at the corner of Atlantic Avenue and Hill Street could be incorporated into the proposed pergola structure used to screen the Library parking lot from the street and sidewalk (see page 23).

Traffic calming: Slow-down traffic along Atlantic Avenue and Hill Street, particularly during the non-rush hour times of day:

- Rebuild crosswalks from paving materials that are different from the adjacent road surface (such as concrete pavers or stamped, colored concrete).
- Introduce curb bulb-outs to slow traffic down at street intersections and to shorten the distance pedestrians must walk to cross the street.
- Retain the existing parallel parking on both sides of Atlantic Avenue and Hill Street to slow traffic and to provide a barrier between pedestrians and passing traffic.
- Introduce medians in the center of Atlantic Avenue and Hill Street (see pages 20 and 21).

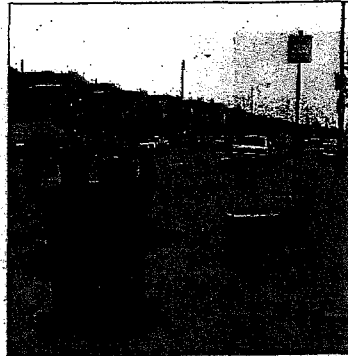
Atlantic Avenue street-widening easement: The City of Long Beach General Plan currently requires a 10' wide street-widening easement along Atlantic Avenue. Widening Atlantic Avenue would be very detrimental to the pedestrian character of the neighborhood. Wider streets with more traffic lanes tend to encourage more traffic and promote increased vehicular speeds (particularly during non-rush hour times). Wider streets occupied by faster moving traffic will also compromise the pedestrian character of the street, posing greater danger to pedestrians crossing the street. In the case of Atlantic Avenue, a considerable amount of the pedestrians are children attending Burnett Elementary School, many of whom must cross Atlantic Avenue each morning and afternoon on their way to and from school. Other young pedestrians include children visiting the Burnett Library and attendees of the Long Beach Center for Child Development. Wider streets occupied by fast moving traffic also make existing and planned housing built along Atlantic Avenue less hospitable. Faster moving traffic creates more noise, generates more dust, and discourages the occupation and enjoyment of front porches and front yards. Finally, most of the buildings along Atlantic Avenue are built to the front setback line. Widening the street to accommodate more and/or wider lanes would require the demolition of all buildings constructed to the front setback line. This Master Plan recommends that the General Plan be amended to remove the Atlantic Avenue street widening requirement.



Atlantic Avenue as it passes Burnett Elementary School. Introducing street trees along the sidewalk will screen the existing chain-link fence as well as provide shade for passing pedestrians. Introducing a planted median in the center of Atlantic Avenue will slow traffic speeds along Atlantic Avenue.



Unkempt street trees, broken curbs and gutters, and scruffy sidewalk planters all diminish the character of the neighborhood.



The pedestrian character of Atlantic Avenue is seriously compromised by cracked and pot-holed sidewalks (that violate handicapped access codes), by the absence of street trees on the west side of Atlantic Avenue, and by uncomfortable and uninviting bus stops.



An interstate freeway route sign recently installed on Atlantic Avenue. The sign is the first step towards transforming Atlantic Avenue into a car dominated thoroughfare, thereby seriously hampering the creation of a vibrant and coherent neighborhood center.

Introduce diagonal parking for Burnett Elementary School employees (see p. 25).

Replace existing chainlink fence with more permanent fence or introduce pergola (see p. 25).

Repair curb, gutter, and sidewalks along Atlantic Avenue and Hill Street.

Introduce median along Hill Street planted with flowering trees such as Crepe myrtle.

Introduce new crosswalks paved with materials other than asphalt and provide curb bulb-outs.

Introduce median along Atlantic Avenue planted with palm trees.

Introduce comfortable and inviting bus shelter.

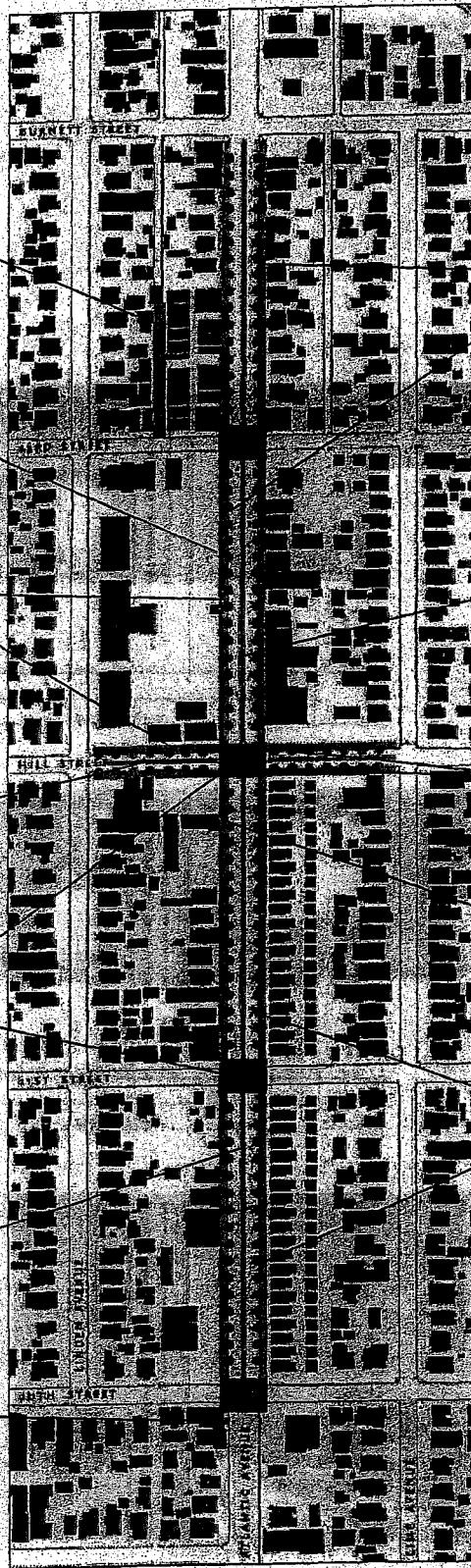
Introduce new street trees, preferably alternating pattern of large canopy trees and smaller flowering trees.

Introduce median planted with palm trees.

Clean-up existing street trees and replace missing street trees along Hill Street.

Introduce comfortable and inviting bus shelter. Perhaps incorporate shelter into proposed pergola at east side of parking lot (see page 4).

Remove and replace every other Crepe myrtle with a large canopy street tree. The removed Crepe myrtles should be relocated either across the street (in between every other large canopy tree) or to the Hill Street traffic median.



INFRASTRUCTURE IMPROVEMENTS

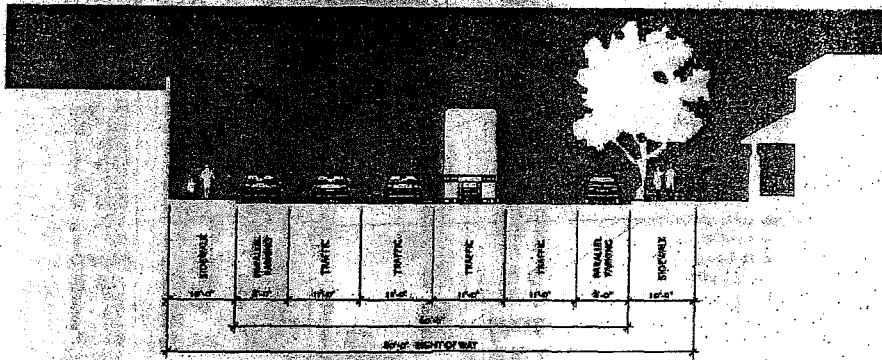
3. INFRASTRUCTURE IMPROVEMENTS PROPOSED TRAFFIC MEDIANS

ATLANTIC AVENUE MEDIAN

The community is concerned about automobile speeding, pedestrian safety (particularly children), and noise along Atlantic Avenue. Introducing a median in the center of Atlantic Avenue will slow traffic, provide a midway stopping point for pedestrians crossing the street, and alleviate the visual and aural impact of such a major street on residences, businesses, and other community venues (Burnett Elementary School and Burnett Library) fronting Atlantic Avenue. A median also provides a distinguishing feature to the neighborhood that signals to motorists and pedestrians of their arrival into and/or departure from the neighborhood center.

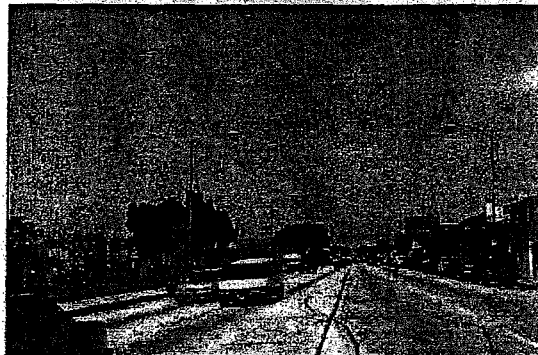
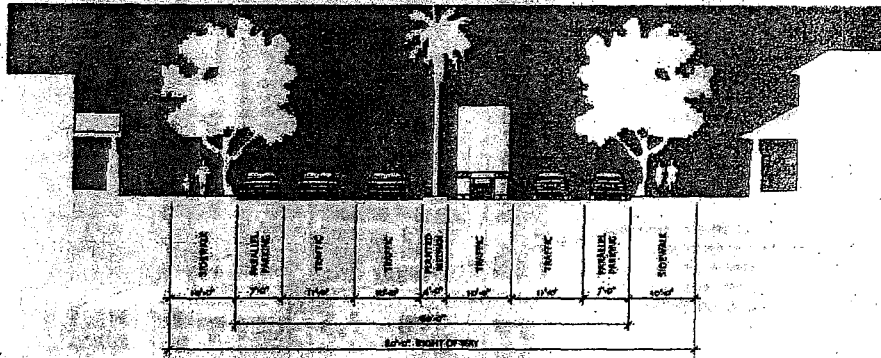
EXISTING RIGHT-OF-WAY

The existing Atlantic Avenue right-of-way consists of two 11-foot wide traffic lanes in each direction flanked by parallel parking on each side. Designed to rapidly convey automobiles from Downtown to the 405 Freeway, the existing street configuration promotes automobile efficiency at the expense of pedestrian walkability and safety. Markedly absent from the existing right-of-way are street trees along the west side of Atlantic Avenue.



PROPOSED RIGHT-OF-WAY

The proposed Atlantic Avenue right-of-way introduces a 4-foot wide planted median down the center of Atlantic Avenue. The median should be planted with low-maintenance tree species such as California fan palms (*Washingtonia filifera*); hearty, drought-tolerant flowers or cobble should occupy the ground area between the trees. The widths of the traffic lanes are reduced and the parallel parking is kept on both sides of the street. Consistent street trees are planted on both sides of the street.



Atlantic Avenue (looking north from Hill Street) as it exists today.



Example of a 4-foot wide street median planted with palm trees (Bellflower Boulevard near Spring Street).

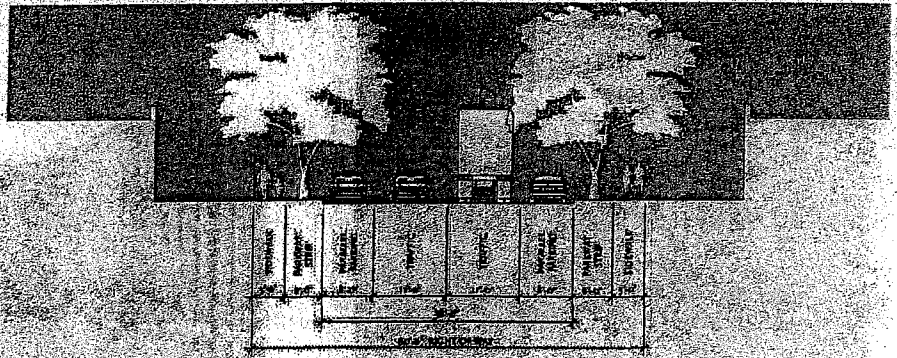
HILL STREET MEDIAN

Currently, automobile traffic along Hill Street travels too fast. Traffic speed along Hill Street is of utmost concern due to the presence of the Burnett Elementary School, the Burnett Library, and the Long Beach Center for Child Development - institutions attended and visited by children and their families on a daily basis. In order to improve the safety and comfort of pedestrians - particularly children - walking along and across Hill Street, automobile traffic needs to be significantly slowed-down. Introducing a planted median in the center of Hill Street is an extremely effective way of achieving this end.

The Atlantic Avenue and Hill Street medians will also be instrumental in marking and distinguishing the small civic center formed by Burnett Elementary School and the Burnett Library.

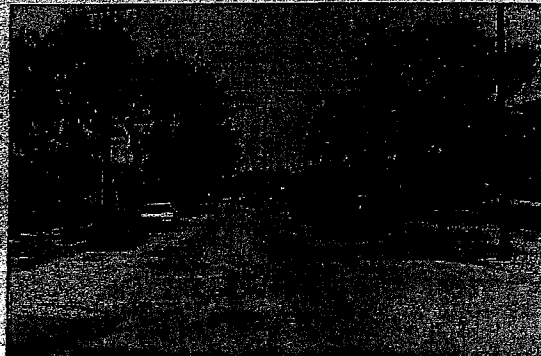
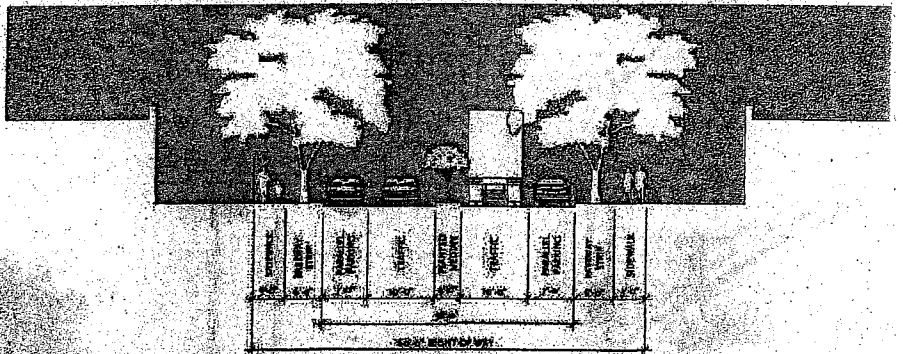
EXISTING RIGHT-OF-WAY

The existing Hill Street right-of-way consists of one 11-foot wide traffic lane in each direction flanked by parallel parking on each side. Though a smaller street than Atlantic Avenue, Hill Street nevertheless conveys a large volume of automobile traffic moving at considerably high speeds. Mature street trees line both sides of Hill Street.



PROPOSED RIGHT-OF-WAY

The proposed Hill Street right-of-way introduces a 4-foot wide planted median down the center of Hill Street. Median trees could be a low-maintenance species of flowering tree such as crepe myrtle. The traffic lane is narrowed and the parallel parking is retained on both sides of the street.



Hill Street looking east towards Atlantic Avenue from Linden Avenue. The presence of the Burnett Library (on the right) and Burnett Elementary School (on the left) on this stretch of Hill Street means the presence of many children.

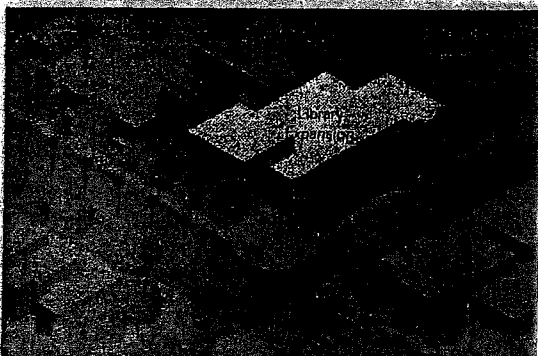


Example of a 4-foot wide street median planted with crepe myrtle trees (Boulevard Boulevard south of Spring Street).

4. BURNETT LIBRARY

The Burnett Library is an invaluable neighborhood institution that occupies a prominent position within the community. However, from a physical standpoint, the Library has no visibility from Atlantic Avenue. The transformation should occur in two-stages: in the long term expand the Library to provide much needed space and to extend its presence to Atlantic Avenue; in the short term, upgrade the physical presence of the existing building and adjacent parking lot.

Long Term Solution: Expansion of the Burnett Library has been identified as a priority by the community and Library staff. Currently the Library is experiencing a massive shortage of space, particularly to house its after-school teen program. The 10,000 square foot Atlantic/Hill site (currently a 23 space parking lot owned by the City of Long Beach) offers a perfect location for expansion of the Library. The future addition would also increase the Library's visibility by providing a presence on Atlantic Avenue to passing motorists, bus users, and pedestrians. Parking for the new facility could be accommodated in either a subterranean garage or by acquiring land along Linden Avenue to accommodate a new surface parking lot.



In the long term, a building addition would provide much-needed space for the Library as well as improve the Library's visibility from Atlantic Avenue.



Example of a Library in an urban setting that acknowledges the street (Pasadena Main Library) while maintaining a residential character.



The existing parking lot on the corner of Atlantic Avenue and Hill Street. This image also shows the Library's lack of presence, particularly from Atlantic Avenue.

Short-term solutions: Until funds are allocated or raised to finance a Library expansion, a renovation of the existing Library's exterior and an enhancement of the existing City-owned parking lot at Atlantic Avenue and Hill Street will drastically improve the look and stature of both the Library and the neighborhood.

Enhance the Library's presence within the neighborhood: Implementing simple cosmetic enhancements to the building's exterior, painting its walls and cleaning up its scrubby landscape would instantly improve the Library's physical presence within the neighborhood. Replacing the north-facing entrance canopy with a vine-covered trellis would allow sunlight to brighten up the existing main entrance, making the approach to the Library more inviting and appealing.

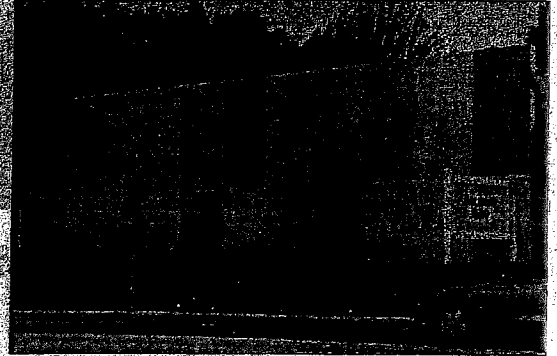
Introduce a retail component: Introducing a food/coffee retail component in or adjacent to the Library would activate the sidewalk by attracting Library patrons, parents taking their kids to and from school, neighborhood residents, and Burnett School employees. Conversely, the retail component could poten-

tially attract more visitors to the Library. The small retail component could either be a freestanding kiosk or food cart located immediately adjacent to the Library's northeast corner, or it could be built into the northeast corner of the existing Library building. The retail component should be operated by an independent, preferably local, vendor such as *Le's Grand Babette Bakery*.

Improve existing parking lot: The current parking lot should continue to be used for parking. A pergola (trellis structure) should line the Atlantic Avenue frontage of the parking lot to screen the parked cars from the street while also providing covered space for people waiting for the bus. The existing plum trees currently lining the east side of Atlantic Avenue could be relocated to the Hill Street frontage of the parking lot to screen the parked cars (removing the plum trees along Atlantic Avenue allows large canopy trees to be introduced in their place).



In the short term, the existing parking lot on the corner of Atlantic Avenue and Hill Street should be screened from Atlantic Avenue by a pergola and from Hill Street by a line of trees.



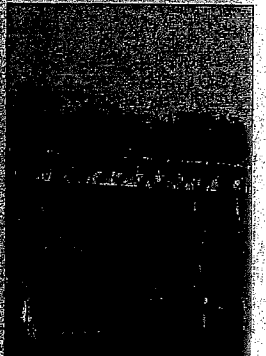
This view of the Dana Branch Library shows how color can add interest to a blank wall surface. A similar strategy could be applied to the Burnett Library.



This retail component located in the Pasadena Main Library is a more permanent installation complete with a refrigerator, tables, chairs, and umbrellas.

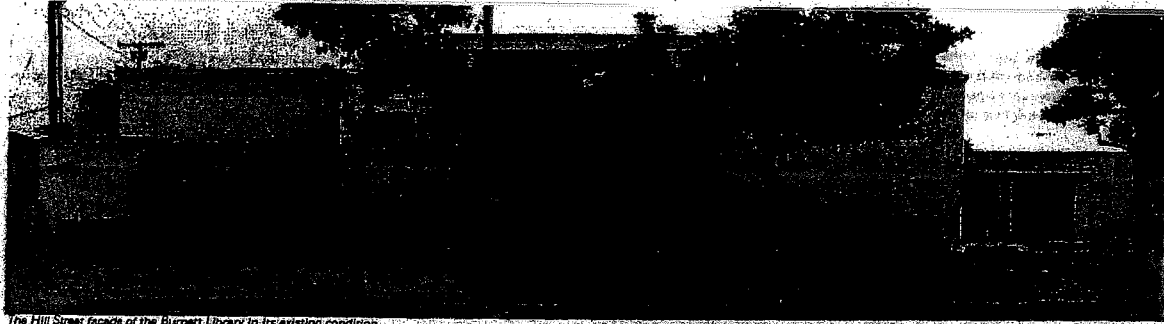


A food vending cart is completely portable and is stored away each night.

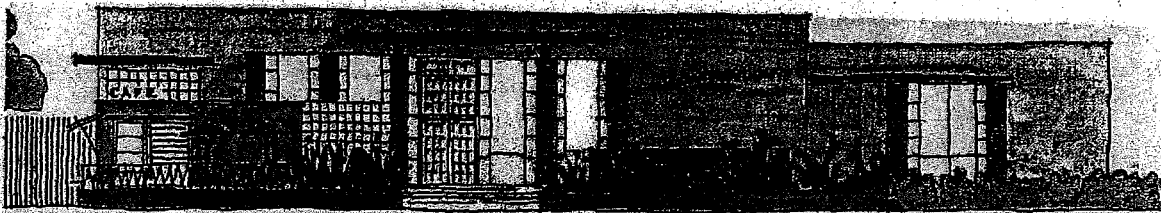


In addition to screening the parking lot from Atlantic Avenue, a vine-covered pergola could also provide shelter and shade to people waiting at the bus stop.

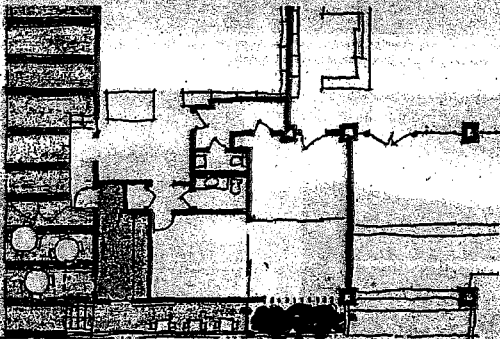
4. BURNETT LIBRARY



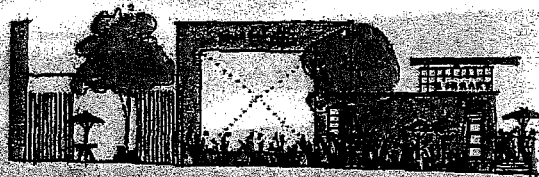
The Hill Street facade of the Burnett Library in its existing condition.



The proposed Hill Street facade of the Burnett Library. Painting the exterior walls, adding new landscaping (such as birds of paradise), and introducing a cafe at the Library's northeast corner will enhance the Library's presence. The existing planter located on the left side of the building will be designed to accommodate cafe tables and chairs. The canopy leading to the Library's main entrance will be replaced with a trellis.



Floor plan of the proposed cafe at the northeast corner of the Library. A portion of the employee break room would be transformed into a vendor preparation area (shown in yellow). Portable tables and chairs would be introduced in the existing planter at the front of the building as well as in the adjacent delivery area.



The east elevation of the proposed Library renovation. The Library courtyard is made more inviting by providing a see-through fence and gate. The existing mural currently separating the courtyard from the parking lot would be relocated to the right of the courtyard (shown above the white rectangle with the dotted 'X'). New signage identifies the Library and its proposed retail component.



View of renovated Burnett Library near the corner of Atlantic Avenue and Hill Street. The northeast corner of the Library is activated by a small retail component identified by a raised roof structure and new signage. Lighting behind the signage provides a beacon that identifies the Library to motorists and pedestrians traveling along Atlantic Avenue.

5. BURNETT ELEMENTARY SCHOOL

Burnett Elementary School suffers from several physical deficiencies that, if remedied, could vastly improve the relationship of the school to the neighborhood. These include:

The Atlantic Avenue Frontage: Currently, Burnett School is oriented towards Linden Avenue. Though the School's art deco facade provides a beautiful street face along Linden Avenue, the School's backside - consisting of playgrounds, chain-link fences, and portable trailers - presents an unsightly, even alienating, face to Atlantic Avenue. Some remedies to improve Burnett School's relationship to Atlantic Avenue include:

- Introduce street trees along Atlantic Avenue.
- Provide shade on playground by planting more trees and/or introducing a pergola along the east side of the playground.
- Upgrade existing chain link fences and installing a grand, more prominent public gate facing Atlantic Avenue that promotes easier community access to the playground during non-school hours (the gate would be closed during school hours).
- Plant vines or bamboo along the chain link fence surrounding the playground. Vines should be of species that do not need frequent trimming, that do not interfere with the existing mask murals currently mounted on the fence, and that do not undergo a dormant period during part of the year. One possible candidate could be star jasmine.

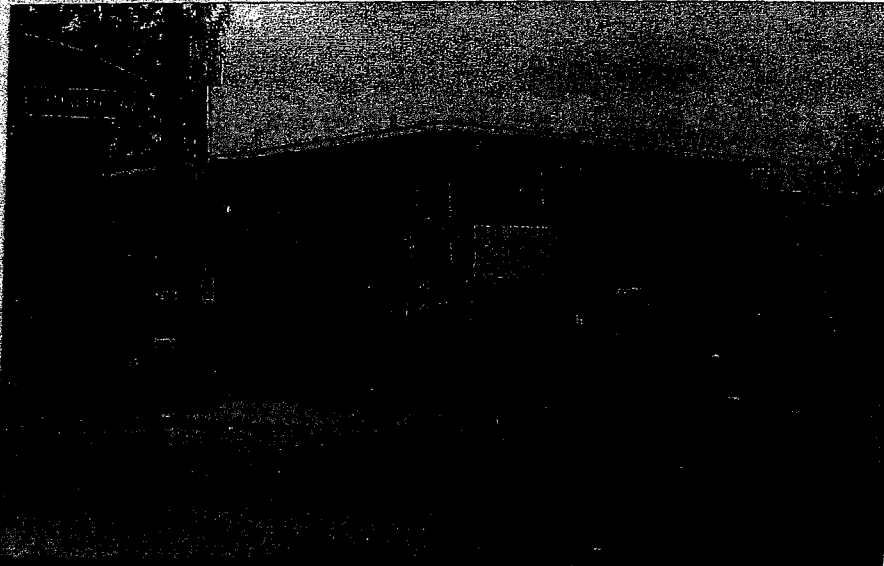
Corner of Atlantic Avenue and Hill Street: The southeast corner of Burnett Elementary School also lacks a meaningful relationship to the street.

• **Short term solutions:** Paint a movable mural on the building's east wall to announce the school's presence to passing pedestrians and motorists and replace the existing chain link fence with a fence constructed from more permanent materials such as metal pickets.

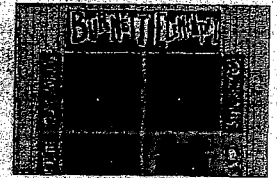
• **Long term solutions:** Remove and replace the temporary classroom structures with a permanent building.

Parking shortage: Burnett School currently lacks sufficient on-campus parking space for its approximately 120 employees. The school temporarily uses 17 parking spaces in the Atlantic Avenue/Hill Street parking lot. An existing parking lot on the corner of Atlantic Avenue and 23rd Street parks an additional 14 cars. Some opportunities for additional parking include:

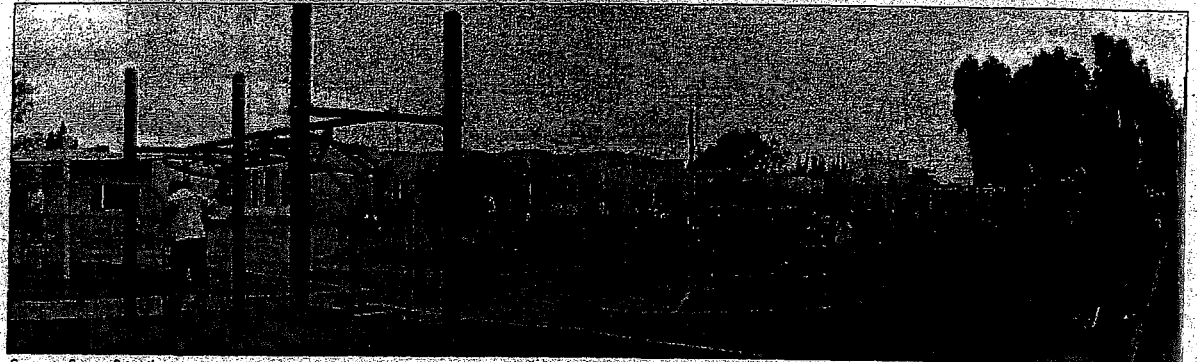
- Introduce diagonal parking on the east side of the block north of 23rd Street (behind the existing temporary school buildings) would provide an additional 15-20 parking stalls.
- Encourage employees to park on Atlantic Avenue, particularly along the porches directly in front of the school. The east side of Atlantic Avenue, between Hill Street and 23rd Street, accommodates approximately 25 automobiles. An additional 12 spaces exist on the half-block north of 23rd Street. Atlantic Avenue traffic calming measures will create a safer and more comfortable parking environment.
- Encourage alternative forms of transportation: bicycle commuting, public transportation ridership, and carpooling.
- Acquire additional land to not only accommodate more parking, but also to provide a new grass playing field.



The east elevation of this classroom pod offers an excellent location for a colorful mural. Replacing the existing chain link fence with one constructed of more permanent materials (wrought iron or metal pickets) would help dignify the corner. Unpainted sidewalk utility boxes should also be painted by local artists.



Murals grace many of Burnett Elementary School's surfaces.



Currently, Burnett School's playground is a vast expanse of asphalt. Introducing more trees would help green the playground and also provide more shade for the children.

6. FACADE IMPROVEMENTS

To improve the character of the neighborhood, several existing storefronts along Atlantic Avenue will be renovated using the Facade Improvement Program offered by the City of Long Beach Neighborhood Services Bureau. The map on the opposite page shows neighborhood retail buildings that have been identified as potential candidates to receive funding for such work. Of these buildings, funding has been allocated for the following buildings:

1941 Atlantic Avenue: The original 1950's character of the building will be revived by removing the wood siding and flag poles from the parapet, adding brushed aluminum to the edge of the overhanging eave, installing a cut metal and neon sign atop the overhanging eave, and renovating the existing blade sign. The building's relationship to the street and sidewalk will be improved by relocating the security grills to the inside of the store, removing temporary advertisement banners, and relocating the exterior vending machines to the inside of the store.

1984 Atlantic Avenue: The building's relationship to the street will be improved by removing the decorative mansard, adding lites to the front door, installing a metal canopy above the front door, introducing a tile wainscot, providing a new painted well sign and new blade sign, and planting xeriscape in the existing planter facing the sidewalk.

1985 and 1983 Atlantic Avenue: These two neighboring storefronts will be improved as follows: 1985 Atlantic will be given a facelift consisting of removing the stone veneer and projecting eave, raising the parapet height, introducing new lighting and new signage, providing a new entry door, providing a decorative tile base, and rehabilitating the existing blade sign. 1983 Atlantic will be renovated by replacing the existing aluminum storefront doors with historically appropriate doors, providing a wood base below the windows, introducing metal awnings detailed as cloth, and providing new lighting. For both storefronts, the existing security grills will be relocated to the interior of the stores.

1990-94 Atlantic Avenue: The facade will be improved by removing the mansard roof, raising the parapet height at the northwest corner, introducing new signage and lighting, and installing awnings over the entries. Landscaping will also be introduced adjacent to the sidewalk to screen the parking lot from Atlantic Avenue.

2400 Atlantic Avenue
(Identified for future improvement)

2383 Atlantic Avenue
(Identified for future improvement)

2292 Atlantic Avenue
(Identified for future improvement)

Future Workforce Housing Development

1990-94 Atlantic Avenue
(currently undergoing improvement)

1984 Atlantic Avenue
(currently undergoing improvement)

1985 & 1983 Atlantic Avenue
(currently undergoing improvement)

1941 Atlantic Avenue
(currently undergoing improvement)



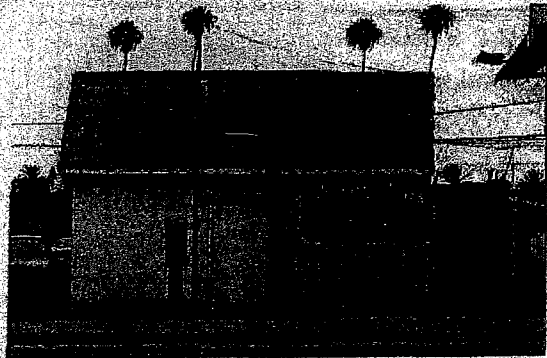
Facade Improvement Locations. Sites shown in orange have already been allocated funds for renovation.



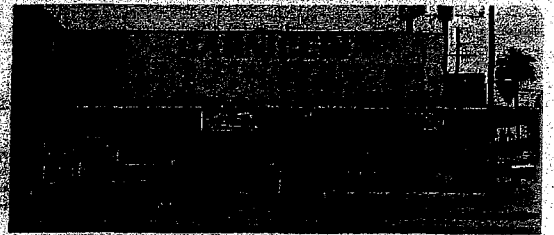
1983 and 1985 Atlantic Avenue before rehabilitation.



Proposed rehabilitation of 1983 and 1985 Atlantic Avenue.



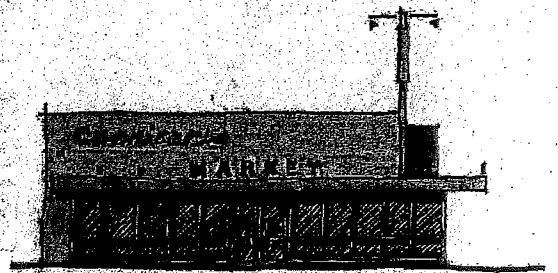
1984 Atlantic Avenue before rehabilitation



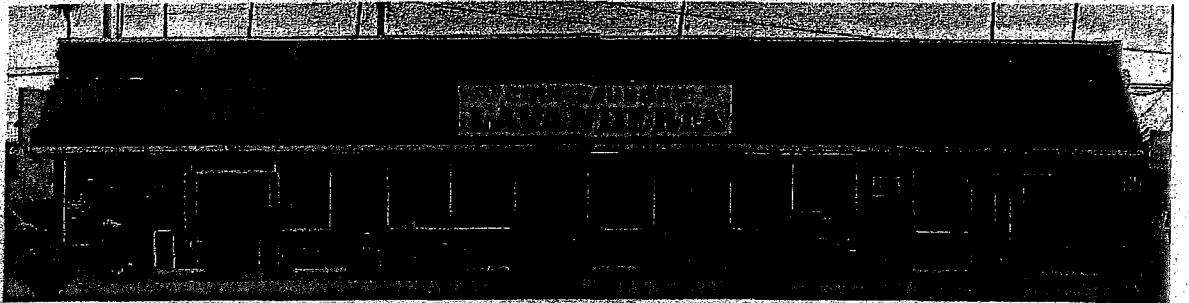
1941 Atlantic Avenue before rehabilitation



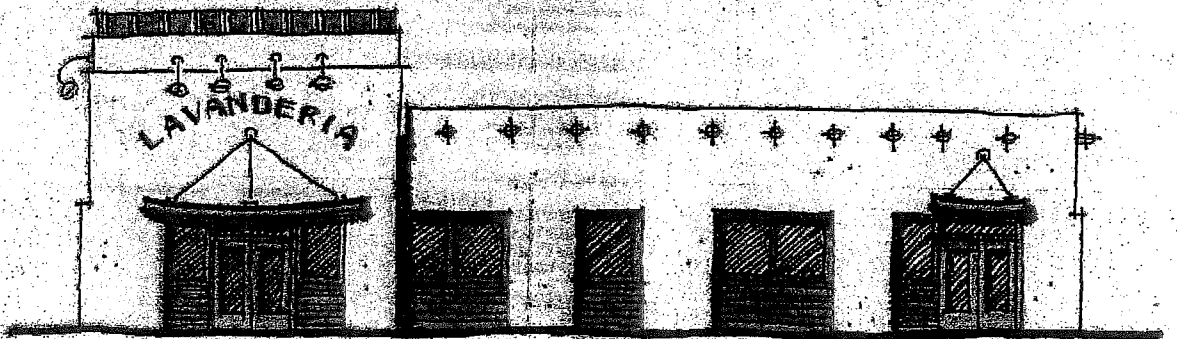
Proposed rehabilitation of 1984 Atlantic Avenue



Proposed rehabilitation of 1941 Atlantic Avenue



1990-94 Atlantic Avenue before rehabilitation



Proposed rehabilitation of 1990-94 Atlantic Avenue

7. DEMOGRAPHICS



Atlantic Avenue Housing Development FACT SHEET

BOUNDARIES (Census Tract 5732.02)

North: East 11th Street
 South: East Pacific Coast Highway
 East: Martin Luther King Jr. Avenue
 West: North Long Beach Boulevard



POPULATION

	Atlantic Avenue Surroundings	The City of Long Beach
Population:	5,801	361,881
Median age:	33	33.8
Number of households:	1,454	183,276
Percent of people who lived in Long Beach five years ago:	60%	72%
Income		
Per capita income:	\$7,873	\$10,041
Median household income:	\$22,530	\$37,270
Percent of population living in poverty:	34%	23%
Race		
Percent Hispanic or Latino:	29%	35.8%
Percent African-American:	22%	13.2%
Percent Asian:	18%	11.7%
Percent White:	3%	33%
Households		
Average household size:	3.96	2.78
Average family size:	4.14	3.53
Families, as a percent of all households:	62%	62%
Single parents, as a percent of all households:	37%	16%
Married couples:	44%	24%
Spouse/Spouse in home:	49%	28%
Overcrowded households*	49%	23%
Female only:	17%	29%
Severely overcrowded households	25%	18%
Roomers only:	32%	20%

HOUSING STOCK

	Atlantic Avenue Surroundings	The City of Long Beach
Total number of occupied housing units:	1,418	163,167
Average year built, housing stock:	1947	1957
Population in owner-occupied units:	80%	41%
Population in rental-occupied units:	20%	59%
Percent of rental-occupied (owner-occupied) households with...		
No bathroom:	11% (179)	22% (296)
One bathroom:	40% (594)	49% (656)
Two bathrooms:	39% (596)	30% (398)
Three or more bathrooms:	11% (169)	8% (106)
Percent of housing units in each type of structure:		
Single-family detached houses:	83%	48%
Two to three units:	24%	14%
3 to 49 units:	22%	7%
50 or more units:	0.1%	0%

TRANSPORTATION

Percent of all households with one or more cars:	72%	84%
Percent of owner-occupied households with one or more cars:	92%	95%
Percent of rental-occupied households with one or more cars:	53%	76%
Percent of people who take public transit to work:		
	12.6%	7%

SCHOOL ENROLLMENT

Percent of population enrolled in...		
Pre-K through 12:	41%	26%
Higher education:	8%	9%
Not enrolled:	51%	65%

LEUSD "Home" Schools	Baird Elementary	Washington Middle	Polysaric High
Number of students (Fall 2002)	1,054	1,038	4,684
% Hispanic or Latino (March 2002)	52%	53.4%	14.7%
Percent Hispanic or Latino:	68.4%	72.5%	18.9%
Percent African-American:	18.5%	17.1%	23.4%
Percent Asian:	10.8%	8.6%	29.5%
Percent Pacific Islander:	1.1%	1.7%	3%
Percent Filipino:	0.9%	1.2%	6.4%
Percent White:	1.4%	2%	12.8%

* Percentages of households with one or more cars, and two or more cars, are based on the 2000 Census. Percentages of households with one or more cars, and two or more cars, are based on the 2000 Census. Percentages of households with one or more cars, and two or more cars, are based on the 2000 Census.

EXHIBIT F

**CENTRAL LONG BEACH REDEVELOPMENT PROJECT AREA
FIVE-YEAR IMPLEMENTATION PLAN**

Fiscal Year 2010 – Fiscal Year 2014
(October 1, 2009 - September 30, 2014)

**CITY OF LONG BEACH
REDEVELOPMENT AGENCY**



333 West Ocean Boulevard, 3rd Floor
Long Beach, California 90802
(562) 570-6400

*The mission of the Redevelopment Agency of the
City of Long Beach is to improve the blighted areas of Long Beach, revitalize
neighborhoods, promote economic development and the creation of jobs, provide
affordable housing and encourage citizen participation.*

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ATTACHMENT

- Attachment No. 1: Blight Definitions in Effect at Time of Project Re-adoption
- Attachment No. 2: Affordable Housing Compliance Plan

**Central Long Beach Redevelopment Project
Five-Year Implementation Plan
October 1, 2009 – September 30, 2014**

I. INTRODUCTION

Health and Safety Code Section 33490 requires redevelopment agencies to adopt implementation plans for each project area every five years. This document is the Implementation Plan for the Central Redevelopment Project ("Implementation Plan") for the period of fiscal years 2010-2014 (October 1, 2009 through September 30, 2014). Upon adoption by the Redevelopment Agency of the City of Long Beach ("Agency"), it will replace the prior Implementation Plan for 2005-2009.

The Implementation Plan must describe the Agency's specific goals and objectives for the project area during the five-year period of the Plan. It must also include the specific programs, including potential projects and estimated expenditures, that an agency proposes to enact during the five-year period. The Plan must contain an explanation of how the programs will eliminate blight within the project area and implement the Agency's low- and moderate-income housing obligations. An Implementation Plan is a policy and program document; it does not identify specific project locations.

An Implementation Plan is composed of two major components: a redevelopment component and a housing component. The redevelopment component: (1) revisits the goals and objectives of the Redevelopment Plan; (2) defines the Agency's strategy to achieve these goals and objectives; (3) presents the programs, including potential expenditures that are proposed as a means to attain the Plan's goals and objectives; and (4) describes how the goals and objectives, programs and expenditures will eliminate blight within the Project Area. The housing component is included in the *Affordable Housing Compliance Plan*, which has been prepared separately and included as Attachment 2.

II. BACKGROUND

The Central Long Beach Redevelopment Project Area (Project Area) was originally adopted on September 21, 1993. Under AB 598, special enabling legislation was enacted following the civil disturbances in 1992, during which the majority of local damage occurred in the Project Area. Structural damage to Project Area buildings during the civil disturbances totaled over \$19 million, or 91 percent of the City total. However, after 1993, property values declined and the Project Area generated no income.

On March 6, 2001, the Redevelopment Agency Board and City Council approved the re-adoption of the Project Area. Subsequently, property values have increased and the Project Area is now generating tax increment that can be used to support redevelopment activities.

The Project Area consists of 2,619 acres, 100 percent of which can be classified as urbanized. It is generally located in southern Long Beach, south of the I-405 (San Diego) Freeway, north of downtown, east of the I-710 (Long Beach) Freeway and west of Redondo Avenue. The Project Area includes major north-south portions of Long Beach Boulevard, Pacific and Atlantic Avenues, and major east-west sections of Willow Street,

Pacific Coast Highway, Anaheim and Seventh Streets. Also included are major portions of Martin Luther King Jr. Avenue and Alamitos Avenue (see Figure 1).

The Project Area is characterized by severely deteriorated residential areas; large underutilized buildings located along Long Beach Boulevard and formerly occupied by auto dealerships; deficient buildings that house retail outlets with limited market potential; and by environmental problems. The Project Area has inadequate public facilities and is in need of public improvement; it lacks neighborhood-serving uses; has limited public open spaces, few recreational opportunities, and inadequate utilities. The overall purpose of the redevelopment effort is to re-direct and concentrate commercial facilities in significant centers and along major arterial corridors, while accommodating residential needs and preserving existing neighborhoods.

III. BLIGHTING CONDITIONS

During the process of re-adopting the Project Area in 2001, the conditions of blight were identified through parcel-by-parcel field surveys that focused on deterioration and assessed the exterior condition of each structure and site within the Project Area. In addition to assessing structural and site conditions, the study identified the presence of structure-related blighting conditions other than deterioration, such as age and obsolescence, faulty exterior arrangement and interior spacing, and defective design.

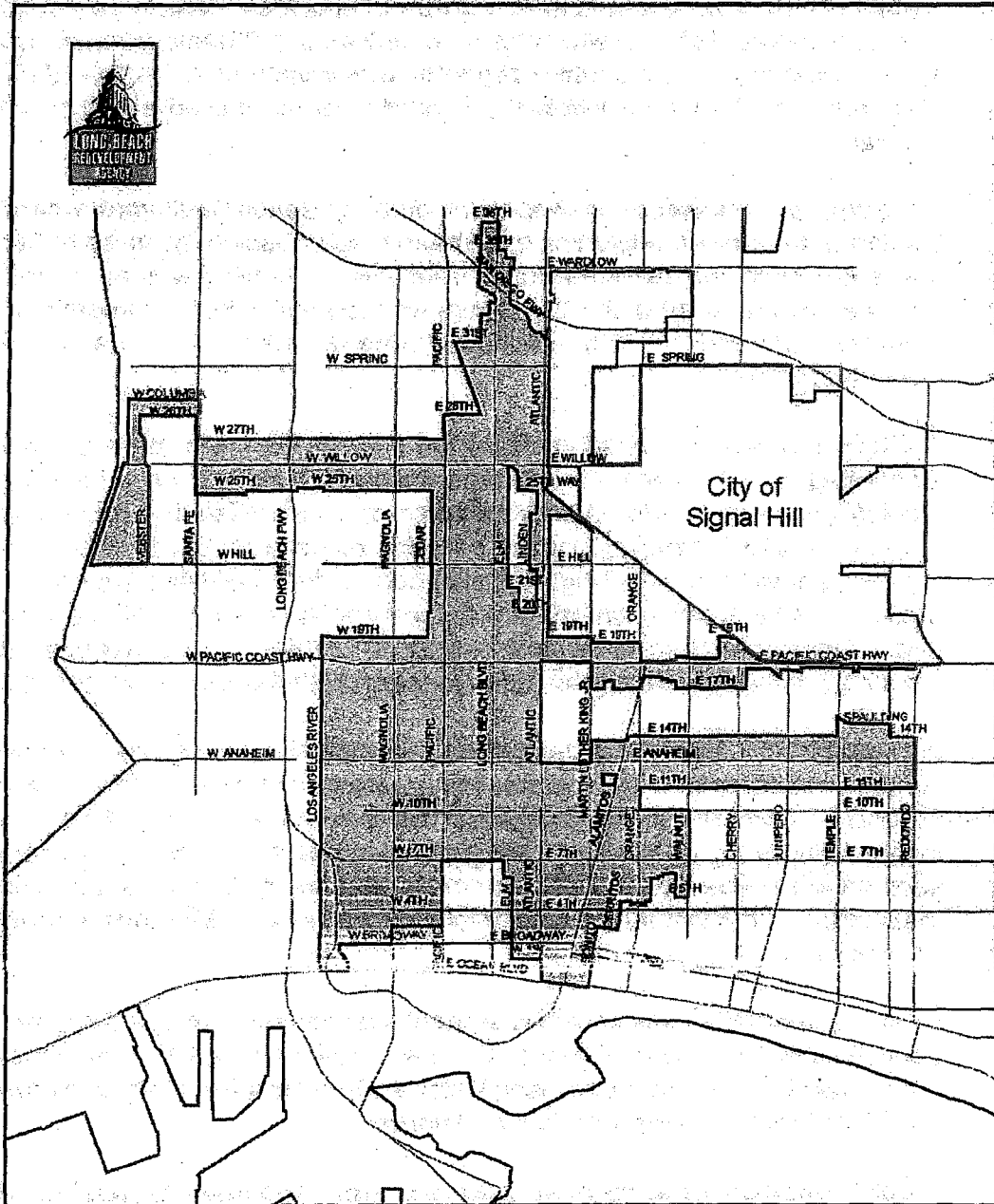
The following blighting conditions were noted in one or both of the aforementioned surveys, and the Strategic Guide for Development of the Central Strategic Area (Strategic Guide), which confirmed the remain blighting influences that require correction. The Agency Board adopted the Strategic Guide in June 2005.

Buildings and Structures:

1. **Deterioration and dilapidation** were noted to a moderate-to-substantial degree in 20 percent of all blocks within the Project Area at the time of re-adoption. In addition, 78 percent of all the blocks were moderately to substantially impacted by structures that exhibited deferred maintenance.
2. **Defective design and character of physical construction** remained significant blighting influences area-wide and 29 percent of the blocks contained faulty alterations such as illegal garage conversions, evidenced by characteristics of inadequate ventilation and light, or the use of faulty materials. Conditions include failure to meet modern building standards established to ensure the health and safety of building occupants. Buildings of unreinforced masonry and "bootlegged" additions were examples found in the Project Area. The additions reflected poor craftsmanship utilizing scrap material, with little regard to integration with the original design. Exterior plumbing and electrical utility systems were also a blighting influence in this classification, since they reflect haphazard craftsmanship.

Figure 1: Project Area Boundaries

CENTRAL REDEVELOPMENT PROJECT AREA MAP



Date of Adoption : 9/21/93
Size : 2,619 Acres



TECHNOLOGY SERVICES GROUP/CM/VER
CENT_REDEV06.MXD/DF/5/12/09

Furthermore, the bootlegged additions reduced on-site parking, which significantly impacted street parking. This was evidenced in the residential areas between 7th and 10th Streets east of Alamitos Avenue.

3. **Age and obsolescence**, including physical layout of properties, remained a problem at the time of re-adoption. Fifty percent of the Project Area's building stock was built before 1950, of which 23 percent was constructed from 1920-29, while 1,346 buildings, or 12 percent of the total, was constructed prior to 1920. In total, 40 percent of the blocks within the Project Area contained structures that were obsolete.

An example of obsolescence was found on Long Beach Boulevard, where the once thriving automobile dealerships have been made obsolete by modern "auto malls" that are usually located adjacent to freeways. Atlantic Avenue, Pacific Avenue, Anaheim Street and Pacific Coast Highway, among other commercial areas, are outdated commercial strips with no off-street parking and outdated commercial property design.

4. **Shifting use** was a characteristic of the Project Area and other areas that were stagnating or in decline. Symptoms included buildings or commercial outlets shifting from one use to another because of an increase in turnover in business operations and tenancies, usually because of numerous marginal start-ups and subsequent failures. Shifting may also occur when buildings are converted from original uses to uses inconsistent with their original design. Shifting uses indicate that private enterprise is either unwilling or unable to invest sufficient capital to construct or rehabilitate properties to meet modern space or market requirements.
5. **Incompatible uses**, characterized by incompatible residential, commercial and industrial uses located in close proximity, were prevalent at the time of re-adoption. Forty-one percent of the blocks in the Project Area contained incidents of incompatibility. This led to negative visual impacts and environmental problems such as excessive noise, traffic and environmental hazards. Major examples are residential - industrial land use conflicts, as well as oil drilling activities adjacent to residential uses.

Most incompatible uses occurred along major commercial thoroughfares such as Long Beach Boulevard; Atlantic Avenue; Pacific Coast Highway; and Anaheim Street; within industrial areas along Daisy and Orizaba Avenues; and areas north of East 31st Street where oil drilling is prevalent.

6. **Faulty interior arrangement and exterior spacing** include conditions of insufficient floor area, inadequate building setbacks and inadequate parking. Many buildings constructed in the Project Area over the years to comply with older building and zoning standards were built with little or no regard for buildings on adjacent parcels. Structures with inadequate setbacks tend to limit light and

ventilation. Inadequate off-street parking impacts both commercial and residential sections of the Project Area.

7. **Abnormally high vacancies** characterize the area and continue to be a significant problem in the Project Area. The negative visual impact of vacant buildings serves as an impediment to revitalization and reinvestment.

Properties

8. **Parcels of irregular shape and inadequate size** dominate in some sections of the Project Area, leading to economic dislocation, deterioration and disuse. This situation is commonly the result of historical subdivision and development patterns as well as shifting economic and commercial trends.
9. **Ownership patterns** within a block are a critical indicator of the private sector's ability to upgrade their properties or to undertake new development. Many commercially-zoned areas in the Project Area are made up of narrow or shallow lots, requiring the assembly of two or more lots to accommodate expansion or new development. Such lots are often under individual ownership, making private assembly difficult and time-consuming. Higher density or updated development is unlikely without a major land assembly effort.
10. **Inadequate public improvements, facilities and utilities** inhibit private owners and developers in their efforts to upgrade or develop their properties. These conditions characterize the majority of the Project Area.
11. **Lack of or deteriorated sidewalks, curbs, and gutters** pose potential safety, flooding, and health problems to the Project Area. The lack of and poor condition of the infrastructure is a deterrent to investment and reinvestment if comparable areas with more updated improvements are found elsewhere.
12. **Storm drain, street, and alley conditions** throughout the Project Area are demonstrably poor. These conditions cause both negative impacts on the day-to-day lives of those living and doing business in the Project Area, as well as serving as an impediment to potential investors.
13. **Traffic, circulation, and parking deficiencies** are significant blighting factors in the Project Area. Several east-west streets in the southern portion of the Project Area are narrow, which hampers circulation. High traffic volumes on Anaheim Street, Pacific Coast Highway and Long Beach Boulevard also present circulation difficulties. Substandard alleys, especially in some residential areas, serve to impede access. Their condition restricts access for large delivery vehicles and emergency vehicles, and makes two-way traffic difficult. Parking on the major commercial corridors is limited.

14. **Overhead utilities** are typically found in the alleys behind major Project Area arterials and, similar to inadequate lot size and depth; restrict the character of development, which can occur without relocation or under grounding. Overhead lines also adversely impact the Project Area's appearance and investment potential by looking cluttered and outdated.
15. **Sewer system deficiencies** in the Project Area are aggregating at a faster rate than maintenance can occur or new sewers can be built.

Social Conditions

16. **Rapid population growth** in the Project Area led to severe overcrowding conditions. At the time of re-adoption, the Project Area's population totaled 96,800 people, which equated to 23,700 persons per square-mile compared to 9,149 people per square-mile for the rest of the City. This situation has also strained the existing public service delivery system, which has struggled to keep up with the increased demand for services in the Project Area. The population in the Project Area was much younger overall than the City average, leading to problems with gangs, drugs and related criminal activities. Educational levels were also lower than City averages, indicating a trend toward a growing disparity between the educated and the less-educated residents.
17. The **lower median income** of Project Area residents, as compared with the City median has been a significant blighting influence. The Project Area's per capita income at the time of re-adoption was \$11,100 compared to \$20,700 for the rest of the City. This relatively low income has adversely affected the Project Area in three ways. First, Project Area residents had little disposable income to maintain or improve their properties; secondly, it is common for more than one household to share a dwelling unit so it is affordable; and finally, low Project Area incomes makes business attraction challenging and new business survival tenuous.
18. There was an **inadequate amount of open space** for Project Area residents. City standards call for eight acres per 1,000 residents, which equates to approximately 800 acres required for the Project Area. Including parks immediately adjacent to Project Area boundaries, only 61 acres of parks were available for Project Area use at the time of re-adoption.
19. **Crime rates** have been comparatively higher than those of the City and significantly higher for most serious crimes. Gangs and drugs are blamed as major contributors to the crime problem in the Project Area. The perception of the Project Area as a dangerous place to live and work discourages in-migration of relatively affluent residents, new business owners and investors, and often makes favorable financing difficult to obtain.

Economic Conditions

20. **Impaired investments** in the Project Area are generally characterized by the following indicators: negative taxable retail sales tax trends; low commercial building permit activity; high business turnover and low stability; high commercial vacancy rates; a large number of vacant and underutilized lots; and wholesale relocation of the new auto sales business out of the Area.

IV. REDUCTION OF BLIGHT THROUGH PAST ACTIVITIES

The Agency has worked to correct the blighting conditions in the Project Area through a number of successful efforts.

Neighborhood Revitalization

- Completed entitlements of a 350-unit mixed-use development on Ocean Boulevard and Alamitos Avenue.
- Acquired 532-558 Willow Street as part of the land assembly for the Atlantic Avenue and Willow Street development site to allow for a commercial development to support Memorial Hospital.
- Completed land assembly and entered into an Exclusive Negotiating Agreement for the development of live/work units at 825-837 East 7th Street.
- Incorporated the recommendations identified in the Central Design Guidelines into new projects to encourage pedestrian-oriented development within the Project Area.
- Completed the development of an Implementation Plan to further the improvements in the Long Beach Design District.
- Facilitated the entitlement of 351 residential units and 42,000 square feet of ground floor retail in a mixed-used project at the southwest corner of Long Beach Boulevard and Anaheim Street.
- Completed site acquisition of 612 Sunrise Boulevard to provide a gateway entrance to the Sunrise Hotel District.
- Entered into Disposition and Development Agreements (DDAs) for the rehabilitation of four historic homes pursuant to the Willmore District Implementation Plan.
- Completed historic rehabilitation of a historic home moved to 419 Daisy Avenue.
- Provided additional funding in conjunction with the Neighborhood Code Enforcement Program to focus more resources on the Pacific Avenue and Hellmann area neighborhoods.
- Provided additional funding in conjunction with the Graffiti Removal Program throughout the Project Area.

- Provided funding through the East Village Artist Loan Program to assist the Garage Theatre with interior renovations.

Corridor Revitalization

- Completed the Alamos Corridor Street Enhancement Plan that identifies opportunity sites for streetscape improvement.
- Entered into a Property Exchange Agreement with the State of California for the development of a regional courthouse near Broadway and Magnolia Avenue.
- Initiated the Downtown Community Plan and Program Environmental Impact Report to update the existing zoning standards and to provide design guidelines for future development.
- Completed extensive exterior and on-site improvements to *The Willow* retail center located at Willow Street and Caspian Avenue.
- Acquired and conveyed three blighted parcels on the northeast corner of Pacific Coast Highway and Walnut Avenue to Long Beach City College for the expansion of its Pacific Coast Campus.
- Completed the revision of the Planned Development Ordinance (PD30) to allow more compatible uses within the Arts District and Downtown.
- Constructed Renaissance Square, a 12,000-square-foot retail/service center at 1900 Atlantic. The facility will house Union Bank of California on the ground floor and a center to support working families on the second floor.
- Acquired property at Pine Avenue and Pacific Coast Highway to assemble a suitable retail development site.
- Completed the Long Beach Boulevard Redevelopment Study in collaboration with Southern California Association of Governments (SCAG). Staff assisted in the preparation of financial and visioning tools to prepare for growth and enhanced livability on Long Beach Boulevard.

Open Space and Public Art

- Facilitated the construction of park and open space facilities in collaboration with the Departments of Parks, Recreation and Marine and Public Works including Homeland Cultural Center, Rosa Parks Park, Seaside Park and Drake/Chavez Greenbelt.
- Constructed the Downtown Dog Park at Pacific Avenue and 9th Street
- Commissioned and installed temporary art throughout the Project Area's vacant lots and storefronts.

- Provided funding for land acquisition to allow for the development and/or expansion of parks including Drake/Chavez Greenbelt, McBride Park Expansion, Orizaba Park Expansion, and Pacific Right of Way Bike Trail.

Infrastructure and Public Improvements

- Completed the installation of pedestrian lighting in coordination with the 1st Street Reconstruction Project in the East Village District.
- Completed the construction of Phase I streetscape improvements to the Magnolia Industrial Area.
- Completed landscaped medians along Martin Luther King Jr. Boulevard.
- Completed refurbishment and replanting of existing medians on Santa Fe Avenue.
- Facilitated the development of the new state-of-the-art Mark Twain Library.
- Completed land assembly to allow for the development of a new public safety building at Anaheim Avenue and Walnut Avenue.

Facilitate the Efficient Administration of the Project Area

- Provided staff and administrative support to the Central Project Area Committee.
- Supported the implementation strategies for the eight targeted Neighborhood Centers for concentrated redevelopment activities as identified in the Central Long Beach Strategic Guide for Development.
- Continued to apply the recommendations identified in the Central Design Guidelines to all new projects in the Project Area.
- Continued to collaborate with the Planning Bureau to facilitate Long Beach 2030 and the Downtown Community Plan.
- Continued to partner with the Arts Council of Long Beach on new public art.
- Continued support of events and organizations throughout the Project Area.

Affordable Housing Programs

- Obtained funding and completed construction of the Long Beach Senior Housing Project located at Atlantic Avenue and Vernon Street.
- Purchased 21 properties on Atlantic Avenue between 20th Street and Hill Street in cooperation with the Long Beach Housing Development Corporation (LBHDC) for development of additional affordable housing.
- Assisted in the design development of a workforce housing project at 2000-2200 Atlantic Avenue.

- Assisted in the design development of a mixed-income housing project at 1235 Long Beach Boulevard.
- Provided 20% of the available Project Area tax increment to the Housing Development Fund.

V. IMPLEMENTATION PLAN GOALS AND OBJECTIVES

Over the term of the Implementation Plan, the Agency will focus on the following goals for Central Long Beach Redevelopment Project Area while implementing the Strategic Guide recommendations. Linkage of each goal with conditions of blight within the Project Area is demonstrated in the matrix shown in Figure 2.

Goal 1: Neighborhood Revitalization

Improving Project Area neighborhoods through the implementation of quality of life programs, services and initiatives.

Goal 2: Corridor Revitalization

Revitalizing major Project Area arterials through a coordinated set of strategies including land use and zoning changes; creation of improved pedestrian and vehicular uses; targeted business attraction; and retention efforts.

Goal 3: Open Space and Public Art Development

Enhancing the Project Area's livability and civic character through the development of new open space opportunities and installation of art in the public realm.

Goal 4: Infrastructure and Public Improvements

Strengthening the economic base of the Project Area and community through infrastructure and public improvements to stimulate new residential, commercial and industrial expansion, employment and economic growth.

Goal 5: Facilitate the Efficient Administration of the Project Area

Supporting Project Area development and revitalization by the planning and implementation of strategic initiatives, while providing administrative assistance to community organizations.

Goal 6: Support the Development of Affordable Housing in Long Beach

Expanding and improving the community's housing supply, particularly housing available to low- and moderate-income persons and families.

Figure 2: Linkage of Goals to Blight Alleviation

Blighting Condition	Goal 1	Goal 2	Goal 3	Goal 4	Goal 5	Goal 6
PHYSICAL BLIGHT						
Buildings in which it is unsafe for persons to live or work: <ul style="list-style-type: none"> • Deterioration and dilapidation • Defective design • Faulty or inadequate utilities 	•				•	•
Factors that prevent or substantially hinder the economically viable use or capacity of buildings or lots: <ul style="list-style-type: none"> • Substandard design • Inadequate parking 	•	•			•	•
Adjacent or nearby uses that are incompatible with each other and which prevent the economic development of those parcels or portions of the project area.	•	•			•	•
Subdivided lots of irregular form and shape and inadequate size for proper usefulness and development that are in multiple ownership.	•	•			•	•
ECONOMIC BLIGHT						
Depreciated or stagnant property values or impaired investments, including, but not necessary limited to properties containing hazardous wastes: <ul style="list-style-type: none"> • Properties contaminated with hazardous wastes 	•	•	•	•	•	•
Abnormally high business vacancies.	•	•			•	
Abnormally low lease rates.	•	•			•	
Residential overcrowding and an excess of bars, liquor stores, or businesses that cater exclusively to adults that has lead to problems of public safety and welfare	•	•			•	
A high crime rate that constitutes a serious threat to the public safety and welfare.	•	•			•	
CONTRIBUTING CONDITIONS						
Inadequate public improvements, parking facilities, or utilities.		•	•	•	•	

VI. PROPOSED AGENCY PROGRAMS AND POTENTIAL PROJECTS

The following narratives describe the proposed programs and potential projects to be undertaken in the Project Area during the five years covered by the Implementation Plan. A summary of the linkage of these programs and potential projects with conditions of blight within the Project Area is included in the matrix shown in Figure 3.

Neighborhood Revitalization Program

Neighborhood Revitalization activities are designed to improve the quality of life in Long Beach neighborhoods through a variety of means. Code enforcement, graffiti abatement, acquisition of blighted and negative use properties, and the development of mixed-use and affordable and market rate housing are some of the strategies the Agency employs under this program. In addition, the Agency will continue, as opportunities arise, to participate in major land use management efforts designed to encourage pedestrian-oriented streetscapes and neighborhood serving uses. These may include design for development, development strategies, and advice to the City's Planning and Building Bureaus regarding appropriate zoning for neighborhoods, the development of architectural design guidelines, and the completion of other related land use studies. Neighborhood Revitalization activities will address physical blight such as deterioration, dilapidation and deferred maintenance.

Neighborhood Revitalization Activities / Potential Projects

- **Neighborhood Code Enforcement Program** – An ongoing program implemented in conjunction with the City's Neighborhood Services Bureau; The Code Enforcement Division responds to complaints of violations of the Long Beach Municipal Code that include substandard buildings; property maintenance; inoperative vehicles; weed abatement; and land use violations. When violations are identified, the responsible parties are contacted and requested to abate the conditions. Failure to correct violations could result in a citation or a referral to the City Prosecutor's office. The Neighborhood Code Enforcement Program will address physical blight such as deterioration, dilapidation and deferred maintenance.
- **Graffiti Removal Program** – An innovative and effective program implemented to remove graffiti from public and private property as quickly as possible in order to improve neighborhoods and discourage further graffiti. The program is offered at no cost to property owners or tenants including free paint for property owners choosing to remove the graffiti themselves; a professional paint contractor to insure perfect paint match when necessary; and a Graffiti Hotline for citizens to report "graffiti sightings" or request free paint. The Graffiti Removal Program will also address physical blight. Additionally, new investments and economic opportunities will be encouraged through a general improvement in the Project Area's appearance.
- **Shoreline Gateway** – The construction of 2.2 acres of previously acquired parcels located at the northwest corner of Ocean Boulevard and Alamitos Avenue as 350+ for sale condominium units and 20,000 square feet of retail space.

- **Willmore Implementation Plan** – The implementation of strategies identified in the Willmore Implementation Plan to further development of the Willmore District by addressing priority issues, long-term goals, and near-term actions.
- **Orizaba Design District** – A strategic design initiative to further the development of the Orizaba Design District, an area transitioning from industrial warehouse to creative office uses. The intent is to work closely with the key stakeholders in the area and address development strategies to brand the area as a design/creative class district; to identify immediate improvements that can be made in the public realm; to identify short, medium and long-term strategies to support opportunities; and address challenges as the area develops.
- **Willmore Historic Home Preservation** – Reducing blight by facilitating the rehabilitation and preservation of historic properties and the development of vacant and underutilized properties. Additionally, the Agency seeks to create homeownership opportunities by selling the homes to future residents.
- **Atlantic and Willow Development Site** – Assisting with expansion efforts of the Memorial Medical Center through the attraction and development of medical related facilities, offices and bio-tech enterprises.
- **Long Beach Courthouse** – The implementation of the Property Exchange Agreement with the State of California for the construction of a regional court facility.

Corridor Revitalization Program

The Agency plans to implement Corridor Revitalization in a variety of ways. These may include projects such as business assistance and expansion, building and facade improvement assistance, formation of business improvement districts, and the promotion of new and continuing private sector investment. In addition, the Agency will continue, as opportunities arise, to participate in major land use management efforts designed to encourage commercial activities. These may include design for development, development strategies, and advice to the City's Planning and Building Bureaus regarding appropriate zoning for commercial corridors, the development of architectural design guidelines, and the completion of other related land use studies. Commercial Revitalization activities will address physical blight such as deterioration, dilapidation and deferred maintenance.

Corridor Revitalization Activities / Potential Projects

- **Commercial Façade Improvement Program** – The Commercial Façade Improvement Program provides matching funds to revitalize commercial and industrial properties in the Central Redevelopment Project Area. The intent is to assist commercial property owners and tenants to improve or rehabilitate their building façades and landscaping. The Commercial Façade Improvement Program will address physical blight such as deterioration, dilapidation and deferred maintenance.

- **Commercial Screening Program** – The Commercial Screening Program assists in the addition or upgrade of screening of commercial and industrial properties within the project area. This will be achieved through matching grants to property owners or tenants of approved sites, from a single building to commercial centers or industrial parks. The intent is to assist property owners/tenants to improve/rehab their building fencing & landscaping. The Commercial Screening Program will address physical blight such as deterioration, dilapidation and deferred maintenance.
- **Long Beach Boulevard Master Plan** – Update of PD-29 to allow for the development of compact, pedestrian-oriented commercial and residential uses along Long Beach Boulevard, which maximize previous high-capacity transit infrastructure investments. The goal is to facilitate development of locations along the corridor suitable for a sustainable, walkable, mixed-use community.
- **Atlantic Avenue and Vernon Street** – The development of property acquired at Vernon Street and Atlantic Avenue in collaboration with a developer
- **Pine Avenue and Pacific Coast Highway** – The redevelopment of previously purchased properties to allow for neighborhood serving commercial uses.
- **Avenue and Anaheim Street** – The adaptive reuse of a vacant Art Deco building and the development of uses tying medical related opportunities on Atlantic Avenue near St. Mary's Medical Center to other commercial uses appropriate to Anaheim Street and Long Beach Polytechnic High School.
- **Anaheim Street and Walnut Avenue** – The design and development of public emergency and disaster response facilities to enhance the Project Area safety.
- **Martin Luther King Junior Boulevard and Pacific Coast Highway** – The assemblage and development of parcels to accommodate a modern design retail/commercial project, enhance consumer services and increase business and employment opportunities.
- **Pacific Avenue and Pacific Coast Highway** – Assemble and development of a 65,000-square-foot site for retail center anchored by 15,000-square-foot store and an additional 5,000 square feet of retail.

Open Space and Public Art

The Agency has been actively involved in funding the creation of parks and open space. The Agency and Parks, Recreation and Marine Department staff have been working cooperatively in the acquisition and development of new projects by targeting sites within the redevelopment area. These improvements will assist in the removal of blight by enhancing open space in densely populated neighborhoods currently underserved by these types of amenities, improving safety of the residents, and helping to create safe, more cohesive and economically dynamic communities in the Project Area.

The Agency has also made a commitment to support the growing public art collection throughout the City. As part of improvements to public infrastructure, the Public Arts Program will be incorporated in a variety of projects such as street medians, sidewalk treatments, bus stop enclosures, murals, decorative metal work, park developments and utility boxes. Vacant lots and empty storefronts awaiting development will also be enhanced through temporary public art installations that are rotated throughout the redevelopment Project Area. The Agency's investment in public art is instrumental in leveraging other redevelopment projects, decreasing blight and contributing to positive neighborhood transformations.

Open Space and Public Art Activities

- **Public Arts Program** – The Agency has supported the growth of public art by entering into a contract with the Arts Council for Long Beach for the creation and installation of public art, as well as pursuing independent endeavors.
- **Drake/Chavez Park Expansion** – The construction of a new pedestrian greenbelt connecting Drake and Chavez Parks and expanding open space opportunities within the Project Area.
- **MacArthur Park / Homeland Center Development** – The construction of a new community theatre and the renovation of existing facilities.
- **Seaside Park** – Development of a 2.5-acre park. Park amenities will include a soccer field and playground.
- **Rosa Parks Development** – Development of a blighted property to create a passive park.
- **McBride Park Expansion** – The construction of a new senior center and the expansion of the existing teen, recreational and community facilities.
- **Orizaba Park Expansion** – The development of acreage for park space and the construction of new recreation amenities, including a new community center.
- **Pacific Right-of-Way Bike Trail Development** – The acquisition and development of the undeveloped portions of the former Pacific Electric Railroad right-of-way for the creation of the Pacific Electric Railroad right-of-way bike trail project.
- **Craftsman Park** – The development of additional open space in the Project Area through the construction of a neighborhood park at 8th and Orange featuring strolling, play, and picnic areas.

Infrastructure and Public Improvements

The Agency proposes to continue to include projects designed to improve the Project Area's infrastructure. These projects may include street and streetscape improvements; water distribution system improvements; sewer and storm drain improvements; repair and under grounding of utilities; construction or rehabilitation and upgrading of police, fire, public health, educational; and other public facilities buildings and public parking lot

improvements. Depending upon the specific projects undertaken under this goal, one or more of the conditions of blight will be addressed. As capital improvements are made, the shortfall or gap between adequate levels of service and then current levels will be reduced.

Infrastructure and Public Improvement Projects

- **Magnolia Industrial District Street Enhancement** – Development of streetscape enhancement to improve the infrastructure deficiencies in the Magnolia Industrial District.
- **Alamitos Corridor Streetscape Enhancement** – Implementing streetscape enhancements along Alamitos Corridor that assesses and proposes improvements such as landscaping, pedestrian street lighting, median landscaping, traffic flow improvements and public art.
- **Wrigley Village Improvements** – Facilitating right-of-way and other improvements in Wrigley Village consisting of the planting of parkway and median trees on public streets; landscaping; pedestrian street/building lighting; median lighting; and landscaping. It will also feature traffic calming, mid-block pedestrian crossings and public art.
- **East Village Streetscape Improvement** – Implementation of streetscape improvements in the East Village District.
- **Public Facility Expansion** – Facilitating the development and expansion of new and existing public facilities including fire stations; emergency response centers; public libraries; senior centers; teen and recreational centers; and regional public facilities that are employment generators.
- **Cherry Widening Project** – Assisting the City of Signal Hill with right-of-way acquisition of properties in Long Beach for the design and construction of traffic management construction around the intersection of Cherry Avenue and Pacific Coast Highway.
- **Orizaba Design District Improvements** – Improving infrastructure through reconstruction of streets and sidewalks in the Orizaba Design District to aid in the area's transition from industrial to pedestrian usage.

Facilitate the Efficient Administration of the Project Area

- Implementation of the Strategic Guide for Development for Central Study Area
- Implementation of the Central Long Beach Design Guidelines
- Provision of staff support to the Central Project Area Committee
- Provision of staff support to the East Village Steering Committee and East Village Association
- Implementation of the Downtown Community Plan

Affordable Housing Programs

Existing programs to increase the supply of affordable housing will continue. In addition, blighting conditions such as housing in inappropriate locations and overcrowding may be impacted.

Figure 3: Linkage of Projects and Programs to Blight Alleviation

Blighting Condition	Neighborhood Revitalization	Corridor Revitalization	Open Space and Public Art	Infrastructure/ Public Improvements	Efficient Admin. of Project Area	Affordable Housing
PHYSICAL BLIGHT						
Buildings in which it is unsafe for persons to live or work: <ul style="list-style-type: none"> • Deterioration and dilapidation • Defective design • Faulty or inadequate utilities 	•				•	•
Factors that prevent or substantially hinder the economically viable use or capacity of buildings or lots: <ul style="list-style-type: none"> • Substandard design • Inadequate parking 	•	•			•	•
Adjacent or nearby uses that are incompatible with each other and which prevent the economic development of those parcels or portions of the project area.	•	•			•	•
Subdivided lots of irregular form and shape and inadequate size for proper usefulness and development that are in multiple ownership.	•	•			•	•
ECONOMIC BLIGHT						
Depreciated or stagnant property values or impaired investments, including, but not necessary limited to properties containing hazardous wastes: <ul style="list-style-type: none"> • Properties contaminated with hazardous wastes 	•	•			•	•
Abnormally high business vacancies.	•	•			•	
Abnormally low lease rates.	•	•			•	
Residential overcrowding and an excess of bars, liquor stores, or businesses that cater exclusively to adults that has lead to problems of public safety and welfare.	•	•			•	
A high crime rate that constitutes a serious threat to the public safety and welfare.	•	•			•	
CONTRIBUTING CONDITIONS						
Inadequate public improvements, parking facilities, or utilities.			•	•	•	

VII. EXPENDITURES

The Agency has identified various methods for financing redevelopment activity within the Project Area in addition to using tax increment revenues. These other methods include: (1) tax allocation bonds; (2) loans, grants and contributions from local entities, state or federal government programs; (3) advances from developers; (4) public/private partnerships; (5) proceeds from the sale or lease of Agency-owned property; (6) leveraging tax increment revenues; and (7) financing proceeds based upon revenues from special assessment or special tax districts. The Agency will continue to consider other financing sources such as those discussed above to finance redevelopment activities. However, the Agency will rely upon tax increment revenues as the primary means of alleviating the Project Area's various blighting conditions.

The Agency anticipates expenditures of approximately \$63.7 million over the next five years, with the majority of expenditures for programs and projects and remainder for repayment of debt obligations and on-going operations and administration of Project Area Activities. The projected expenditures also include an allowance for a 1-time Supplemental Educational Revenue Augmentation Fund (SERAF) payment of \$7.2 million.

(Continued on next page)

Figure 4: Expenditures

	FY 2009-10	FY 2010-11	FY 2011-12	FY 2012-13	FY 2013-14	5-Year Totals	% of Totals
SERAF¹	7,229,460	-	-	-	-	7,229,460	11%
Financing Costs							
Debt Service	3,660,685	3,658,406	3,657,284	3,730,430	3,805,038	18,511,843	
Int. on City Interim Loan	115,515	118,375	121,307	123,733	126,208	605,138	
Total - Financing Costs	3,776,200	3,776,781	3,778,591	3,854,163	3,931,246	19,116,981	30%
Operations²	4,172,041	3,225,930	3,275,368	3,340,875	3,407,693	17,421,907	27%
Programs							
<i>Neighborhood Revitalization</i>							
Neigh. Code Enforcement	322,000	322,000	322,000	322,000	322,000	1,610,000	
Graffiti Abatement	125,000	125,000	125,000	125,000	125,000	625,000	
Subtotal - Neigh. Revital.	447,000	447,000	447,000	447,000	447,000	2,235,000	
<i>Corridor Revitalization</i>							
Econ. Development Svs	125,000	125,000	125,000	125,000	125,000	625,000	
Renaissance Square	25,000	25,000	25,000	25,000	25,000	125,000	
LBCC & Kroc	100,000	1,900,000	-	-	-	2,000,000	
Comm. Façade Prgm	600,000	750,000	750,000	750,000	750,000	3,600,000	
Comm. Screening Prgm	50,000	100,000	100,000	100,000	100,000	450,000	
Anaheim & Walnut	85,000	950,000	1,000,000	-	-	2,035,000	
Long Beach Bl. Master Plan	100,000	100,000	-	-	-	200,000	
Subtotal - Corridor Revit.	1,085,000	3,950,000	2,000,000	1,000,000	1,000,000	9,035,000	
<i>Open Space/Public Art</i>							
Orizaba Park Expansion	-	700,000	3,000,000	-	-	3,700,000	
Public Art Development	100,000	200,000	-	-	-	300,000	
Arts Council Support	42,000	42,000	42,000	42,000	42,000	210,000	
Subtotal - Open Space/Pub. Art	142,000	942,000	3,042,000	42,000	42,000	4,210,000	
<i>Infrastructure/Public Improv.</i>							
East Village Streetscape	500,000	-	-	-	-	500,000	
Magnolia Ind. Dist. Streetscape	1,000,000	-	-	-	-	1,000,000	
Wrigley Village Improvements	500,000	500,000	500,000	-	-	1,500,000	
Orizaba Design District	500,000	500,000	500,000	-	-	1,500,000	
Subtotal - Infra.e/Pub. Improv.	2,500,000	1,000,000	1,000,000	-	-	4,500,000	
<i>Housing</i>							
Total - Programs	4,174,000	6,339,000	6,489,000	1,489,000	1,489,000	19,980,000	31%
Grand Total - Expenditures	19,351,701	13,341,711	13,542,959	8,684,038	8,827,939	63,748,348	100%

Footnotes

¹SERAF = Supplemental Educational Revenue Augmentation Fund.

²Operations include personnel expenses, operating services and supplies, City services and overhead, and financial management department services.

Attachment No. 1: Blight Definitions in Effect at Time of Project Re-adoption*

1994-2006 Blight Definitions	
CRL Section 33031(a) (Physical Blight)	
(1)	Buildings in which it is unsafe or unhealthy for persons to live or work. These conditions can be caused by serious building code violations, dilapidation and deterioration, defective design or physical construction, faulty or inadequate utilities, or similar factors.
(2)	Factors that prevent or substantially hinder the economically viable use or capacity of buildings or lots. This condition can be caused by substandard design, inadequate building size given present standards and market conditions, lack of parking, or other similar factors.
(3)	Adjacent or nearby uses that are incompatible with each other and which prevent the economic development of those parcels or other portions of the project area.
(4)	The existence of subdivided lots of irregular form and shape and inadequate size for proper usefulness and development that are in multiple ownership.
CRL Section 33031(b) (Economic Blight)	
(1)	Depreciated or stagnant property values or impaired investments, including but not necessarily limited to, those properties containing hazardous wastes that require the use of agency authority as specified in Article 12.5 (commencing with Section 33459).
(2)	Abnormally high business vacancies, abnormally low lease rates, high turnover rates, abandoned buildings, or excessive vacant lots within an area developed for urban use and served by utilities.
(3)	A lack of necessary commercial facilities that are normally found in neighborhoods, including grocery stores, drug stores, and banks and other lending institutions.
(4)	Residential overcrowding or an excess of bars, liquor stores, or businesses that cater exclusively to adults that has led to problems of public safety and welfare.
(5)	A high crime rate that constitutes a serious threat to the public safety and welfare.

*Blight definitions in effect in March 2001. Project Area was adopted in September 1993.

Attachment No. 2: Affordable Housing Compliance Plan

